



TOWN OF JACKSON

PLANNING & BUILDING

DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: September 16, 2020

Item #: P20-178

Planner: Tyler Valentine

Phone: 733-0440 ext. 1305

Fax: 734-3563

Email: tvalentine@jacksonwy.gov

Owner:

Teton County
PO Box 1727
Jackson, WY 83001

Applicant:

DA Architecture - Chris Lee
PO Box 4615
Jackson, WY 83001

REQUESTS:

The applicant is submitting a request for a Grading Pre-Application for the property located at 105 Mercill Ave, legally known as, PT. LOTS 15-17, BLK.2 J.R. JONES (CHILDREN'S CENTER).

For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.

Please respond by:

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)
Planning & Building Department

150 E Pearl Ave. ph: (307) 733-0440 fax:
P.O. Box 1687 www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be processed the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____

PIDN: _____

PROPERTY OWNER.

Name: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____

Phone: _____

Mailing Address: _____

ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Property Owner

Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

Physical Development Permit
 Use Permit
 Development Option or Subdivision Permit
 Interpretations of the LDRs
 Amendments to the LDRs
 Relief from the LDRs
 Environmental Analysis

This pre-application conference is:
 Required
 Optional
 For an Environmental Analysis
 For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email or thumb drive), and **two hard copies** of the submittal packet.

Have you attached the following?

Application Fee. Go to www.townofjackson.com/204/Pre-Application.com for the fees.

Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

Narrative Project Description. Please attach a short narrative description of the project that addresses:
 Existing property conditions (buildings, uses, natural resources, etc)
 Character and magnitude of proposed physical development or use
 Intended development options or subdivision proposal (if applicable)
 Proposed amendments to the LDRs (if applicable)

Conceptual Site Plan. For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:
 Property boundaries
 Existing and proposed physical development and the location of any uses not requiring physical development
 Proposed parcel or lot lines (if applicable)
 Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS). Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

Other Pertinent Information. Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title



105 MERCILL

9-15-20

GRADING PRE-APP CONFERENCE REQUEST - PROJECT NARRATIVE

Lot Info

Address: 105 Mercill Ave
PIDN: 22-41-16-28-4-02-012
Area: Full Site 1.15 acres (50,086 s.f.), Project Site .575 acres (25,005 s.f.)
Zoning: CR-2
Overlays: Lodging Overlay

Scale of Development

FAR:	1.41 (35,184 s.f.) (6,862 s.f. office/retail)
Allowed:	.46 (11,502 s.f.)
2:1 Bonus:	1.13 (28,322 s.f.) - all deed restricted housing
Site Development:	.88 (22,074 s.f.)
Allowed:	.90 (22,505 s.f.)
Parking Spots:	52 (20 office/retail + 39 residential - 9 shared = 50 total req)

Existing Property Conditions

- 1 historic log cabin to be moved off property, misc outbuildings to be moved or demoed
- Existing drive across N side of property to access to Children's Learning Center on W half of property to be demoed
- Some trees on the property - to be removed
- Existing utilities/pedestals at NW corner of the property - overhead powerline to be buried

Character & Size of Development

- 30 deed-restricted apartments including 2 ADA units on upper two floors with common courtyard above ground floor commercial spaces (office & retail)
- 35,184 total habitable s.f. on three levels with two-level parking ramp (44 parking spots) and at grade (8 parking spots)
- 22,074 total s.f. of impervious surface
- New concrete ramp access off of Mercill along S side of property as well as off of Glenwood along E side of property
- New utility connections (location to be determined), existing overhead powerline to be buried
- New sidewalk and trees in grates to meet Town streetscape standards along Mercill and Glenwood, sidewalk on W side of property adjacent to the Children's Learning Center

Children's Learning Center Site Modifications

- Proposed one-way drive access off Mercill Ave with new exit onto N Millward Alley - existing retention basin to be modified
- Revised Parking layout from 90° to 45° spaces along N side of property and additional parallel parking along sidewalk on N side of building - this makes for an increase from a total of 18 to 19 off street parking spaces and allows for better traffic flow with the new one-way access
- New trash enclosure to replace existing that will be shared by both buildings

LETTER OF AUTHORIZATION

TETON COUNTY
POB 1727 JACKSON, WY 83001-1727

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

more specifically legally described as: 105 MERCILL AVE. JACKSON, WY 83001
PARCEL 22-41-16-28-4-02-012

(If too lengthy, attach description)

HEREBY AUTHORIZES DESIGN ASSOCIATES ARCHITECTS as
agent to represent and act for Owner in making application for and receiving and accepting
on Owners behalf, any permits or other action by the Town of Jackson, or the Town of
Jackson Planning, Building, Engineering and/or Environmental Health Departments
relating to the modification, development, planning or replatting, improvement, use or
occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed
conclusively to be fully aware of and to have authorized and/or made any and all
representations or promises contained in said application or any Owner information in
support thereof, and shall be deemed to be aware of and to have authorized any subsequent
revisions, corrections or modifications to such materials. Owner acknowledges and agrees
that Owner shall be bound and shall abide by the written terms or conditions of issuance of
any such named representative, whether actually delivered to Owner or not. Owner agrees
that no modification, development, platting or replatting, improvement, occupancy or use of
any structure or land involved in the application shall take place until approved by the
appropriate official of the Town of Jackson, in accordance with applicable codes and
regulations. Owner agrees to pay any fines and be liable for any other penalties arising out
of the failure to comply with the terms of any permit or arising out of any violation of the
applicable laws, codes or regulations applicable to the action sought to be permitted by the
application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

April Norton

(SIGNATURE) (SIGNATURE OF CO-OWNER)
Title: Jackson/Tebor/court Housewife Frister

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wisconsin

1

COUNTY OF *Peter*

)SS.

The foregoing instrument was acknowledged before me by April Nuffer this 6 day of April 1998

Witness my hand and official seal

(Notary Public)

My commission expires:

(Seal)

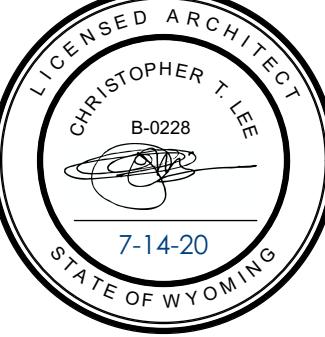
Billi Jo Jennings - Notary Public

County of Lincoln



State of Wyoming

Commission Expires September 3, 2022



REVISION HISTORY		
SYMB	CHANGE	DATE
1	CONCEPTUAL	5-23-19
2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
4	CONCEPTUAL UPDATE	7-8-19
5	CONCEPTUAL UPDATE	7-11-19
6	CONCEPTUAL UPDATE	7-22-19
7	CONCEPTUAL UPDATE	7-24-19
8	CONCEPTUAL UPDATE	9-25-19
9	DRC SUBMITTAL	11-6-19
10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20



MERCILL PARTNERS LLC MIXED-USE PROJECT

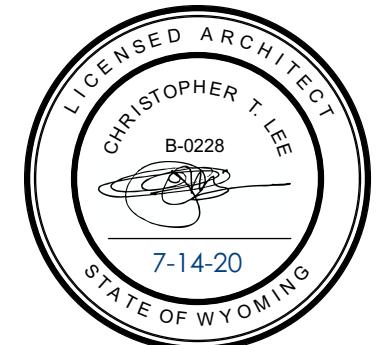
105 MERCILL AVE - JACKSON, WY
 PERMIT SET
 7-14-20

MERCILL PARTNERS LLC
 MIXED-USE PROJECT
 105 MERCILL AVE JACKSON, WY

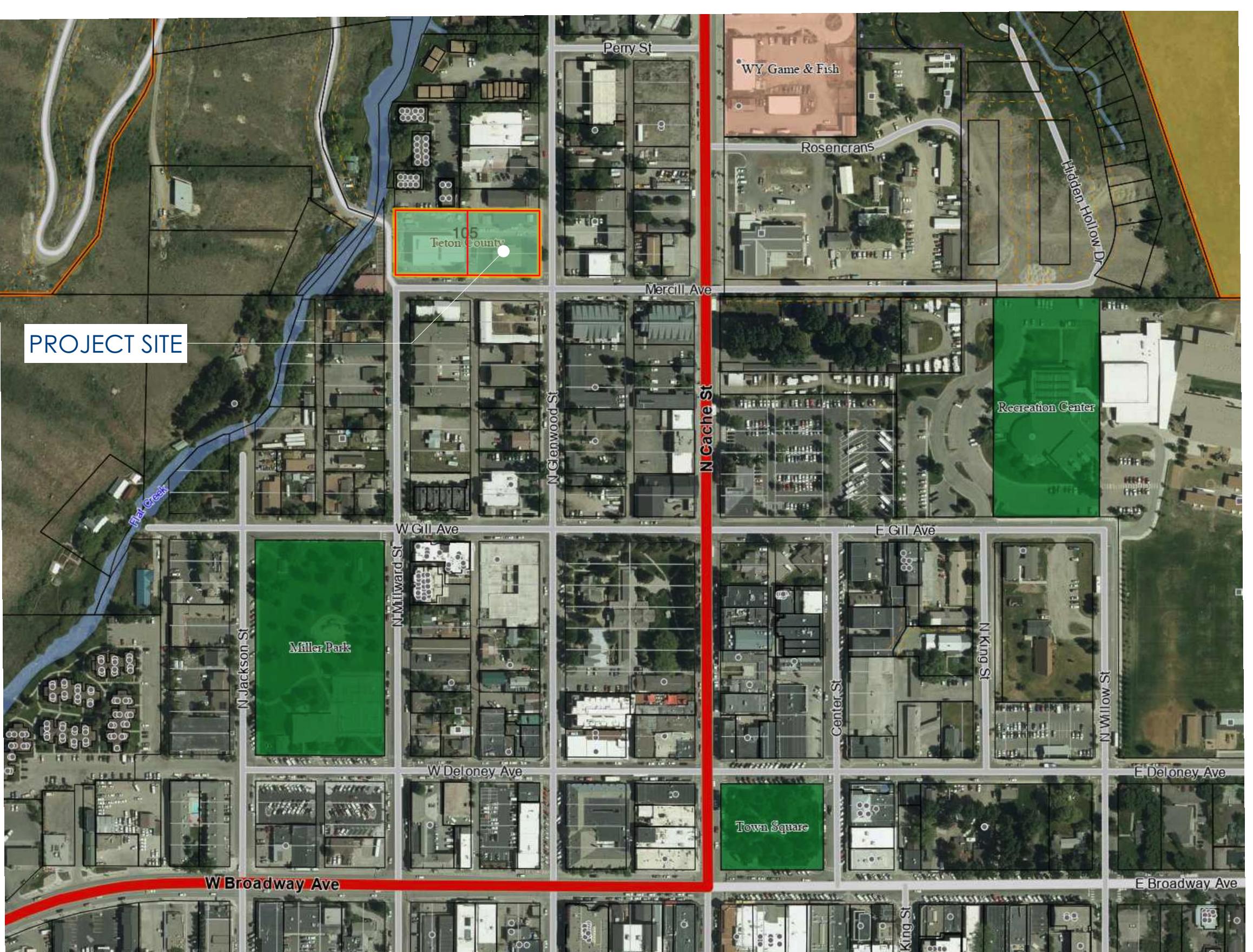
PERMIT SET
 7-14-20

A000

COVER



EXISTING CONDITIONS



VICINITY MAP



PROJECT DIRECTORY

OWNER	TYETON COUNTY POB 1277 JACKSON, WY 83001 307 732 0867
DEVELOPER	TYLER DAVIS & JOE RICE MERCILL PARTNERS, LLC POB 12111 JACKSON, WY 83002 407 952 1735
ARCHITECT	CHRISTOPHER LEE DESIGN ASSOCIATES ARCHITECTS 50 KING ST, STE 201 POB 4615 JACKSON, WY 83001 307 733 3600
CIVIL	BOB NIGRO TETON ENGINEERING 490 E MOUTON LOOP RD JACKSON, WY 83001 307 733 6990
LANDSCAPE	PAULINE CHU ROOTED LANDSCAPE ARCHITECTURE POB 3637 JACKSON, WY 83001 307 203 5520
STRUCTURAL	JAKE TIMMERS RIVERSTONE STRUCTURAL CONCEPTS 671 RIVERPARK LN, STE 150 BOISE, ID 83706 208 343 2092
MECH/ELEC	JASON RICE & MATT BRADLEY MUSGROVE ENGINEERING 234 S WHISPERWOOD WAY BOISE, ID 83709 208 384 0585
FIRE SPRINKLERS	HUDSON DEWESE MOUNTAIN FIRE PROTECTION POB 1763 WILSON, WY 83014 307 690 1162
CONSTRUCTION	TBD

CLT PANELS	WILSON ANTONIUK REDBUILT, LLC 200 E MALLARD DR BOISE, ID 83706 208 861 3160
WALL PANELS	RICH THOMASON TIMBER WORKS, INC. 1577 WEST 3425 SOUTH OGDEN, UT 84401 801 392 2456

LANDSCAPE	LANDSCAPE DESIGN
ARCHITECTURAL	LOWER PARKING PLAN
	FIRST FLOOR PLAN
	SECOND FLOOR PLAN
	THIRD FLOOR PLAN
	ROOF PLAN
	LOWER PARKING FRAMING PLAN
	LOWER PARKING FRAMING PLAN
	LOWER PARKING FRAMING PLAN
	LOWER PARKING FRAMING PLAN
	FIRST FLOOR FRAMING PLAN
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	THIRD FLOOR FRAMING PLAN
	THIRD FLOOR FRAMING PLAN
	THIRD FLOOR FRAMING PLAN
	SECTIONS
	SECTIONS
	SECTIONS
	ELEVATIONS
	ELEVATIONS
	ELEVATIONS
	SCHEDULES
	WALL SECTIONS
	WALL SECTIONS
	DETAILS
	DETAILS
	EXTERIOR MATERIALS

GENERAL STRUCTURAL NOTES	GENERAL STRUCTURAL NOTES
	GENERAL STRUCTURAL NOTES

TYPICAL DETAILS	TYPICAL FOUNDATION DETAILS
	TYPICAL FOUNDATION DETAILS
	TYPICAL STEEL DETAILS
	TYPICAL SHEAR DETAILS
	TYPICAL WOOD DETAILS

PROJECT SCHEDULES	PROJECT SCHEDULES
BUILDING PLANS	FOUNDATION PLAN

	FOUNDATION PLAN
	ELEVATED SLAB PLAN
	ELEVATED SLAB BOT. REINF. PLAN
	ELEVATED SLAB TOP REINF. PLAN
	SHEARWALL HOLDOWN DIM. PLAN

FIRE PROTECTION	FIRE PROTECTION SYSTEMS PLAN
	FIRE PROTECTION SYSTEMS PLAN

PROJECT INDEX	PROJECT INDEX
SET	SET
PROJECT	PROJECT
	COVER
	PROJECT INFO
	PLANNING NOTES
	BUILDING NOTES
	LOWER PARKING LIFE SAFETY PLAN
	FIRST FLOOR LIFE SAFETY PLAN
	SECOND FLOOR LIFE SAFETY PLAN
	THIRD FLOOR LIFE SAFETY PLAN
	ADA NOTES
	EXISTING CONDITIONS
	SITE PLAN
	CONSTRUCTION PLAN
	LOWER PARKING AREA PLAN
	FIRST FLOOR AREA PLAN
	SECOND FLOOR AREA PLAN
	THIRD FLOOR AREA PLAN
	ROOF AREA PLAN
	CIVIL
	EXISTING CONDITIONS
	SITE PREP
	GRADING PLAN
	UTILITIES
	SEWERLINE A
	SEWERLINE B
	DETAILS
	LANDSCAPE
	LANDSCAPE DESIGN
	ARCHITECTURAL
	LOWER PARKING PLAN
	FIRST FLOOR PLAN
	SECOND FLOOR PLAN
	THIRD FLOOR PLAN
	ROOF PLAN
	LOWER PARKING FRAMING PLAN
	LOWER PARKING FRAMING PLAN
	LOWER PARKING FRAMING PLAN
	LOWER PARKING FRAMING PLAN
	FIRST FLOOR FRAMING PLAN
	FIRST FLOOR FRAMING PLAN
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	SECOND FLOOR FRAMING PLAN
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	THIRD FLOOR FRAMING PLAN
	THIRD FLOOR FRAMING PLAN
	THIRD FLOOR FRAMING PLAN
	THIRD FLOOR FRAMING PLAN
	SECTIONS
	SECTIONS
	SECTIONS
	ELEVATIONS
	ELEVATIONS
	ELEVATIONS
	SCHEDULES
	WALL SECTIONS
	WALL SECTIONS
	DETAILS
	DETAILS
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	SHEARWALL HOLDOWN DIM. PLAN
FIRE PROTECTION	FIRE PROTECTION SYSTEMS PLAN
	FIRE PROTECTION SYSTEMS PLAN

PERMIT SET	PERMIT SET
	7-14-20

A001	A001
	PROJECT INFO

PLANNING NOTES

PROPERTY DESCRIPTION/NAME	105 MERCILL A MIXED-USE PROJECT WITH 30 APARTMENTS, 4 COMMERCIAL SPACES & TWO-LEVEL PARKING RAMP
PROPERTY ADDRESS	105 MERCILL AVENUE JACKSON, WY
PROPERTY OWNER	TETON COUNTY POB 1727 JACKSON, WY 83001
APPLICANT'S NAME	DESIGN ASSOCIATES ARCHITECTS 50 S KING ST, STE 201 JACKSON, WY 83001
ZONING	CR-2
RESOURCE OVERLAYS	LODGING OVERLAY
IMPERVIOUS COVERAGE	
EXISTING	0 SF
ROOFED	13,431 SF
DRIVEWAYS & PARKING AREAS	1,749 SF
SOLID TERRACES & WALKWAYS	3,288 SF
OTHER (COURTYARD TERRACE)	3,606 SF
TOTAL	22,074 SF
ALLOWED	.90 (22,505 SF)
GROSS SITE AREA	1.15 ACRES 50,086 SF
BASE SITE AREA	0.574 ACRES 25,005 SF
FAR	TOTAL HABITABLE ALLOWED BASE FAR (COMMERCIAL SPACE) 2:1 BONUS (ALL WORKFORCE HOUSING)
	1.41 (35,184 SF) .46 (11,502 SF) .27 (6,862 SF) 1.13 (28,322 SF)
SITE DEVELOPMENT	.88 (22,074 SF)
ALLOWED	.90 (22,505 SF)
LANDSCAPE RATIO	.11 (2,816 SF)
MINIMUM	.10 (2,501 SF)
PLANT UNITS	3+ 3
MINIMUM	
SLOPES TO BE DEVELOPED	
PARKING	0 - 2%
GARAGE RAMP	4 - 12%
SIDEWALKS	0 - 2%
SETBACKS	
PRIMARY STREET RANGE	0-10'
SECONDARY STREET RANGE	0-10'
SIDES	5'
PEDESTRIAN FRONTAGE	
TOTAL WIDTH FROM BACK OF CURB (MIN)	13.5'
FURNISHING/PLANTING AREA (MIN)	5'
CLEAR SIDEWALK WIDTH (MIN)	6'
PLANTING TYPE & SPACING	TREE GRATE, 30'
BUILDING FRONTAGE	
SHOPFRONT HEIGHT (MIN)	12'
PRIMARY STREET TRANSPARENCY (MIN)	60%
SECONDARY STREET TRANSPARENCY (MIN)	30%
PRIMARY STREET BLANK WALL AREA (MAX)	15'
SECONDARY STREET BLANK WALL AREA (MAX)	30'
ENTRANCE SPACING ALONG PRIMARY STREET (MAX)	50'
HEIGHT OF STRUCTURE	<39' 42'
ALLOWED	
STORIES	3
ALLOWED	3
PARKING	52
MINIMUM	50
EXTERIOR LIGHTING	54,000 LUMENS
ALLOWED	66,222 LUMENS
GROSS SQUARE FOOTAGE	
EXISTING	0 SF
LOWER LEVEL HABITABLE	225 SF
FIRST FLOOR HABITABLE	8,548 SF
SECOND FLOOR HABITABLE	13,672 SF
THIRD FLOOR HABITABLE	12,964 SF
TOTAL HABITABLE	35,184 SF
LOWER LEVEL NON-HABITABLE	9,647 SF
FIRST FLOOR NON-HABITABLE	7,847 SF
SECOND FLOOR NON-HABITABLE	59 SF
THIRD FLOOR NON-HABITABLE	129 SF
TOTAL NON-HABITABLE	8,035 SF
BUILDING TOTAL	53,091 SF
COURTYARD DECKS	4,820 SF 1,200 SF
FENESTRATION CALCULATION	
GROSS SQUARE FOOTAGE	43,219 SF
FENESTRATION - WINDOWS	4,230 SF
FENESTRATION - DOORS	444 SF
FENESTRATION - CURTAIN WALLS	2,953 SF
TOTAL FENESTRATION	7,627 SF
FENESTRATION ALLOWED (30%)	12,966 SF
APARTMENT COUNT	
1 BEDROOMS	20
2 BEDROOMS	10
TOTAL	30
ICE MELT (EXTERIOR HYDRONIC HEAT)	0 SF

FINISH FLOOR AREAS

APARTMENTS				
NO.	UNIT	BEDROOMS	PARKING REQ	AREA
201	APT. 201	1BR	1.5	741.67
202	APT. 202	2BR	1.5	835.47
203	APT. 203	2BR	1.5	802.88
204	APT. 204	2BR	1.5	841.85
205	APT. 205	1BR	1	497.26
206	APT. 206	1BR	1	497.26
207	APT. 207	1BR	1	499.82
208	APT. 208	1BR	1.5	721.52
209	APT. 209	1BR	1	499.52
210	APT. 210	1BR	1	499.52
211	APT. 211	1BR	1	499.52
212	APT. 212	1BR	1	499.52
213	APT. 213	1BR	1.5	633.48
214	APT. 214	1BR	1.5	681.80
215	APT. 215	2BR	1.5	1,016.59
216	APT. 216	1BR	1.5	739.02
301	APT. 301	2BR	1.5	940.76
302	APT. 302	1BR	1	499.97
303	APT. 303	1BR	1	499.97
304	APT. 304	1BR	1	499.97
305	APT. 305	2BR	1.5	883.12
306	APT. 306	1BR	1	497.29
307	APT. 307	1BR	1	497.30
308	APT. 308	1BR	1.5	715.17
309	APT. 309	2BR	1.5	795.73
310	APT. 310	2BR	1.5	781.09
311	APT. 311	2BR	1.5	781.09
312	APT. 312	1BR	1.5	789.33
313	APT. 313	2BR	1.5	1,170.53
314	APT. 314	1BR	1.5	739.03
30				20,597.05 sq ft

OFFICE/RETAIL		
NO.	ZONE	AREA
101	OFFICE/RETAIL 101	1,153.29
102	OFFICE/RETAIL 102	2,268.98
103	OFFICE/RETAIL 103	1,753.13
104	OFFICE/RETAIL 104	1,686.30
4		6,861.70 sq ft

ACCESSORY FLOOR AREA		
STORY	ZONE	AREA
BASEMENT PLAN		
	CIRCULATION	176.01
	LOWER RAMP	7,788.26
	MECH	287.21
	STOR	360.00
	STORAGE	728.77
FIRST FLOOR PLAN		
	CIRCULATION	1,307.23
	FIRE	50.00
	MECH	174.20
	STOR	881.51
	UPPER RAMP	7,710.17
SECOND FLOOR PLAN		
	COURTYARD	4,820.40
	ENCLOSED CIRCULATION	1,962.25
	LIBRARY	163.84
	MECH	58.84
THIRD FLOOR PLAN		
	ENCLOSED CIRCULATION	1,874.02
	MECH	128.90
		28,471.61 sq ft

PERMIT SET
7-14-20

A002

PLANNING NOTES



BUILDING NOTES

001 | CODES USED

2018 International Building Code w/ TOJ Amendments	NOTE-01.0
2012 International Energy Conservation Code w/ TOJ Amendments	NOTE-01.1
2014 National Electric Code w/ TOJ Amendments	NOTE-01.2
2018 International Mechanical Code w/ TOJ Amendments	NOTE-01.3
2018 International Plumbing Code w/ TOJ Amendments	NOTE-01.4
2018 International Fuel Gas Code w/ TOJ Amendments	NOTE-01.5
2018 International Fire Code w/ TOJ Amendments	NOTE-01.6

002 | CONSTRUCTION TYPES

Type V-A: Lower & Upper Parking & Storage Levels, Ground Floor Commercial Units, Second Floor Courtyard & Library	NOTE-02.1
Type V-B: Second & Third Floor Residential Units	NOTE-02.2

003 | OCCUPANCY USES

S-1/S-2: Storage Closets & Parking Garage - Lower & Upper Parking Levels	NOTE-03.1
B/M: Commercial Units - First Floor	NOTE-03.2
R-2: Apartment Units - Second & Third Floors	NOTE-03.3
A-5: Courtyard - Second Floor	NOTE-03.4
A-3: Library - Second Floor	NOTE-03.5

004 | GENERAL CONSTRUCTION NOTES

General Contractor is responsible to assure they and all sub-contractors requiring a license to work in the Town of Jackson have one. All work must comply with the above mentioned Building Codes and additional Resolutions as adopted by the Town of Jackson.	NOTE-04.1
The building will comply with accessibility standards per IBC Chapter 11 and 2009 ICC A11.1 Accessible & Usable Buildings & Facilities.	NOTE-04.2
The Building Address is located on the primary street side of the building per IFC Section 505.	NOTE-04.3
This project is not in the Wildland-Urban Interface.	NOTE-04.4
This property is NOT within the FEMA Special Flood Hazard Area.	NOTE-04.5
This project may be subject to relatively high ground water. This has been taken into account in the design of the floor framing system and basement.	NOTE-04.6
All Structural Design Load Criteria are called out in Structural Sheets.	NOTE-04.7
All primary structural members, exterior walls, and load bearing walls to meet fire resistance requirements per IBC Section 601 & 602.	NOTE-04.8
All wood in direct contact with concrete or masonry and within 8" of grade will be pressure treated wood or foundation grade redwood.	NOTE-04.8
This will include all sill plates, ledgers and foundation posts.	NOTE-04.9
42 inch high protective guardrails are provided for porches or decks more than 30 inches above grade, balconies and open sides of landings. Maximum opening between railings will be less than 4 inches. Guardrails shall be capable of withstanding a 20 pound per linear foot force to the top of the rail.	NOTE-04.9
Handrails are provided on at least one side of each stairway of three or more risers at a height of 34"-38" above the nosing of treads and landings. Handrails will be continuous full the length of the stairs. Ends are returned or terminate in newel posts or safety terminals. Handrails projecting from the wall have a space of not less than 1-1/2 inches between the wall and the handrail, see A sheet details.	NOTE-04.10
The hand grip portion of handrails is not less than 1-1/4 inches nor more than 2-inches in cross-sectional dimension. The hand grip portion of handrails has no sharp corners.	NOTE-04.11
Stairs to be min 46.65" wide with max 7" risers and min 11" treads per IBC Section 1011.	NOTE-04.12
Egress windows to comply with requirements per IFC 1030 with min net clear opening of 5.7 ft, min net clear height of 24in, min net clear width of 20in, and max bottom clear height of 44in above floor.	NOTE-04.13
Exterior lighting will have total cutoff of light at an angle of less than 90 degrees and be located so that a bare light bulb, lamp, or light source is completely shielded from direct view from a vantage point five feet above the ground at a perimeter of the lighted area. The light, furthermore, will be contained entirely on-site. The maximum permitted mounting height of the luminaries or fixture is 15 feet.	NOTE-04.14
This building will comply with Sound Transmission requirements per IBC Section 1206.	NOTE-04.15
Flashing to be provided for all required locations, including but not limited to, windows, doors, masonry intersecting with framing, above projecting trim, where exterior walls are intersected by roofs or decks.	NOTE-04.16
There are no concealed slip joints in this project.	NOTE-04.17
This building has no fireplaces.	NOTE-04.18

005 | FIRE CODE NOTES

This building will be equipped with an NFPA 13 automatic fire sprinkler system per IBC Section 903.	NOTE-05.1
This building will be equipped with a Fire Riser Room per IBC Section 902. A Knox Box key box to be installed per instructions from Fire Dept.	NOTE-05.2
This building will be equipped with a fire department connection per IBC Section 912 in a location approved by Fire Dept.	NOTE-05.3
This building will be equipped with a fire alarm and detection system per IBC Section 907.	NOTE-05.4
This building will comply with fire protection water supply requirements per IFC Section 507.	NOTE-05.5
This building will be equipped with portable fire extinguishers per IBC Section 906.	NOTE-05.6
This building will comply with mixed use and occupancy requirements per IBC Section 508.	NOTE-05.7
This building will comply with means of egress requirements per IFC Chapter 10.	NOTE-05.8
This building will be equipped with means of egress illumination as required per IFC Section 1008.	NOTE-05.9
This building will comply with emergency responder radio coverage requirements per IFC Section 510.	NOTE-05.10
This building will be equipped with a two-way communication system as required per IBC 1009.8.	NOTE-05.11
See Life Safety plans for locations of fire separation, fire shafts, exit travel distances, occupant loads, fire door ratings, etc.	NOTE-05.12
UL2017 Smoke alarms are provided in all the required locations, see Electrical Sheets for locations. These alarms will be part of the security system contract and will meet all requirements called for in the building code.	NOTE-05.13
Roof covering will be Class B or better, the ventilation of the airspace is to be fire stopped.	NOTE-05.14
The underside of all floors, beams, columns and supporting walls are protected as required for 1/2hr to 2hr fire resistance rated construction as located on plans.	NOTE-05.15
No individual vent opening will exceed 144 sq. inches. Each will have a noncombustible corrosion resistance mesh w/ openings no greater than 1/4". Fire and smoke dampers, fire collars and caulk to be installed at any fire resistance rated assemblies as required.	NOTE-05.16

006 | ENERGY CODE NOTES

Insulation will meet or exceed the Town required minimums and the 2012 IECC for C2 7, which are as follows:	NOTE-06.0
a. Ceilings/Roofs R-49	NOTE-06.1
b. Wood Frame Walls R-20+5 or 13+101	NOTE-06.2
c. Floors Over Unheated Crawl Space R-38	NOTE-06.3
d. Basement and Crawlspace Walls R-15/192	NOTE-06.4
e. Slab on Grade (perimeter to two feet outside exterior walls) R-15 - 2' min.	NOTE-06.5
This Project will have:	NOTE-06.6
a. Ceilings/Roofs 9" CCSFPI R-59 OR 10"+ SLOPED PIR	NOTE-06.7
b. Walls 5" CCSFPI + 2" RFI R-43	NOTE-06.8
c. Floors 7" CCSFPI R-46	NOTE-06.9
d. Slabs 4" RFI R-20 - 2' min.	NOTE-06.10
g. Pipes R-3	NOTE-06.11
Insulation Legend:	NOTE-06.12
a. 20+5 means R20 cavity + R5 continuous.	NOTE-06.13
b. R15/19 means R-15 continuous or R-19 cavity	NOTE-06.14
c. R-15 - 4 min. means R-15 for 4' in from exterior minimum.	NOTE-06.15
d. R-10 - 4 min. means R-10 for 4' in from exterior minimum.	NOTE-06.16

BUILDING NOTES

Insulation R-Values Used:

a. CCSFPI - Closed Cell Sprayed Polyurethane Foam Insulation R-6.5/IN	NOTE-06.17
b. FBI - Fiberglass Batt Insulation R-3.5/IN	NOTE-06.18
c. RFI - Rigid Foam Insulation R-5.0/IN	NOTE-06.19
d. PIR - Polyisocyanurate Foam Insulation R-5.7/IN	NOTE-06.20
All windows are NRFC certified - U-.32 or better.	NOTE-06.21
All windows have a maximum U- value of U-.32 (Low E windows). Windows will clearly indicate this value or appropriate documentation will be available.	NOTE-06.22
All exterior doors will have a minimum U- value of U-.32 (metal insulated doors or equal) amended. Appropriate documentation will be available.	NOTE-06.23
This building to use Boilers with 96% or better efficiency and Fan Coils, 16 SEER or better.	NOTE-06.24
All condensing units or heat pumps to have a seer of 16 or better.	NOTE-06.25
Recessed lighting fixtures will not be installed in insulated ceilings unless there is adequate opportunity to maintain the insulation of the envelope.	NOTE-06.26

007 | ELECTRIC CODE NOTES

Ufer grounding system (as per NEC Art. 250-81 (c)); grounding conductor shall be attached to a single driven ground rod; secondary grounding protection shall also be made to metallic water system. Services of 200 Amps or less shall be a minimum of No. 4 bare copper wire connected to footing steel with an approved grounding clamp. Services larger than 200 Amps shall be sized in accordance with Table 250-66 and consist of a minimum of twenty feet of bare copper wire suspended in the footings with enough additional wire to ground to the panel without splice.	NOTE-07.1
GFCI protection outlets for the following locations:	NOTE-07.2

a. bathrooms;	NOTE-07.3
b. kitchens and coffee bar sinks for all countertop outlets and island counters;	NOTE-07.4
c. garages, for all non-dedicated outlets within 8 feet of the finished floor;	NOTE-07.5
d. crawl spaces; and	NOTE-07.6
e. exterior outlets.	NOTE-07.7
Electrical panels or sub panels will not be installed in the following locations:	NOTE-07.8
a. in any closet.	NOTE-07.9
b. in any one or two-hour fire-rated wall assembly; or	NOTE-07.10
c. behind any door, unless the door is lockable from the panel side for service.	NOTE-07.11
All branch circuits feeding outlets in bedrooms will be protected by arc-fault devices. This includes lighting and hard-wired smoke detectors.	NOTE-07.12

008 | MECHANICAL CODE NOTES

Building is to have mechanical ventilation in the Lower Parking level, electric forced air heat & AC in the Commercial Spaces, and electric cove heat for the Apartments & Circulation spaces. See mechanical drawings for system design.	NOTE-08.1
Slabs below habitable spaces will be ventilated. Ventilation system will consist of four (4) inch perforated pipes placed around the inside of the exterior foundation. The pipe will be placed with holes down and beaded in 4 inches of washed gravel of peer size or larger without fines. The piping will be connected to a solid vertical pipe which will pass through the roof, see note 25. A barrier of polyethylene sheeting will be placed over the system and gravel. All laps of sheeting will be at least one foot. The sheeting will be sealed around penetrations and to the foundation walls. A cover of four inches of sand or crushed gravel will then be placed over the sheeting to receive the slab. All cracks in floor slabs, joints where the floor meets the foundation walls and penetration through the basement floor are to be similarly sealed.	NOTE-08.2
One four (4) inch diameter schedule 20 PVC pipe will be installed from the crawl space through the roof. This pipe will not serve any other use and will be continuous for its entire length. Offsets from the vertical will be minimized. The pipe will be labeled where not concealed within construction with the words "RADON VENT". The pipe will be placed so that the part of the pipe immediately beneath the roof and outside the living area is accessible in sufficient quantity that a fan may be installed. The fan should be rated at 90 to 150 cfm at no static pressure. A source of power shall be placed in the immediate vicinity of the pipe. A rain cap will be provided at the upper termination of the pipe to prevent the entry of water into the system.	NOTE-08.3
All four (4) inch diameter schedule 20 PVC pipe will be installed from the crawl space through the roof. This pipe will not serve any other use and will be continuous for its entire length. Offsets from the vertical will be minimized. The pipe will be labeled where not concealed within construction with the words "RADON VENT". The pipe will be placed so that the part of the pipe immediately beneath the roof and outside the living area is accessible in sufficient quantity that a fan may be installed. The fan should be	

LIFE SAFETY NOTES

CONSTRUCTION TYPES

TYPE V-A LOWER & UPPER LEVEL PARKING & STORAGE, GROUND FLOOR COMMERCIAL UNITS, SECOND FLOOR COURTYARD & LIBRARY
TYPE V-B SECOND & THIRD FLOOR RESIDENTIAL UNITS

BUILDING USES & BUILDING LIMITATIONS (IBC 503)

USE	SPACE	MAX HT	MAX STOREYS	MAX SIZE
S-1	STORAGE	70'	4	56,000 SF
S-2	PARKING	70'	5	84,000
B/M	COMMERCIAL UNITS	70'	4	72,000/56,000
R-2	APARTMENT UNITS	60'	3	28,000
A-5	COURTYARD	50'	UL	UL
A-3	LIBRARY	50'	3	46,000

WALL FIRE SEPARATION (IBC 602)

USE	EXT. WALLS DIST.	REQ. RATING
S-1	30'	0
S-2	5'	1
B/M	30'	0
R-2	5'	1
A	30'	0

FIRE SEPARATION OF OCCUPANCIES (IBC 508.4)

USE	A	R	S-2	B/M/S-1
S-1	1	1	N	N
S-2	N	—	—	—
B/M	1	1	1	—
R-2	1	—	1	1
A	—	1	N	1

BUILDING OCCUPANT LOAD (IBC 1004)

USE	OCC/SF	CALC.
S-1	300 GROSS	7
S-2	200 GROSS	80
M	60 GROSS	115
R-2	200 GROSS	123
A-5	15 NET	237
A-3	15 NET	11
TOTAL		573

OCCUPANT LOAD PER STORY (IBC 1006.3.2)

STORY	USE	CALC.	EXITS REQ.
LOWER LEVEL PARKING	S-1	4	2
	S-2	40	2
UPPER LEVEL PARKING	S-1	3	2
	S-2	40	2
GROUND FLOOR	B/M	115	2
SECOND FLOOR	R-2	63	2
	A-3	11	2
	A-5	237	2
THIRD FLOOR	R-2	60	2
TOTAL		573	

AUTOMATIC SPRINKLER SYSTEM - ENTIRE BUILDING

DESIGNATION NFPA 13 2019
INSTALLATION IBC 903.3.1
STANDPIPE NOT REQUIRED PER IBC 905.3.1
FIRE ALARM IBC SECTION 907

CARBON MONOXIDE DETECTION

NOT REQUIRED (IFC SECTION 915)

CORRIDOR FIRE RESISTANCE (IBC SECTION 1020)

USE	REQ. RATING
S/B/M/A	0
R	.5

VERTICAL EXIT ENCLOSURES

INTERIOR EXIT STAIRWAYS TO BE 2-HOUR RATED (IBC 1023)
ELEVATOR SHAFT TO BE 2-HOUR RATED (IBC 713)

EXIT ACCESS (IBC 1017.2)

USE	MAX TRAVEL DISTANCE
S-1/M/R/A	250'
S-2/B	400'

EGRESS WIDTH (IBC 1005)

STAIR MIN WIDTH 46.65"
OTHER COMPONENTS MIN WIDTH 32"

FIRE RATED DOORS (IBC 716.1(2))

ASSEMBLY	REQ. RATING	TRANSOM/SIDELIGHT GLAZING
.5	20MIN	D-H-OH-20
1	45MIN	D-H-45
2	90MIN	W-120

FIRE WINDOW ASSEMBLIES (IBC 716.1(3))

ASSEMBLY	REQ. RATING	MARKING
.5	20MIN	OH-20 OR W-30
1	45MIN	OH-45 OR W-60
2	90MIN	OH-90 OR W-120

MAX AREA WALL OPENINGS FOR FIRE SEPARATION (IBC 705.8)

DISTANCE	OPEN PROTECTION	ALLOW. AREA PROPOSED
5'-10"	UP/S	25%
30+	UP/S	NO LIMIT

PARAPETS (IBC 705.11)

NOT REQUIRED WITH CLASS B ROOF COVERING (EXCEPTION 4.4)

PORTABLE FIRE EXTINGUISHERS (IFC SECTION 906)

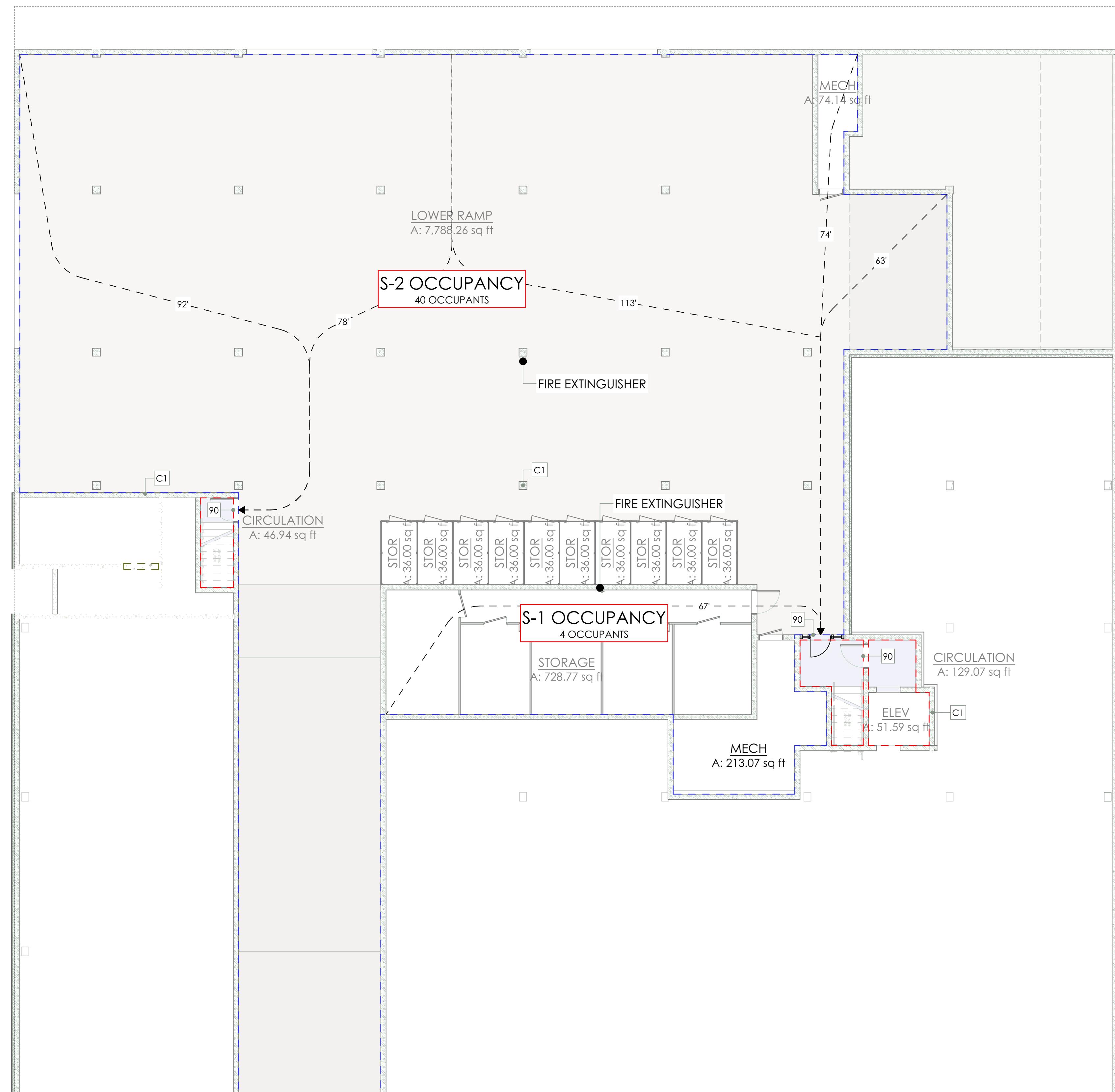
PROVIDE IN EACH UNIT WITH MIN RATING OF 2-A:20-B:C
PROVIDE IN CORRIDORS IN FIRE PROOF CABINETS AS LOCATED ON PLAN
PROVIDE IN PARKING GARAGE AS LOCATED ON PLAN

FIRE & SMOKE PROTECTION

PENETRATIONS THROUGH FIRE ASSEMBLIES PER IBC 714
JOINTS IN FIRE ASSEMBLIES PER IBC 715
DUCT PENETRATIONS THROUGH FIRE ASSEMBLIES PER 717
FIREBLOCKING & DRAFTSTOPPING PER IBC 718

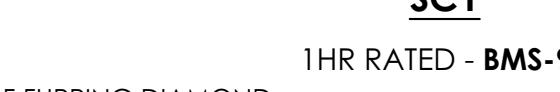
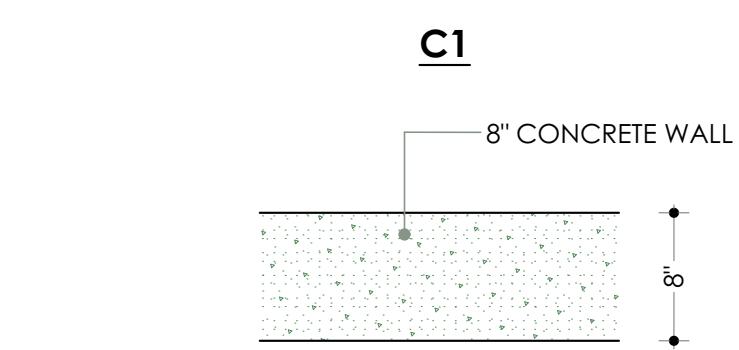
FIRE SEPARATION KEY

2HR FIRE SHAFT
1HR FIRE WALL
1HR PARTITION



LOWER PARKING LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST, STE 201 JACKSON WY
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PROJECT NO: 19-08 ARCHITECT: CIL

© 2019 DESIGN ASSOCIATES ARCHITECTS



REVISION HISTORY

SYMB	CHANGE	DATE
1	CONCEPTUAL	5-23-19
2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
4	CONCEPTUAL UPDATE	7-8-19
5	CONCEPTUAL UPDATE	7-11-19
6	CONCEPTUAL UPDATE	7-22-19
7	CONCEPTUAL UPDATE	7-24-19
8	CONCEPTUAL UPDATE	8-25-19
9	DRC SUBMITTAL	11-6-19
10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

LOWER PARKING LIFE SAFETY PLAN
SCALE: 1/8" = 1'-

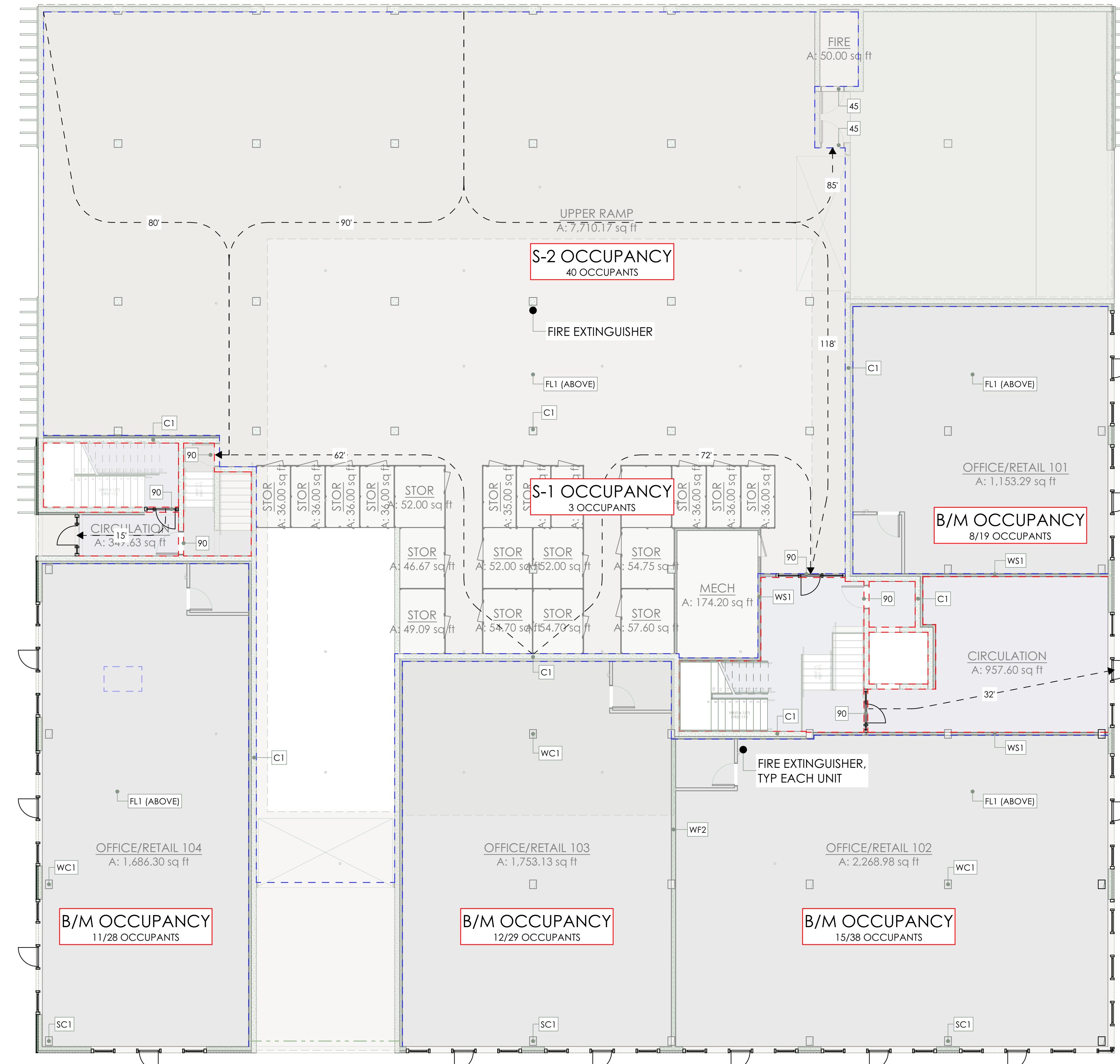
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8	CONCEPTUAL UPDATE	9-25-19
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12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

A005

FIRST FLOOR LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"

FIRST FLOOR LIFE SAFETY PLAN

FIRE RATED ASSEMBLIES

SCALE: 1" = 1'-0"

FL1
1HR RATED - UL 263

LVT OR SIMILAR FINISH FLOOR
2 1/2" GYPCRETE
3/4" ACOUSTIC MAT
5PLY CLT PANEL

NOTE: JOINTS FINISHED STC: 51

FL2
1/2HR RATED - UL 263

LVT OR SIMILAR FINISH FLOOR
2 1/2" GYPCRETE
3/4" ACOUSTIC MAT
4PLY CLT PANEL

NOTE: JOINTS FINISHED STC: 51

R1
1HR RATED - UL 263

CLASS B EPDM MEMBRANE
MECH ATTACHED ROOF BOARD
10' MIN PIR INSULATION
3PLY CLT PANEL

NOTE: JOINTS FINISHED STC: 51



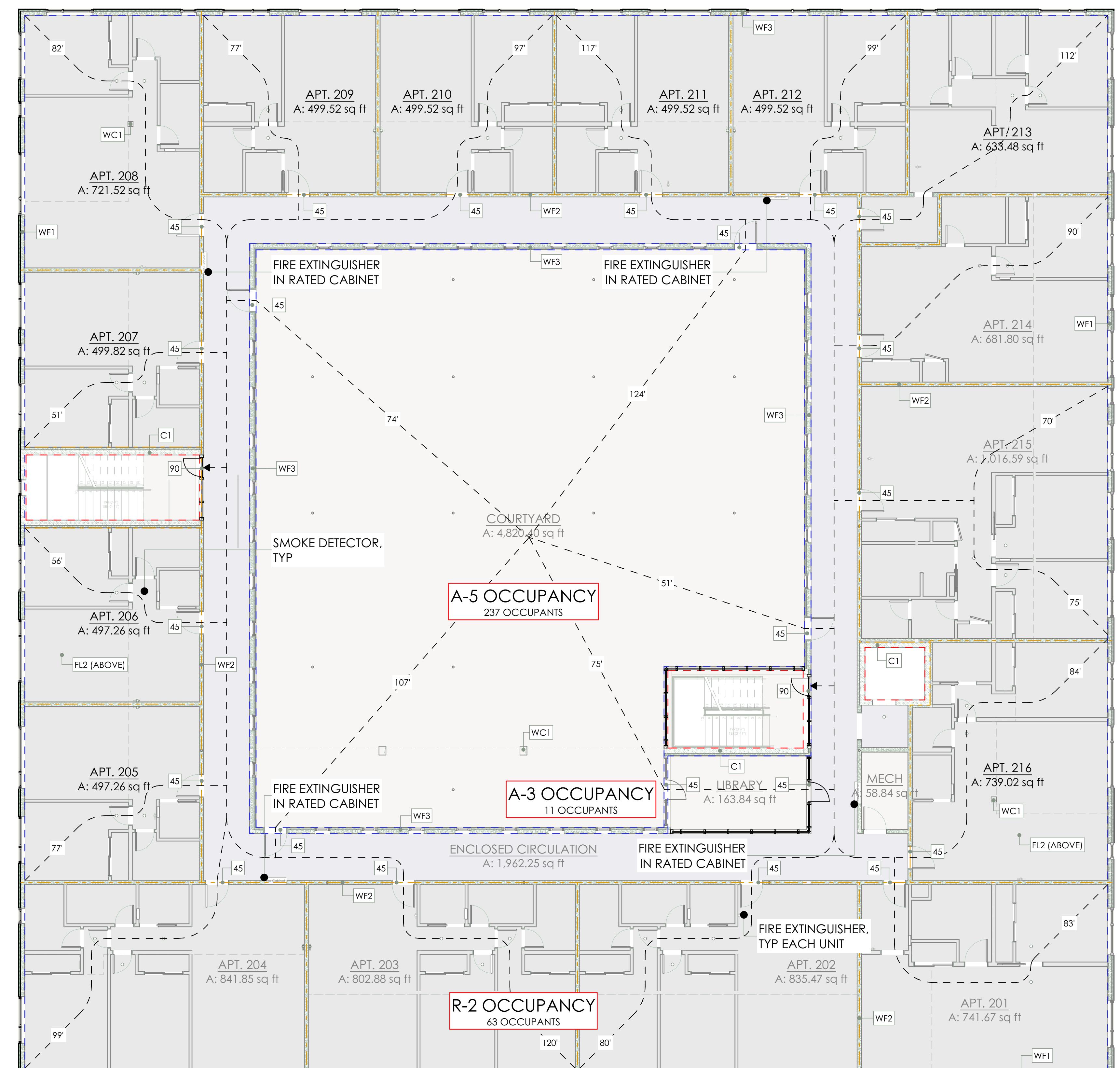
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10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

A006

SECOND FLOOR LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR LIFE SAFETY PLAN

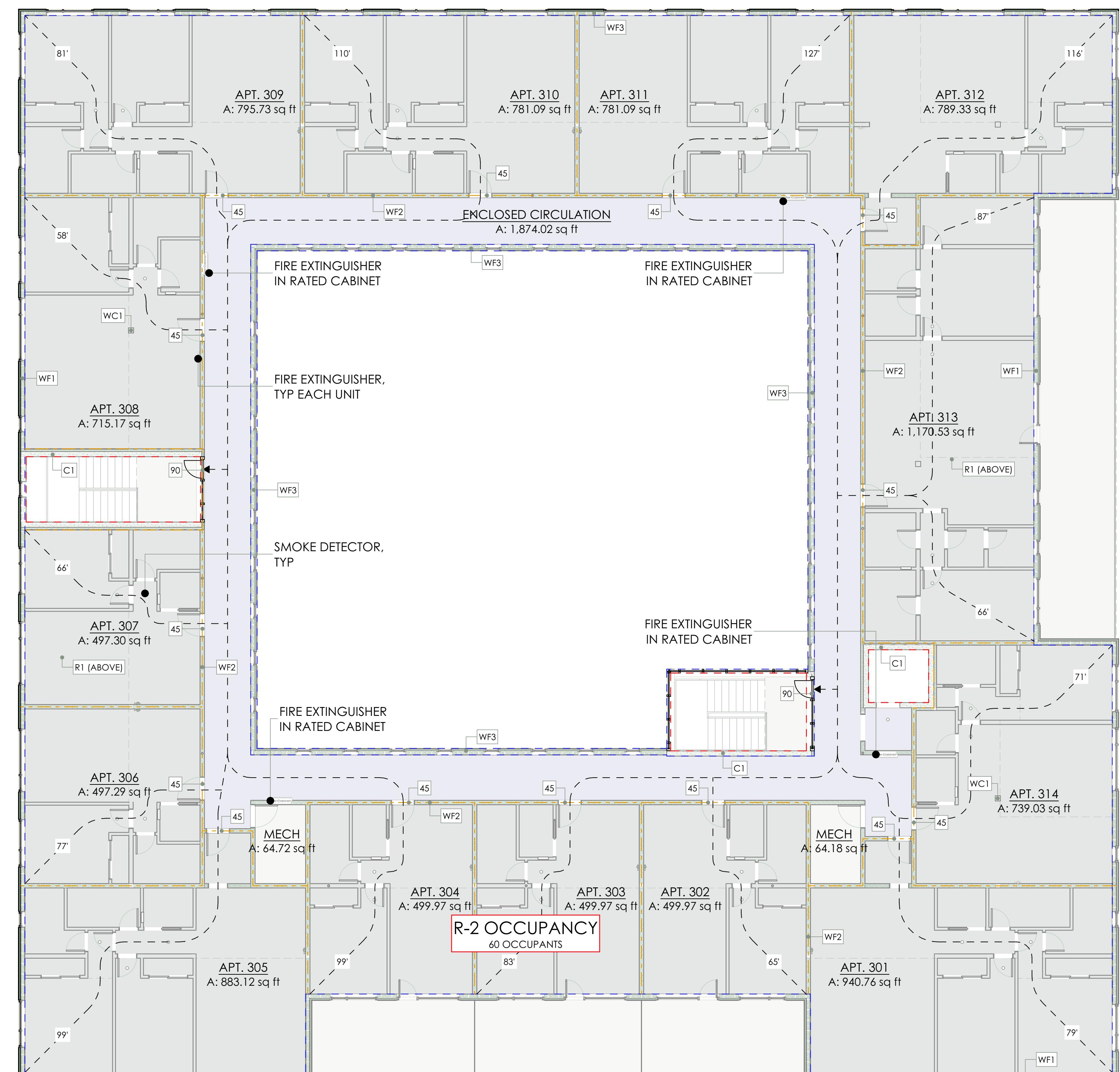
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9	DRC SUBMITTAL	11-6-19
10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT
 105 MERCILL AVE JACKSON, WY

PERMIT SET
 7-14-20

A007

THIRD FLOOR LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"



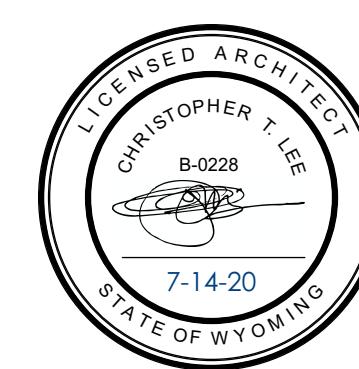
FIRE SEPARATION KEY

- 2HR FIRE SHAFT
- 1HR FIRE WALL
- 1HR PARTITION

THIRD FLOOR LIFE SAFETY PLAN



THIRD FLOOR LIFE SAFETY PLAN



REVISION HISTORY		
SYMB	CHANGE	DATE
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2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
4	CONCEPTUAL UPDATE	7-8-19
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7	CONCEPTUAL UPDATE	7-24-19
8	CONCEPTUAL UPDATE	9-25-19
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10	PRE-APP SUBMITTAL	11-15-19
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ADA NOTES

CODE COMPLIANCE

2018 IBC
2009 ICC A117.1
CHAPTER 11
ACCESSIBLE & USABLE BUILDINGS & FACILITIES

ACCESSIBLE ROUTE (IBC SECTION 1104)

SITE ARRIVAL POINTS MULTIPLE ACCESSIBLE ROUTES CONNECT THE STREETS, SIDEWALKS, BUS STOP, & PARKING
CONNECTED SPACES ALL COMMERCIAL UNITS ARE ACCESSIBLE FROM SIDEWALKS
MAIN RESIDENTIAL ENTRANCE IS ACCESSIBLE FROM SIDEWALK

ACCESSIBLE ENTRANCE (IBC SECTION 1105)

PUBLIC ENTRANCES ALL PUBLIC ENTRANCES ARE ACCESSIBLE
PARKING GARAGE BOTH PARKING LEVELS ARE ACCESSIBLE

DWELLING UNITS (IBC SECTION 1106)

ADA PARKING SPOTS 3 REQUIRED INCLUDING 1 VAN SPOT & 1 ON-STREET SPOT
DWELLING UNITS 2 TYPE A UNITS REQUIRED (UNIT 201 & 215)

TOILET & BATHING FACILITIES (IBC 1109.2)

ADA TOILETS ALL COMMERCIAL UNITS PROVIDE 1 ADA WC
BOTH DWELLING UNITS PROVIDE 1 ADA BATH

PLAY AREAS (IBC 1110.4.3)

COURTYARD ACCESSIBLE VIA SECOND FLOOR ACCESSES
SIGNAGE (IBC SECTION 1111)

SIGNS ACCESSIBLE ELEMENTS TO PROVIDE REQUIRED SIGNAGE AS IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY
DIRECTIONAL SIGNAGE INACCESSIBLE SECONDARY WEST RESIDENTIAL ENTRANCE TO PROVIDE SIGN INDICATING ROUTE TO MAIN EAST RESIDENTIAL ENTRANCE

BUILDING BLOCKS (ICC A117.1 CHAPTER 3)

FLOOR SURFACES STABLE, FIRM, & SLIP RESISTANT FLOORS AS REQ. OPENINGS LESS THAN 1/2"
CHANGES IN LEVEL 1/4" MAX VERTICAL AND 1:2 MAX FOR BEVELED NO RAMPS REQUIRED. ALL SLOPES MAX 1:2
TURNING SPACE CIRCULAR 60" MIN PROVIDED AT ALL ADA BATHS
CLEAR FLOOR SPACE 48" X 30" MIN
KNEE & TOE CLEARANCE CLEARANCE PROVIDED AT ALL ADA VANITIES
PROTRUDING OBJECTS OBJECTS PROTRUDE 4" MAX INTO CIRC PATH
REACH RANGES UNOBSTRUCTED HEIGHT 48" MAX & 15" MIN
OBSTRUCTED HEIGHT 48" MAX WITH 20" DEPTH
OBSTRUCTED HEIGHT 44" MAX WITH 20-25" DEPTH

ACCESSIBLE ROUTES (ICC A117.1 CHAPTER 4)

COMPONENTS & SLOPE 1:20 MAX RUNNING SLOPE WITH 1:48 CROSS SLOPE
CLEAR WIDTH 36" MIN WIDTH FOR ALL ACCESSIBLE ROUTES
DOORS & DOORWAYS 32" MIN CLEAR OPENING FOR ALL DOORS
MANEUVERING CLEARANCES PROVIDED PER 404.2.3
DOOR HARDWARE ALL HARDWARE TO BE EASY TO USE & ABLE TO GRASP WITH ONE HAND
CURB RAMPS 1:12 MAX SLOPE - SEE CIVIL DRAWINGS
ELEVATOR TO COMPLY WITH SECTION 407 - SEE SPECS INT DIMS MIN 51" X 68" WITH OFF-CENTER DOOR

GENERAL SITE & BUILDING ELEMENTS (ICC A117.1 CHAPTER 5)

PARKING SPACES 96" WIDE WITH 60" ACCESS AISLE
VAN SPACE IS 96" WIDE WITH 96" WIDE AISLE
FLOOR SURFACES PARKING SPACES & ACCESS AISLES NOT SLOPED MORE THAN 1:48
VERTICAL CLEARANCE 98"+ PROVIDED ON LOWER LEVEL PARKING
IDENTIFICATION ADA PARKING SPACES TO BE IDENTIFIED BY SIGNS
VAN PARKING TO IDENTIFIED WITH VAN SIGN
STAIRWAYS ALL STEPS UNIFORM IN RISER HEIGHT BETWEEN 6-7" AND TREAD DEPTH OF 11"
TREAD SURFACE NOT SLOPED MORE THAN 1:48
VISUAL CONTRAST LEADING 2" TO HAVE DARK-ON-LIGHT CONTRAST
LIGHTING ADEQUATE LIGHTING PROVIDED - SEE ELECTRICAL
HANDRAILS MEETS REQ OF SECTION 505 - 36" IN HEIGHT ON BOTH SIDES OF STAIRS & CONTINUOUS WITH MIN 1.5" CLEARANCE FROM WALL
HANDRAIL EXTENSIONS HANDRAILS EXTEND AT TOP OF STAIRS 12" AND BOTTOM OF STAIRS ONE TREAD DEPTH

ADA NOTES

PLUMBING ELEMENTS & FACILITIES (ICC A117.1 CHAPTER 6)

TOILET & BATHING ROOMS REQ CLEARANCES INDICATED ON PLAN
MIRRORS ALL LAVATORIES MAX 35" ABOVE FLOOR
TOILETS CENTERLINE 17" FROM WALL WITH 60" CLEAR W/D
SEAT HEIGHT 17-19" ABOVE FLOOR
GRAB BARS INSTALLED AS REQ PER 604.5
LAVATORIES & SINKS CLEAR FLOOR SPACE PROVIDED AS REQ PER 606.2
HEIGHT MAX 34" ABOVE FLOOR
SHOWER COMPARTMENTS TRANSFER-TYPE SHOWER 36" X 36" CLEAR WITH MIN 36" X 48" CLEARANCE AS SHOWN ON PLAN
SEAT PROVIDED ON WALL OPPOSITE CONTROLS
STANDARD ROLL-IN SHOWER 60" X 30" CLEAR WITH MIN 60" X 30" CLEARANCE AS SHOWN ON PLAN
SEAT PROVIDED ON WALL OPPOSITE CONTROLS

GRAB BARS INSTALLED AS REQ PER 608.3
CONTROLS & HAND SH. INSTALLED AS REQ PER 608.4
THRESHOLDS HEIGHT 1/2" MAX & BEVELED OR ROUNDED
SHOWER ENCLOSURES INSTALLED AS TO NOT OBSTRUCT CONTROLS OR TRANSFER FROM WHEELCHAIR TO SEAT
WATER TEMPERATURE 120 DEGREES MAX
GRAB BARS CIRCULAR 1.5" DIA WITH 1.5" MIN CLEAR TO WALL
12" CLEAR TO OBJECTS ABOVE AND INSTALLED 33"-36" ABOVE FLOOR
SEATS INSTALLED AS REQ PER 610.3
WASHERS & DRYERS FRONT LOADING HT 15"-36", CLEARANCE ON PLAN

COMMUNICATION ELEMENTS & FEATURES (ICC A117.1 CHAPTER 7)

ALARMS INSTALLED AS REQ PER 702.1
SIGNS INSTALLED AS REQ PER 703
DETECTABLE WARNINGS INSTALLED AS REQ PER 705
TWO-WAY COMM INSTALLED AS REQ PER 708

SPECIAL ROOMS & SPACES (ICC A117.1 CHAPTER 8)

KITCHENS PASS-THRU KITCHEN PROVIDE 40" MIN CLEARANCE
U-SHAPED KITCHEN PROVIDE 60" MIN CLEARANCE
WORK SURFACE AS SHOWN ON PLAN
SINKS MAX 34" ABOVE FLOOR WITH PROPER CLEARANCE
APPLIANCES INSTALLED AS REQ PER 804.5
BUS BOARDING AREA FIRM, STABLE SURFACE 96" X 60" MIN CLEARANCE
NOT SLOPED MORE THAN 1:48

BUILT-IN FURNISHINGS & EQUIPMENT (ICC A117.1 CHAPTER 9)

DINING/WORK SURFACES INSTALLED 28"-34" IN HT WITH PROPER CLEARANCE
STORAGE FACILITIES INSTALLED AS REQ PER 905

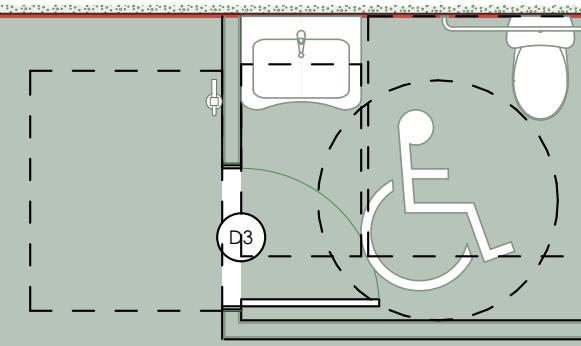
DWELLING UNITS & SLEEPING UNITS (ICC A117.1 CHAPTER 10)

TYPE A UNITS COMPLY AS REQ PER 1003
ACCESSED VIA MAIN ACCESSIBLE CIRC PATH
WITH COMPONENTS MAX 1:20 SLOPE
AT LEAST ONE ADA BATH PER UNIT
WORK SURFACE 30" WIDE MIN
SINK 30" WIDE MIN

ACCESSIBLE COMM INSTALLED AS REQ PER 1006

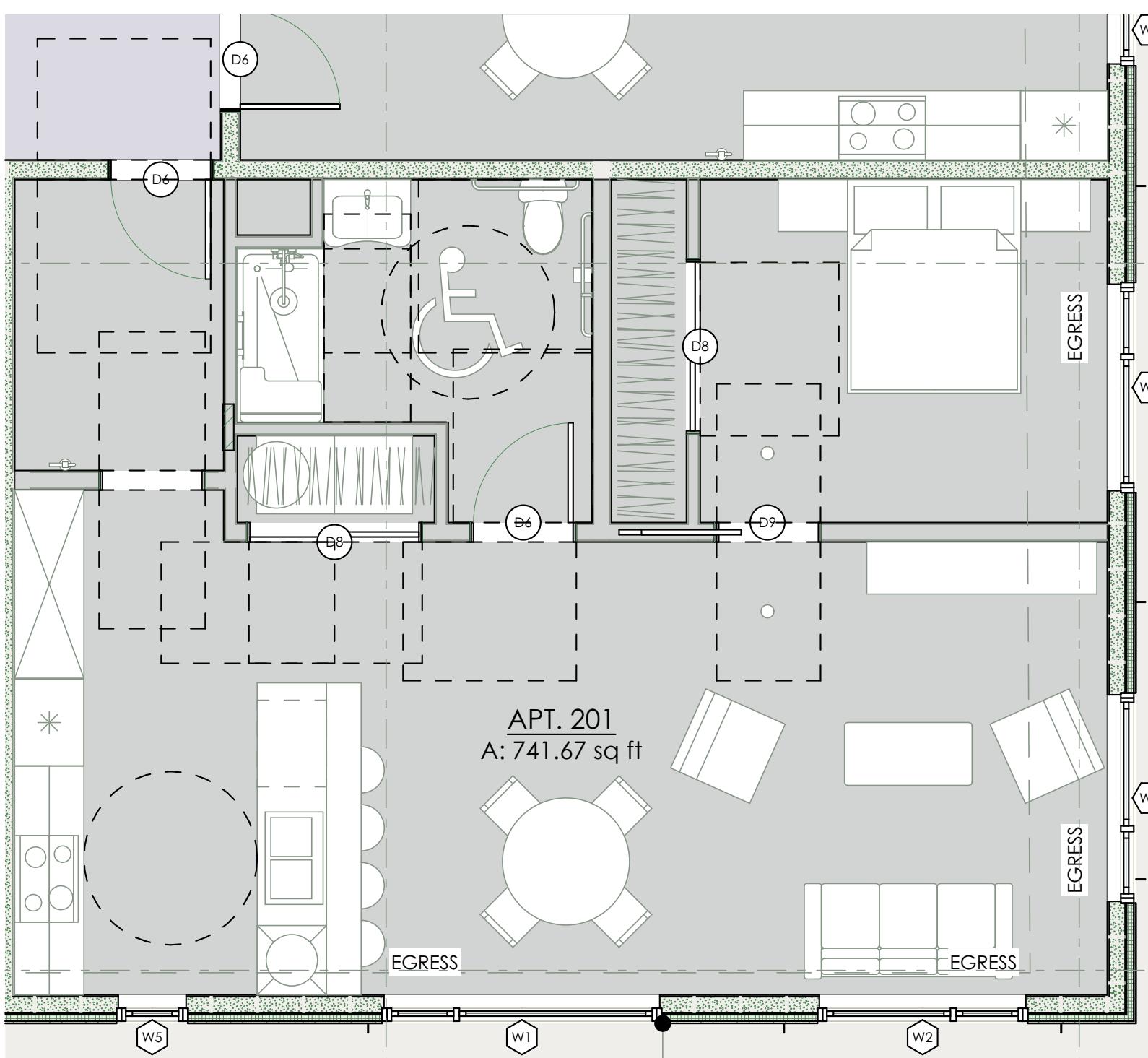
RECREATIONAL FACILITIES (ICC A117.1 CHAPTER 11)

PLAY AREAS SHALL COMPLY PER 1108
44" MIN CLEARANCE SURROUNDING PLAY EQUIP



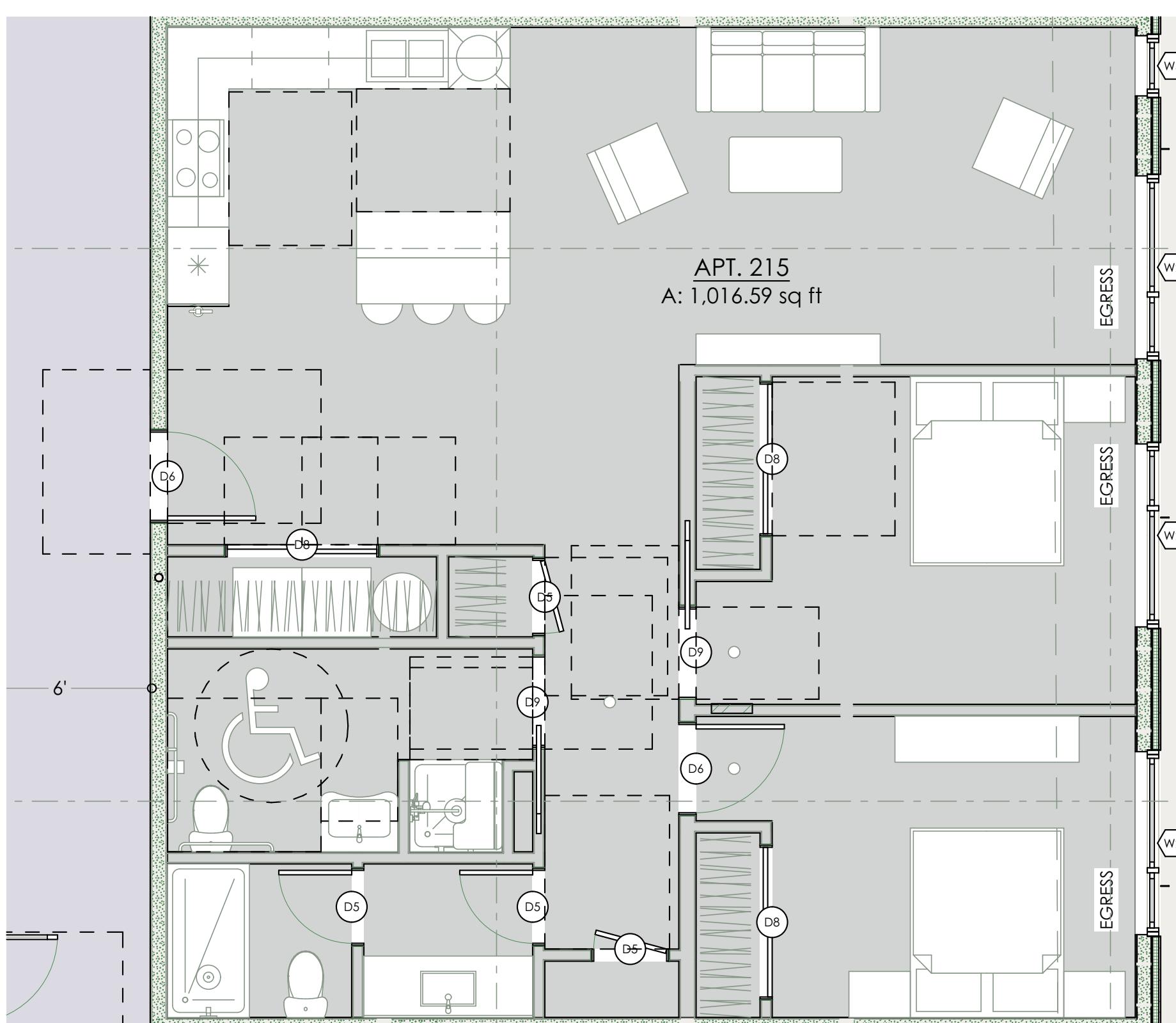
TYP COMM ADA WC

SCALE: 1/4" = 1'-0"



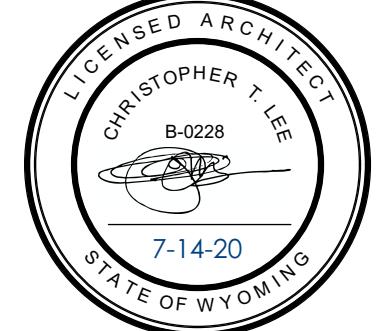
APT 201 - ADA UNIT

SCALE: 1/4" = 1'-0"



APT 215 - ADA UNIT

SCALE: 1/4" = 1'-0"



REVISION HISTORY		
SYMB	CHANGE	DATE
1	CONCEPTUAL	5-23-19
2	CONCEPTUAL UPDATE	6-21-19
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10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

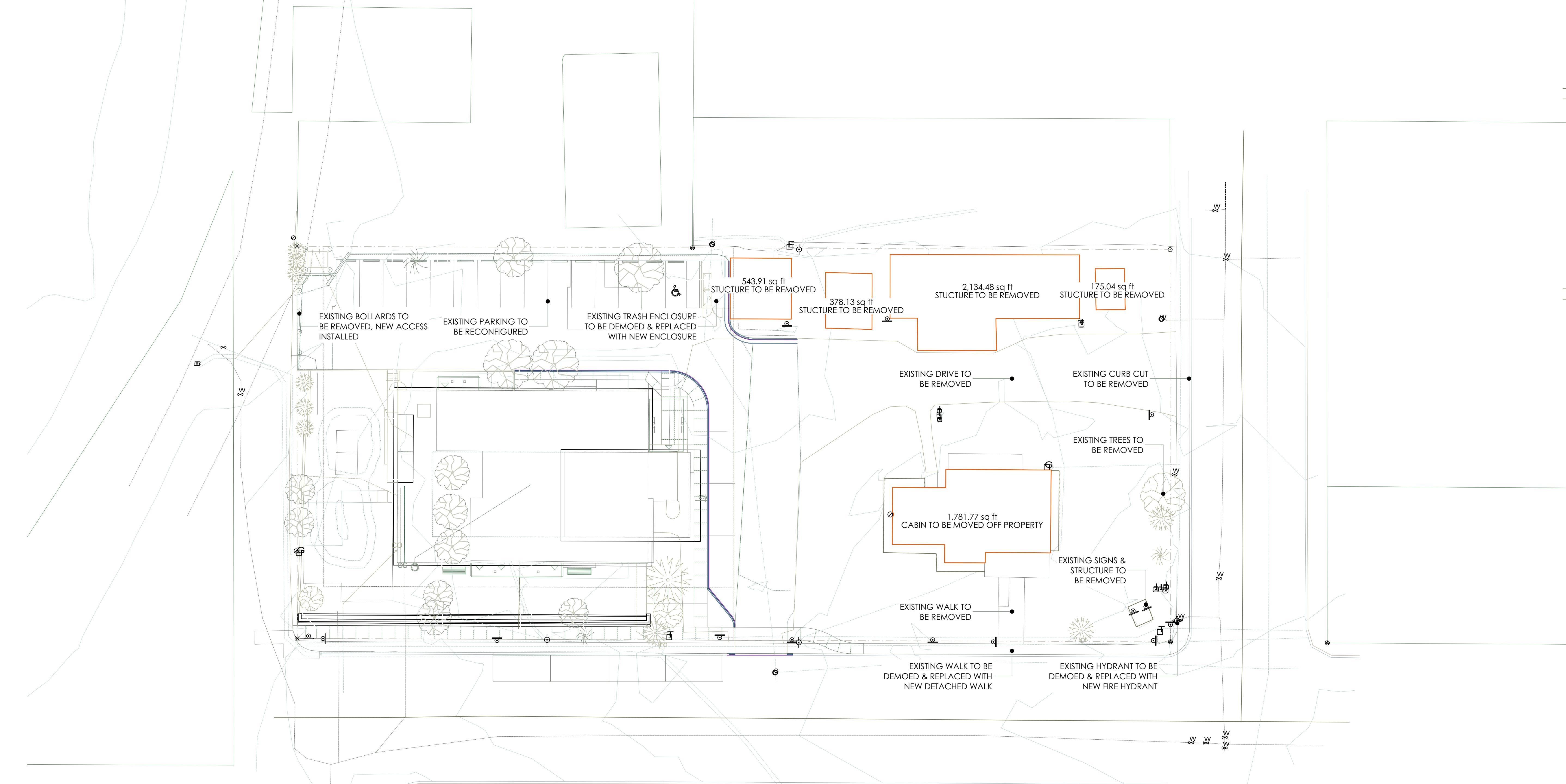
A100

EXISTING CONDITIONS



EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: 1' = 20'



REVISION HISTORY		
SYMB	CHANGE	DATE
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2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
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12	DRC RESUBMITTAL	6-3-20

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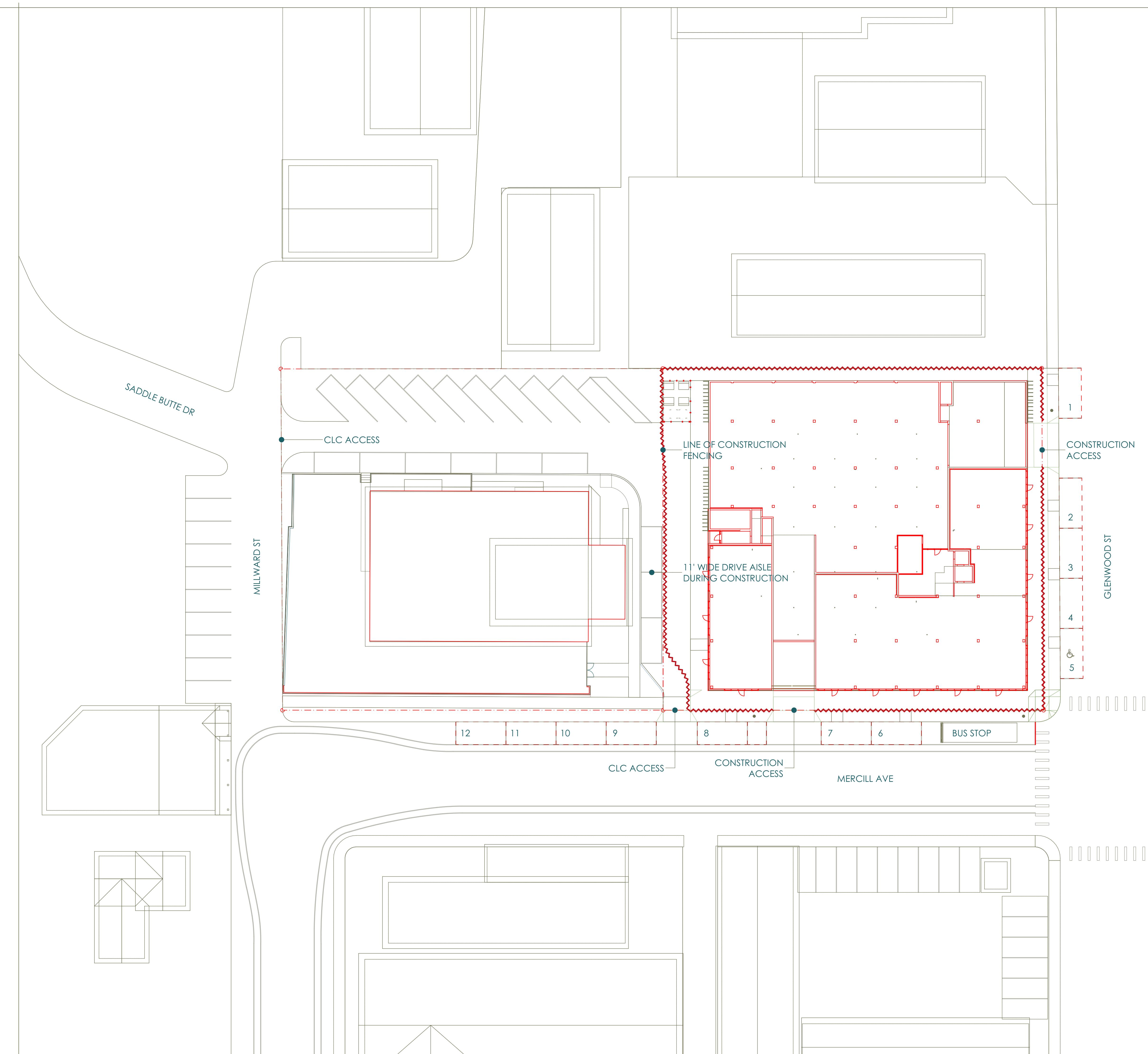
PERMIT SET
7-14-20

A102

SITE CONSTRUCTION PLAN

SCALE: 1" = 20'

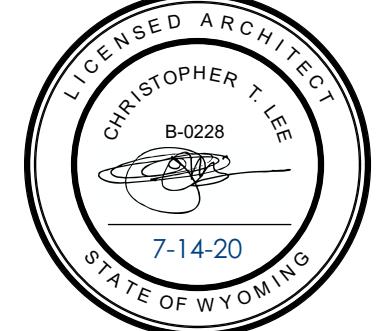
CONSTRUCTION PLAN



da

DESIGN ASSOCIATES ARCHITECTS
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(O) 307 733 3600

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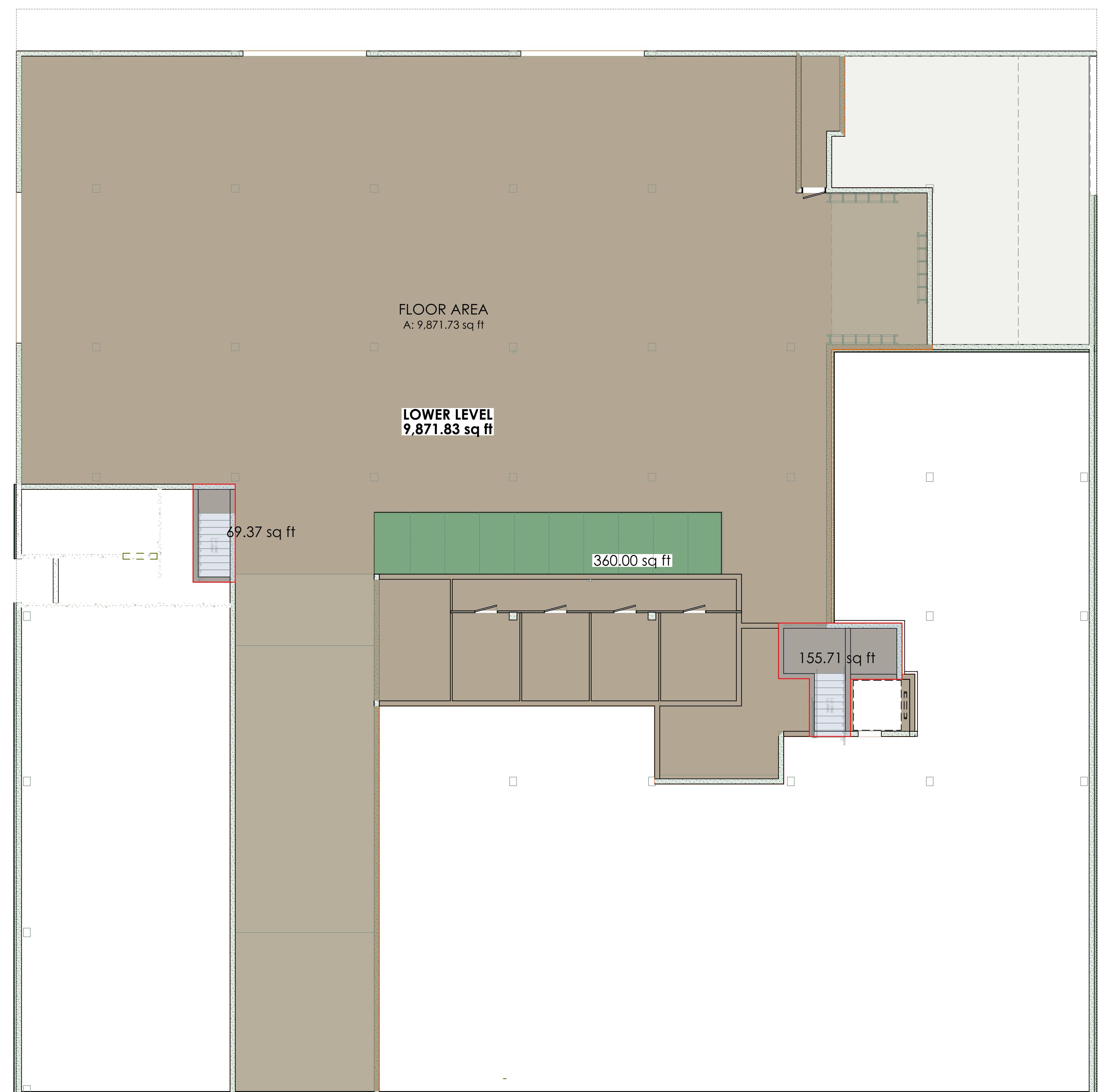
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MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

A103

LOWER PARKING AREA PLAN

SCALE: 1/8" = 1'-0"



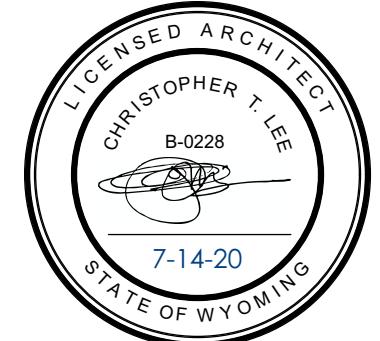
LOWER PARKING AREA PLAN

LOWER PARKING AREA PLAN

da

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MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

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7-14-20

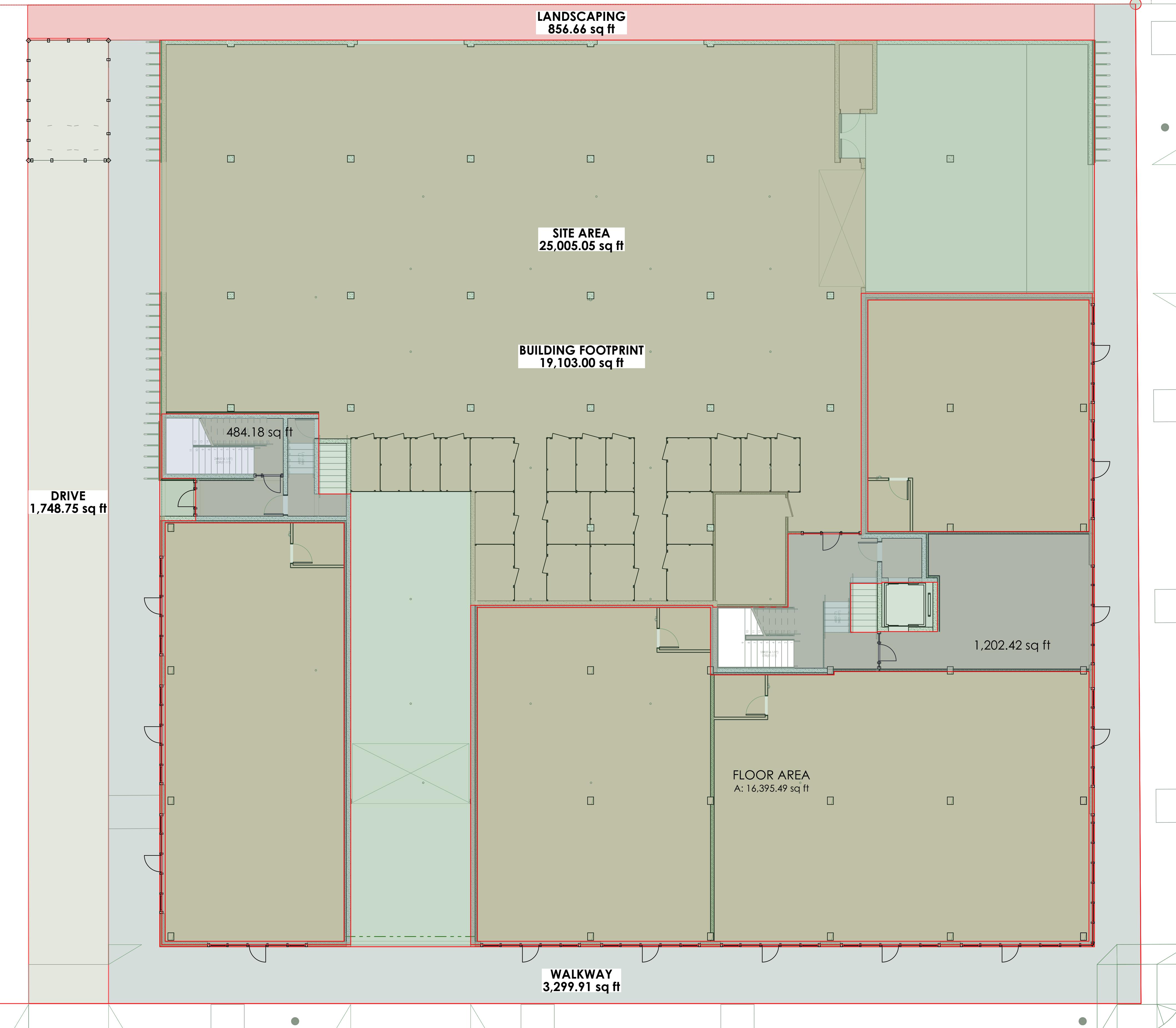
A104

FIRST FLOOR AREA PLAN



SCALE: 1/8" = 1'-0"

FIRST FLOOR AREA PLAN

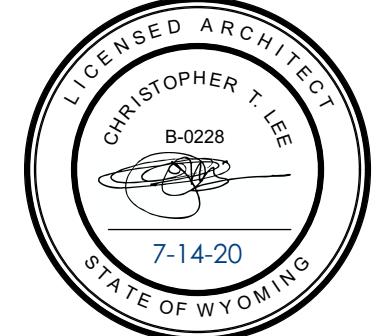


SCALE: 1/8" = 1'-0"

da

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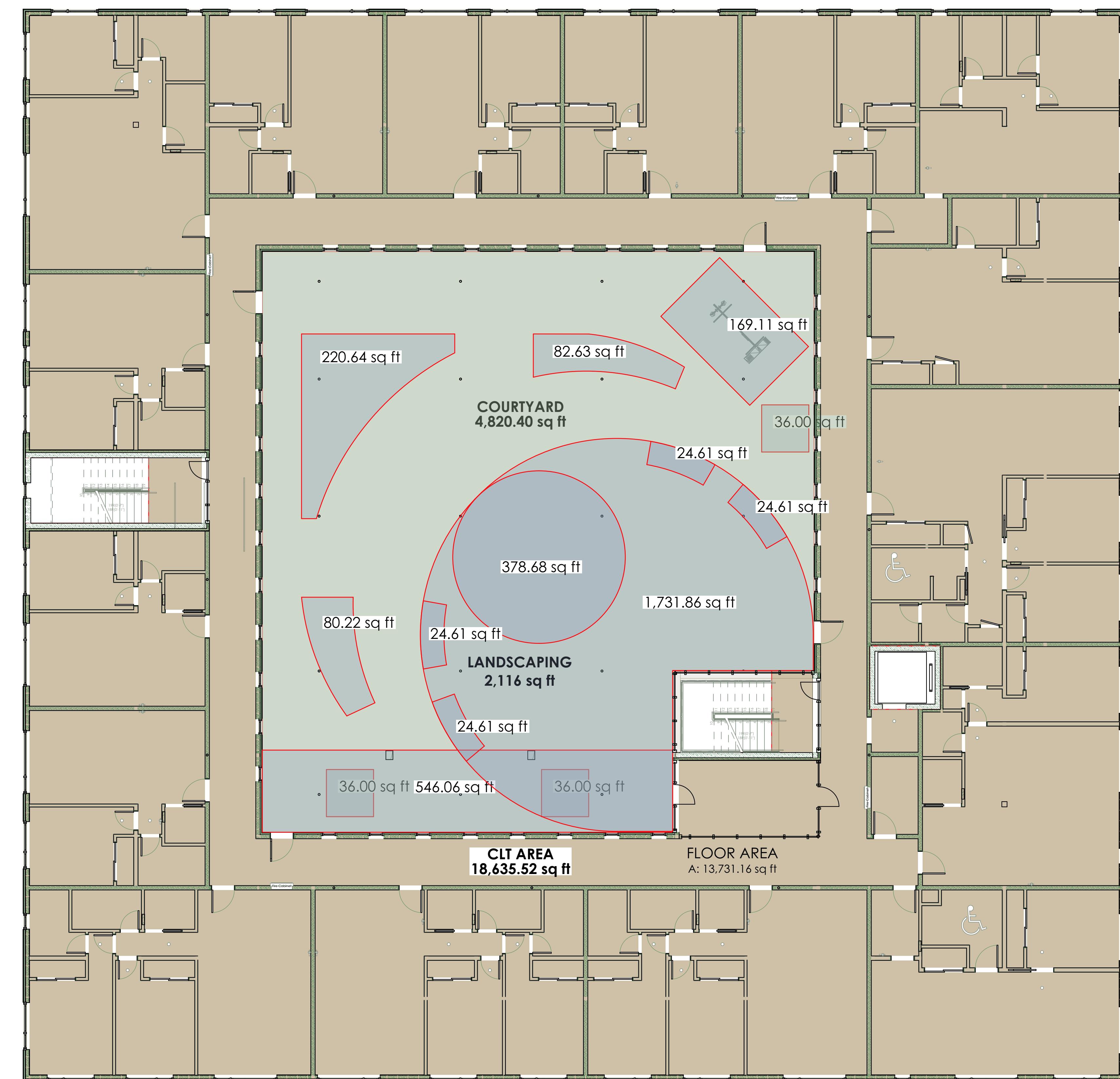
A105

SECOND FLOOR AREA PLAN



SCALE: 1/8" = 1'-0"

SECOND FLOOR AREA PLAN

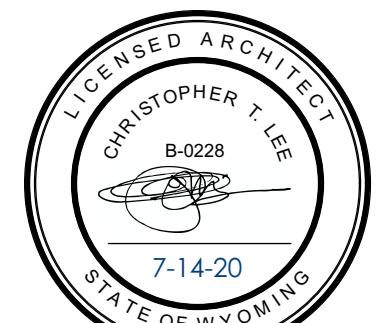


SECOND FLOOR AREA PLAN

da

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REVISION HISTORY

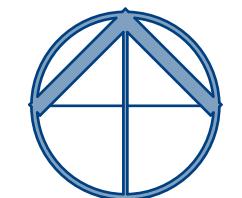
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MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

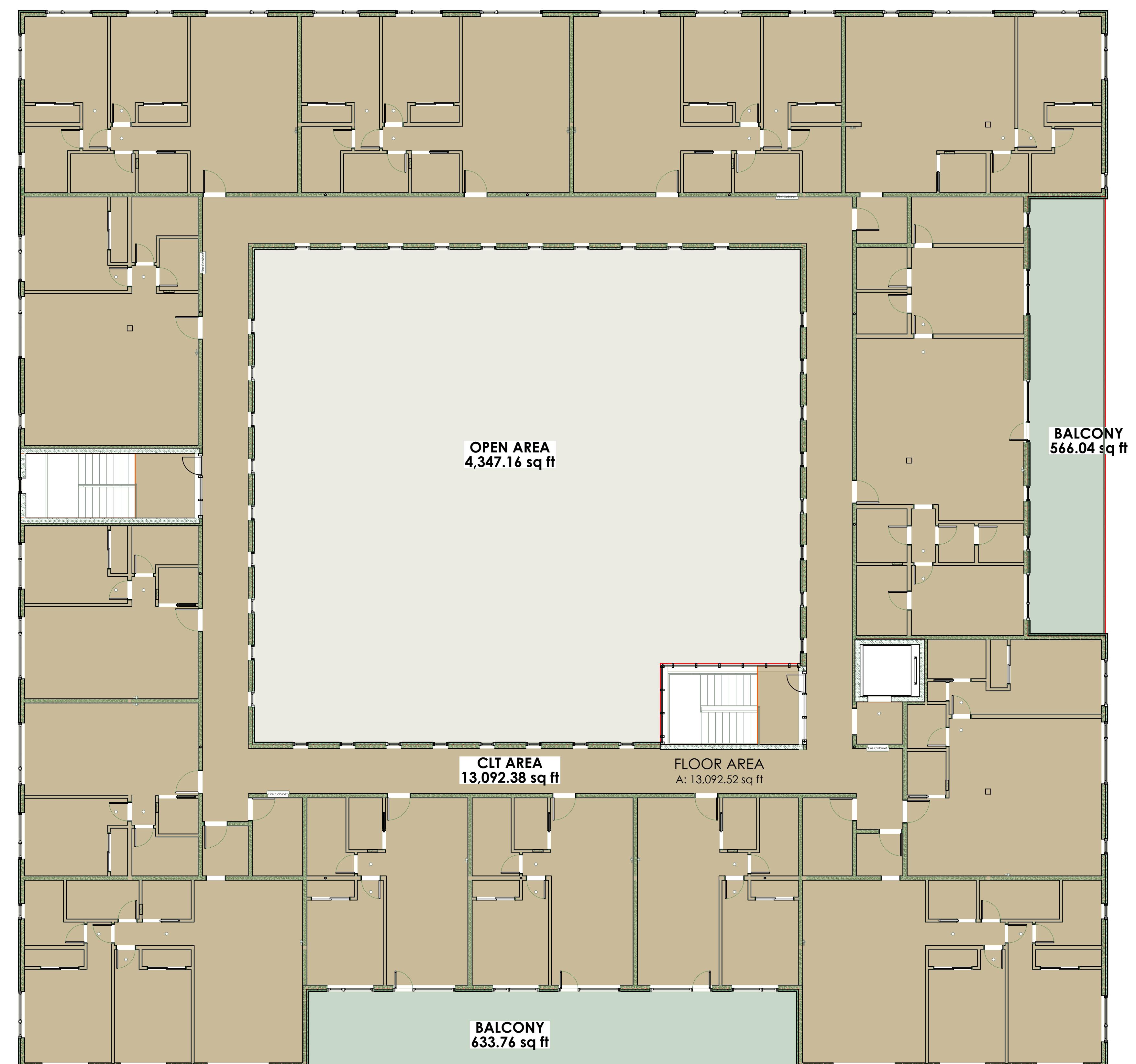
PERMIT SET
7-14-20

A106

THIRD FLOOR AREA PLAN



SCALE: 1/8" = 1'-0"



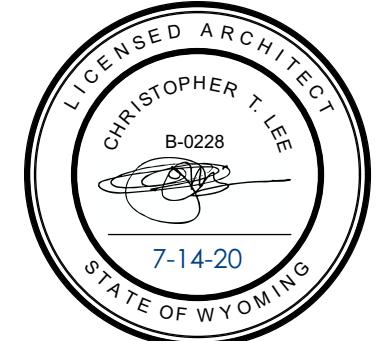
THIRD FLOOR AREA PLAN

THIRD FLOOR AREA PLAN

da

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MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

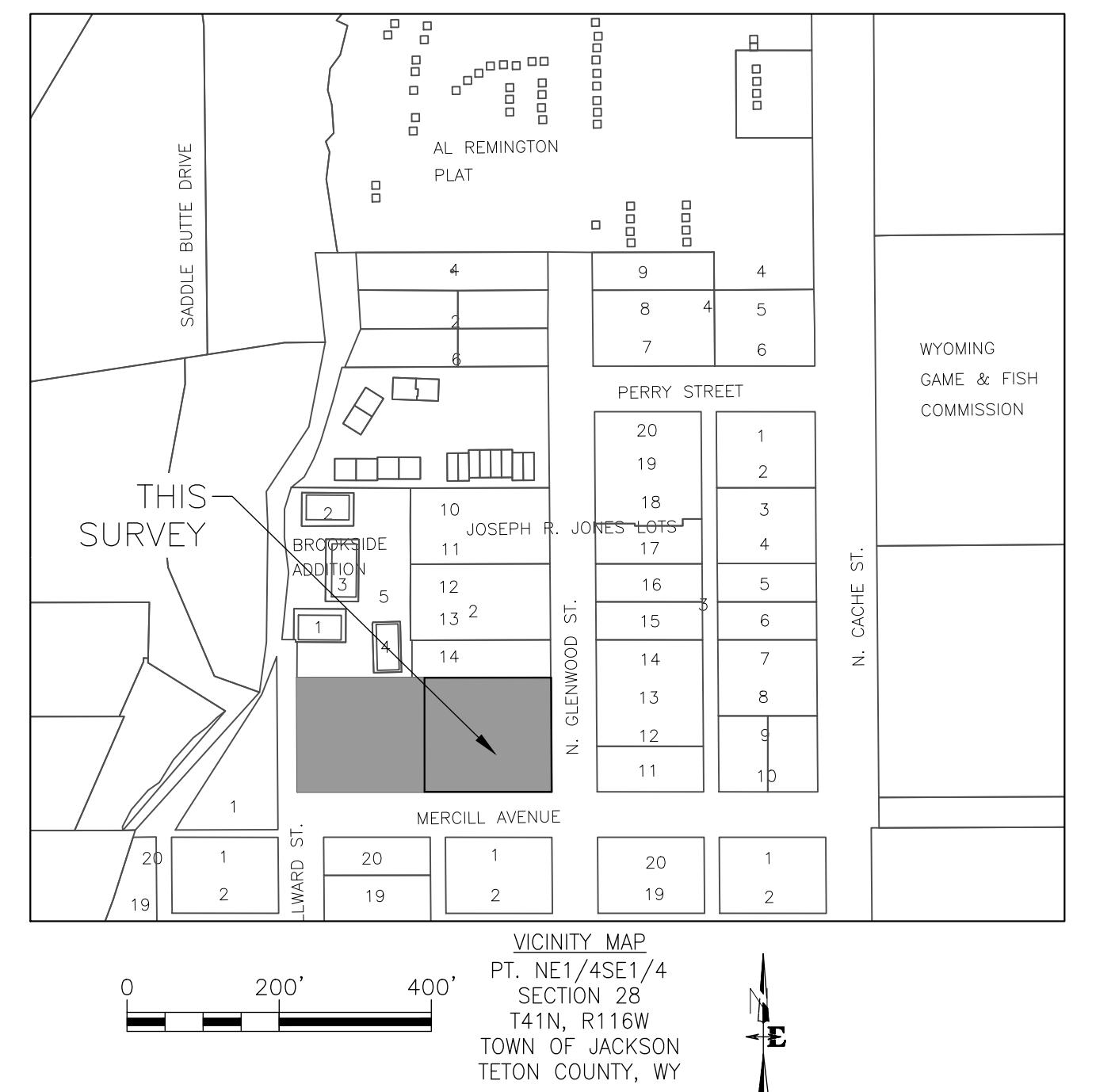
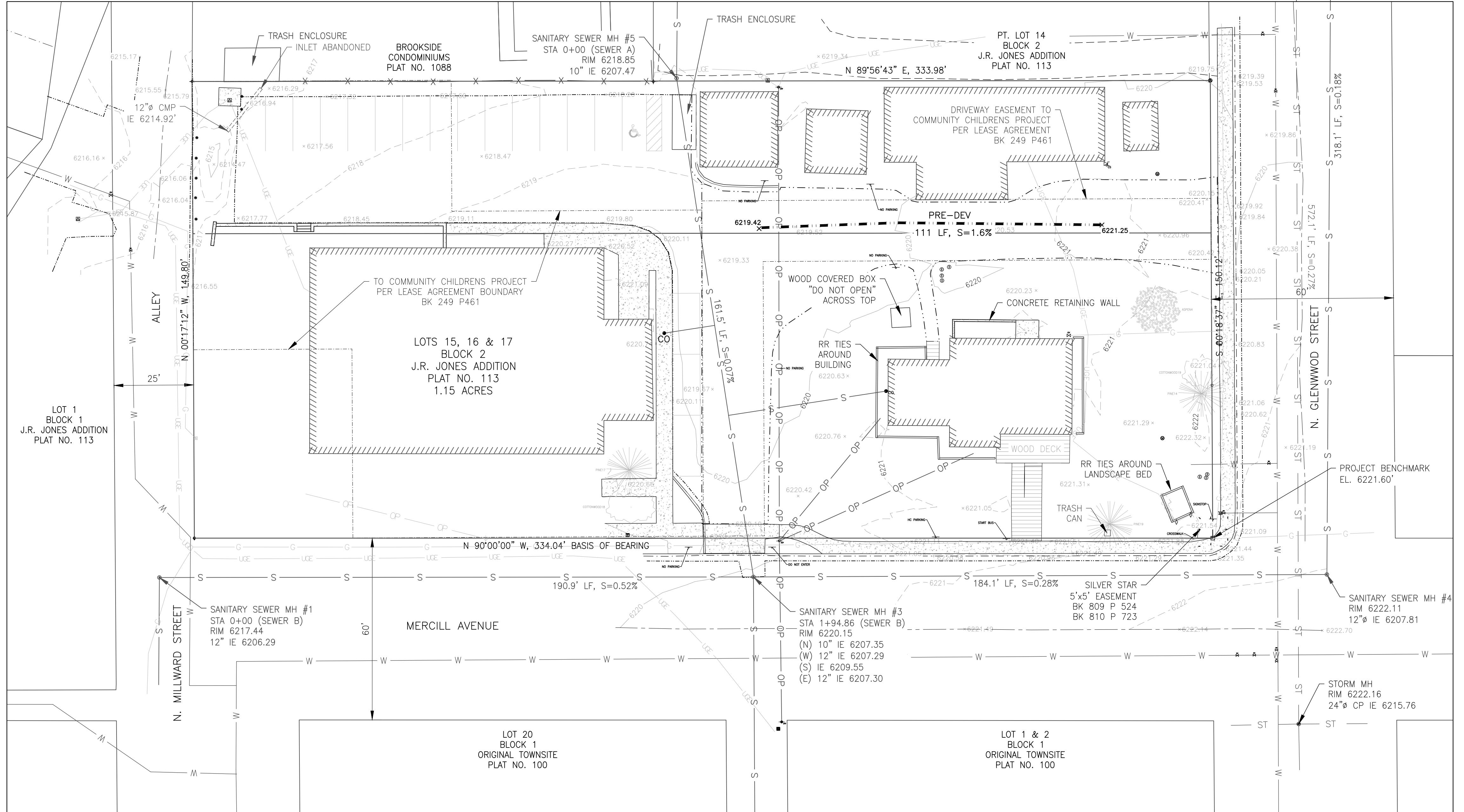
PERMIT SET
7-14-20

A107



ROOF AREA PLAN
SCALE: 1/8" = 1'-0"

ROOF AREA PLAN



MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY

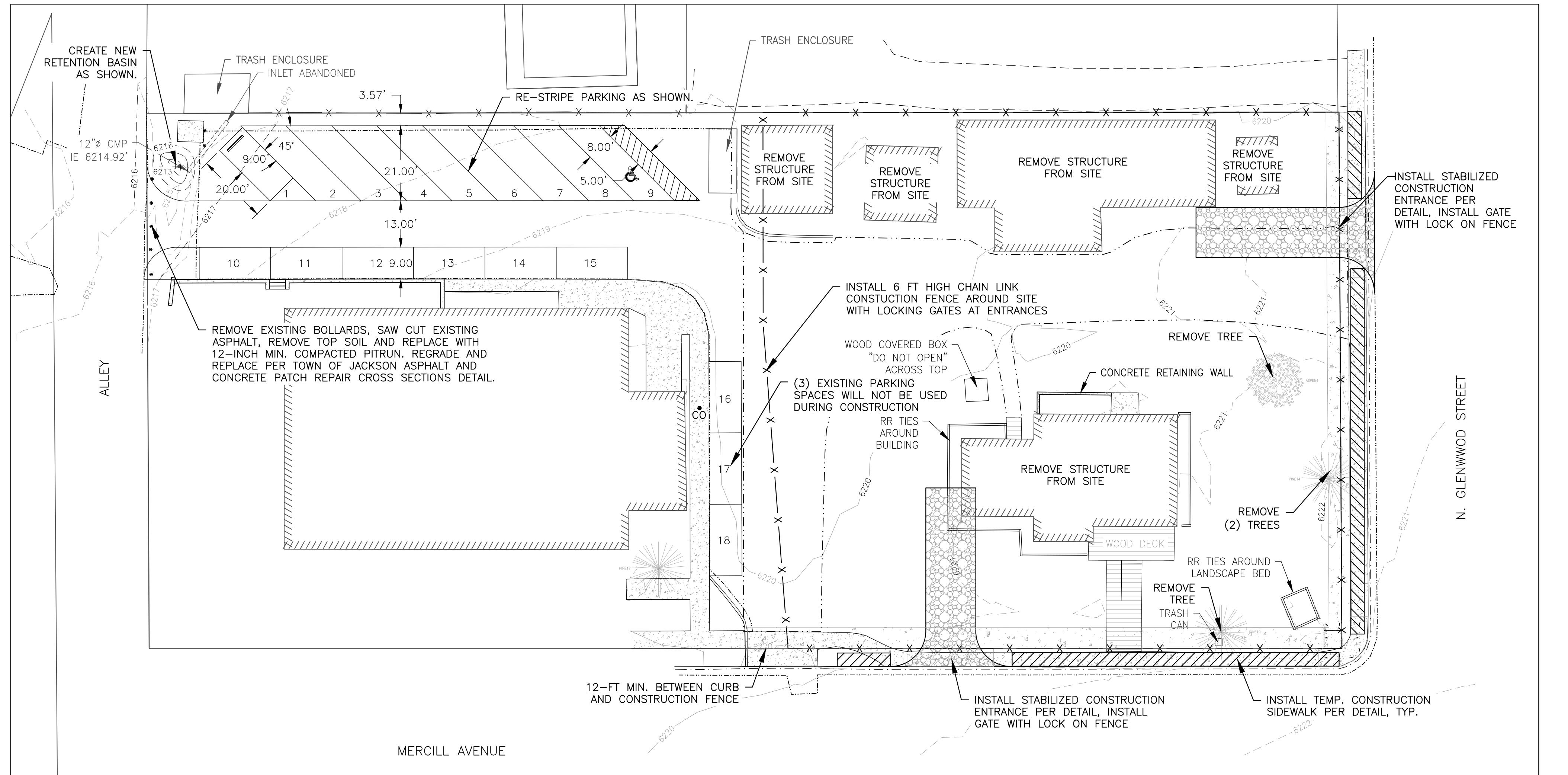
EXISTING CONDITIONS

LEGEND	
—	= PROPERTY BOUNDARY
- - -	= EASEMENT LINE
— X — X —	= FENCE WOOD PRIVACY
— OP — OP —	= OVERHEAD POWER LINE
— S —	= SANITARY SEWER LINE
— ST — ST —	= STORM SEWER LINE
— W —	= WATER LINE PER TOJ GIS
— — —	= CENTERLINE OF ROAD
— — —	= EDGE OF PAVEMENT
— — —	= FLOW LINE OF GUTTER
— G —	= GRAVEL
— B —	= BUILDING
— W —	= WOOD BOARDWALK/DECK
— C —	= CONCRETE SIDEWALK
— P —	= PAVEMENT
●	= BOLLARD
①	= COMMUNICATION VAULT
□ CS	= CURB STOP
□	= ELECTRIC TRANSFORMER
◊	= ELECTRIC STUB
×	= GAS VALVE
●	= HYDRANT
①	= IRRIGATION VALVE
● M	= MONITORING WELL
● PP	= POWER POLE
— RR TIES —	= RR TIES
— CO —	= SANITARY SEWER CLEANOUT
— S —	= SANITARY SEWER MANHOLE
— ST —	= STORM SEWER MANHOLE
— W —	= WATER VALVE
— Y —	= YARD HYDRANT
◆	= FOUND T-STAKE 164
◆	= FOUND REBAR WITH CAP 3831
◆	= FOUND REBAR WITH CAP 6447
□	= FOUND BRASS CAP
ASPEN14	= ASPEN TREE W/TRUNK DIA.
COTTONWOOD18	= COTTONWOOD TREE W/TRUNK DIA.
PINE19	= PINE TREE W/TRUNK DIA.

7-14-20

C1



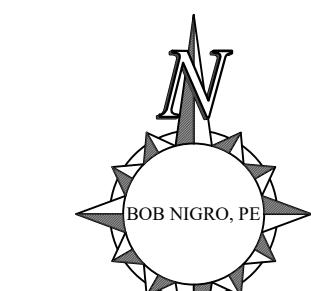


DEVELOPMENT SCHEDULE:
LAND DISTURBING ACTIVITIES WILL BEGIN IN THE FALL OF 2020 (PENDING PERMIT APPROVALS) AND COMPLETED IN THE FALL OF 2022. REVEGETATION WILL OCCUR AS SOON AS POSSIBLE AND WILL BE DONE IN THE FALL OF 2022 AND / OR THE SPRING OF 2023.

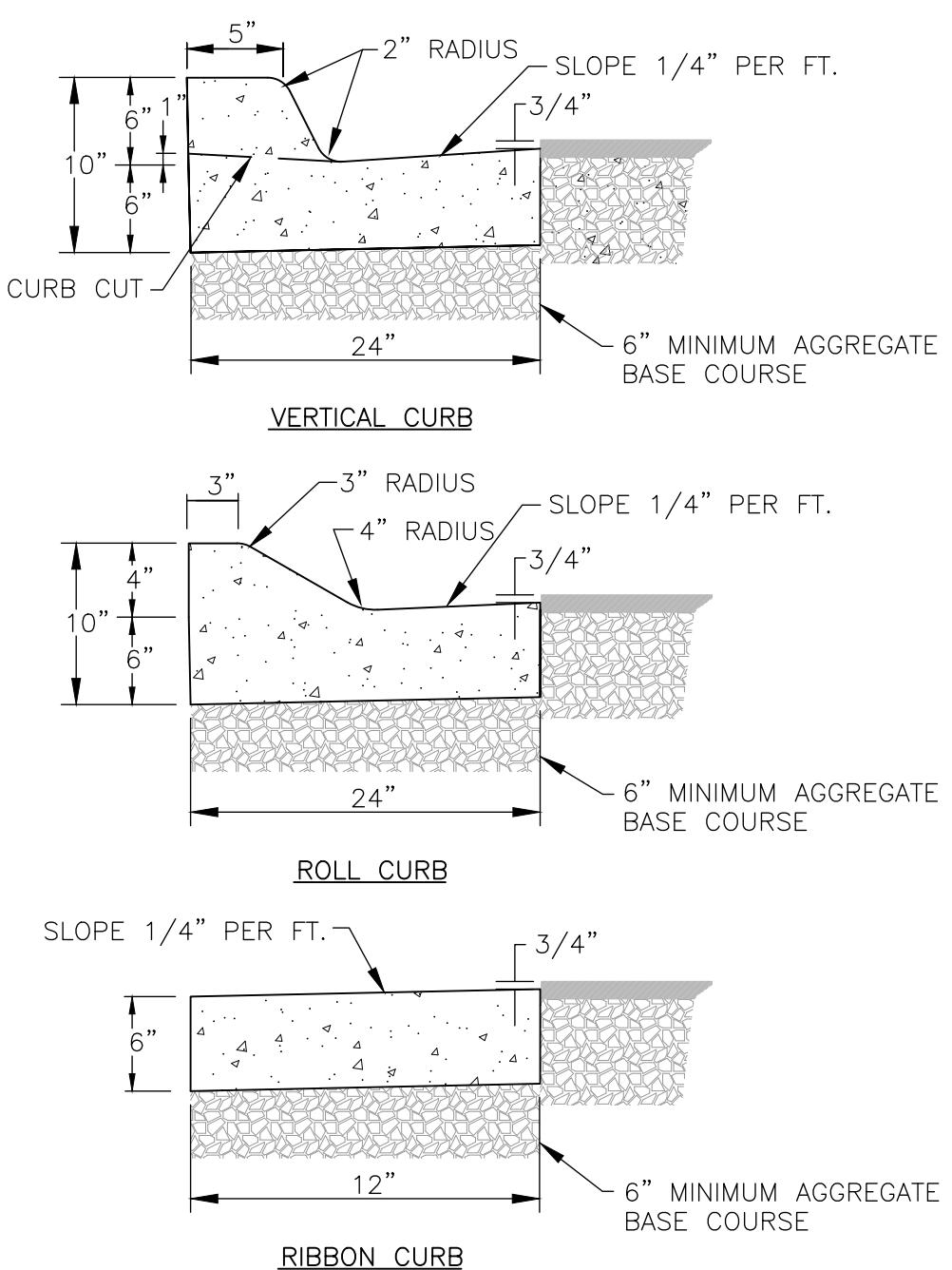
PROPOSED GRADING PLAN:
EXISTING TOPSOIL WILL BE STRIPPED AND STOCKPILED OFFSITE AS THE FIRST STEP OF LAND DISTURBING ACTIVITIES. A LARGE AMOUNT OF EXCAVATION WILL BE REQUIRED AND THIS MATERIAL WILL BE HAULED OFF SITE. THE GENERAL CONTRACTOR SHALL DOCUMENT THE PROPOSED LOCATION TO HAUL THE MATERIAL.

EXISTING ELEVATIONS WILL BE CHANGED AS NOTED ON THE
GRADING DRAWING.

REVEGETATION DETAILS:
ARTICLE IV, SECTION 4130 OF THE LAND DEVELOPMENT REGULATIONS REQUIRES A LANDSCAPE PLAN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT. REFER TO THIS PLAN FOR MORE SPECIFIC INFORMATION REGARDING REVEGETATION.



Scale: 1 inch = 20 Feet (34:36")



RIBBON CURB

NOTES:

1. CURBS SHALL CONFORM TO WPWSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
2. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
3. REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
4. VERTICAL CURB SHALL BE USED IN PREFERENCE TO ROLL CURB.



CURB SECTIONS

DATE: _____

SCALE-NI



ASPHALT & CONCRETE PATCH REPAIR CROSS SECTIONS

ASPHALT & CONCRETE PATCH REPAIR CROSS SECTIONS

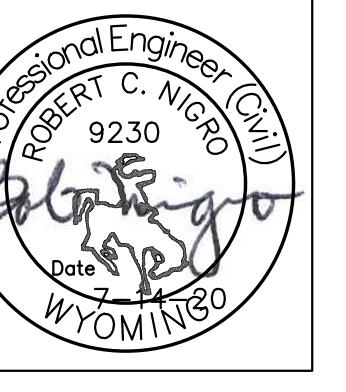
ASF



TEMP. CONSTRUCTION SIDEWALK

TEMP. CONSTRUCTION SIDEWALK

 STABILIZED CONSTRUCTION ENTRANCE



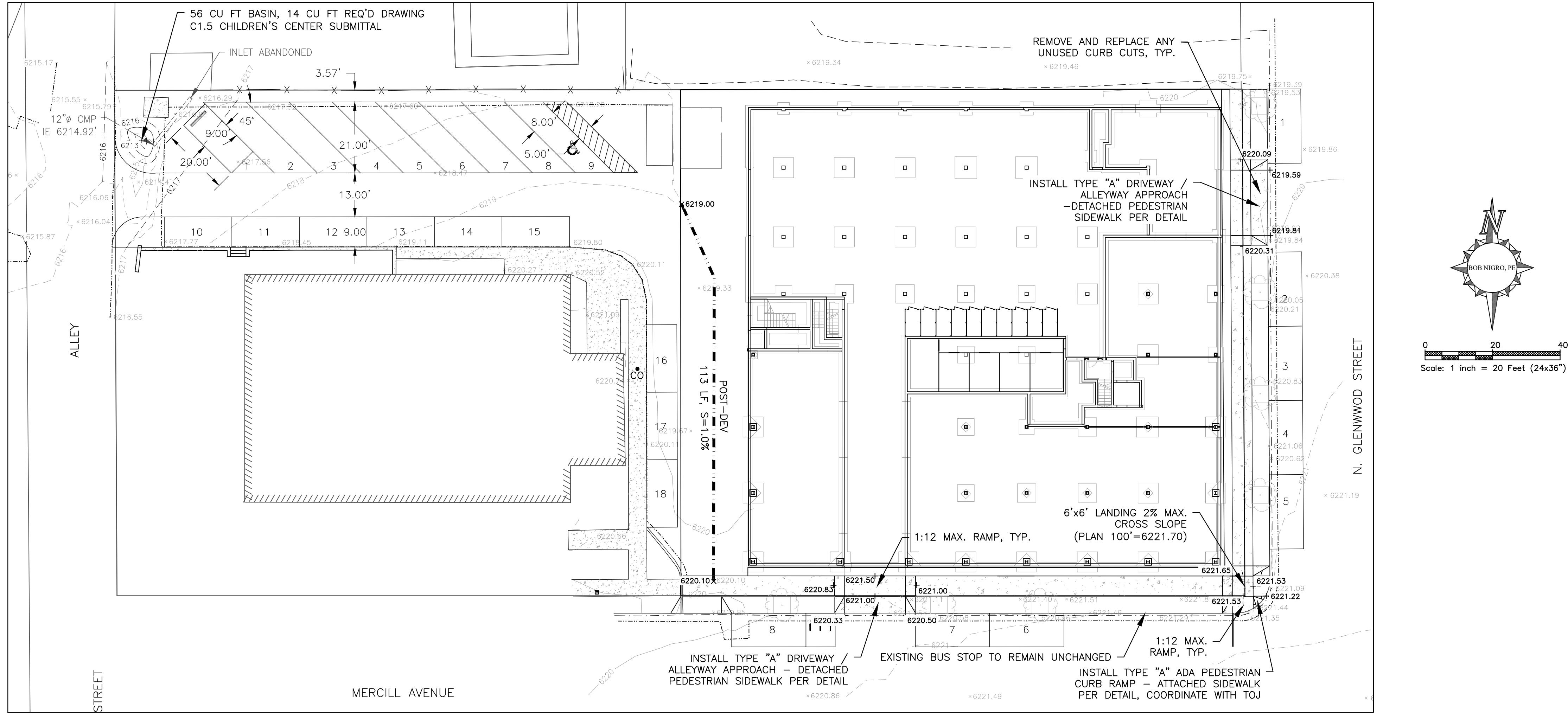
gro@tetonengineering.com
(307) 413-4470

SITE PREP

MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY

7-14-20

C2



GRADING PERMIT REQUIRED:

APPROXIMATELY 25,005 SF WILL BE DISTURBED ON SLOPES <5%, PER THE TOWN OF JACKSON LDR's SECTION 5.7.1 A GRADING AND EROSION CONTROL PLAN IS REQUIRED.

EROSION CONTROL MEASURES:

STABILIZED CONSTRUCTION ENTRANCES WILL BE INSTALLED AND MAINTAINED DURING CONSTRUCTION. IF EXCESS DIRT ACCUMULATES ON GLENWOOD ST. AND MERCILL AVE IT WILL BE PROMPTLY CLEANED BY THE GENERAL CONTRACTOR

DURING THE INITIAL CONSTRUCTION PHASE THERE WILL BE A LARGE HOLE EXCAVATED FOR THE FOUNDATION. THE WATER THAT ACCUMULATES IN THIS LOWER LEVEL WILL BE PUMPED OUT INTO A TANKER TRUCK AND HAULED OFF SITE FOR PROPER DISPOSAL. ALL WATER FROM DEWATERING OPERATIONS WILL BE HAULED OFF SITE.

ALL OF THE STORM WATER INLETS ON GLENWOOD ST. WILL PROTECTED STRAW BALES, FILTER FABRIC AND/OR WADDLES. SEDIMENTS AND DEBRIS AROUND THE PROTECTED INLETS WILL BE CLEANED AS NEEDED BY THE GENERAL CONTRACTOR. THE PROTECTIVE MEASURES WILL BE REPAIRED AND REPLACED AS NEEDED DURING CONSTRUCTION.

STORM WATER MANAGEMENT:

PRE DEV IMPERVIOUS SURFACE: BUILDINGS = 5,145 SF ROADWAY = 6,605 SF TOTAL: 11.750	POST DEV IMPERVIOUS SURFACE: BUILDINGS = 18,951 SF ROADWAY = 6,054 SF TOTAL = 25.005 SF
--	--

COMPARING THE PRE-DEV TO THE POST-DEV CONDITIONS USING THE 100 YEAR STORM EVENT:

153 CU. FT. (1,145 GALLONS) OF STORM WATER RETENTION IS REQUIRED. THE 3,000 GALLON SAND / OIL SEPARATOR IN THE LOWER PARKING HAS 2,693 GALLONS OF STORAGE CAPACITY BETWEEN THE INLET AND PUMP OFF SETTING.

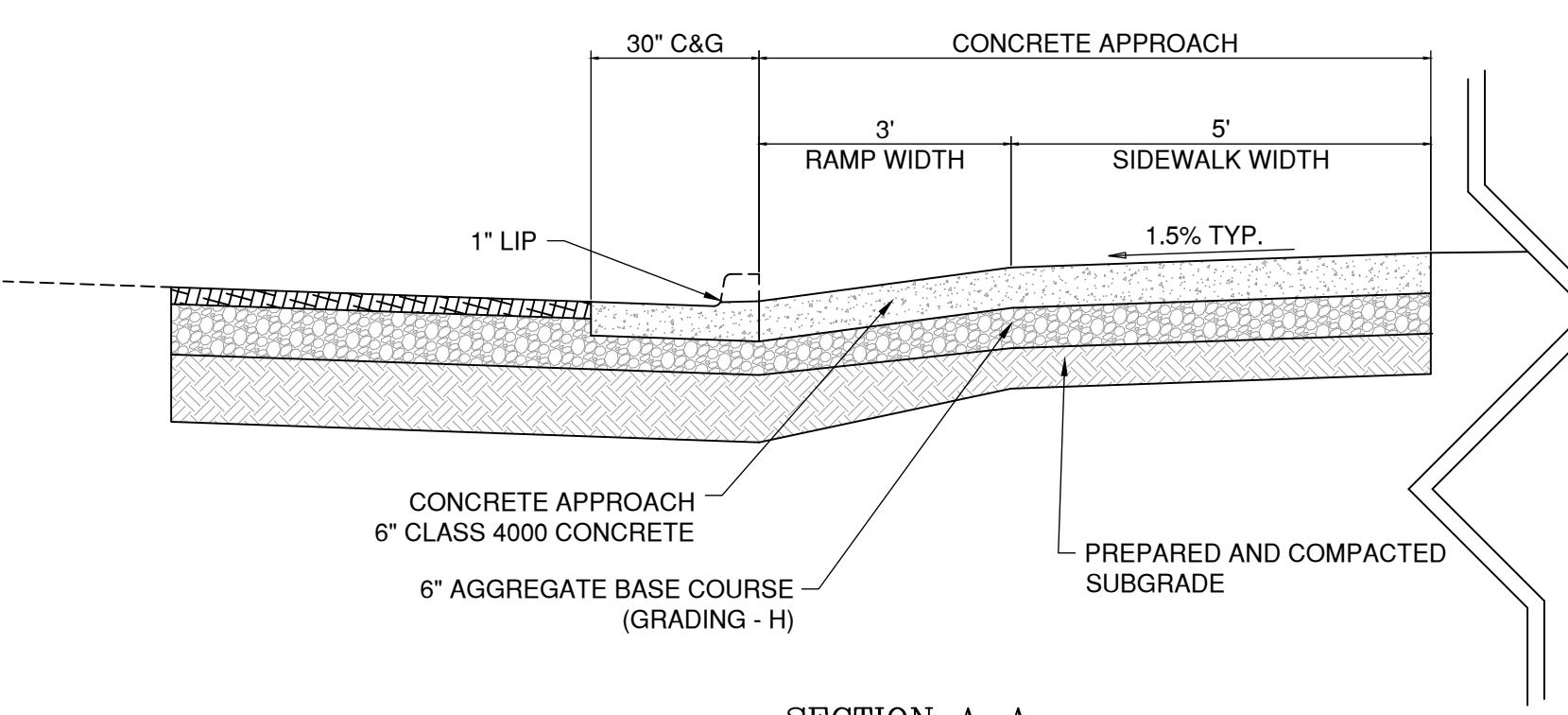
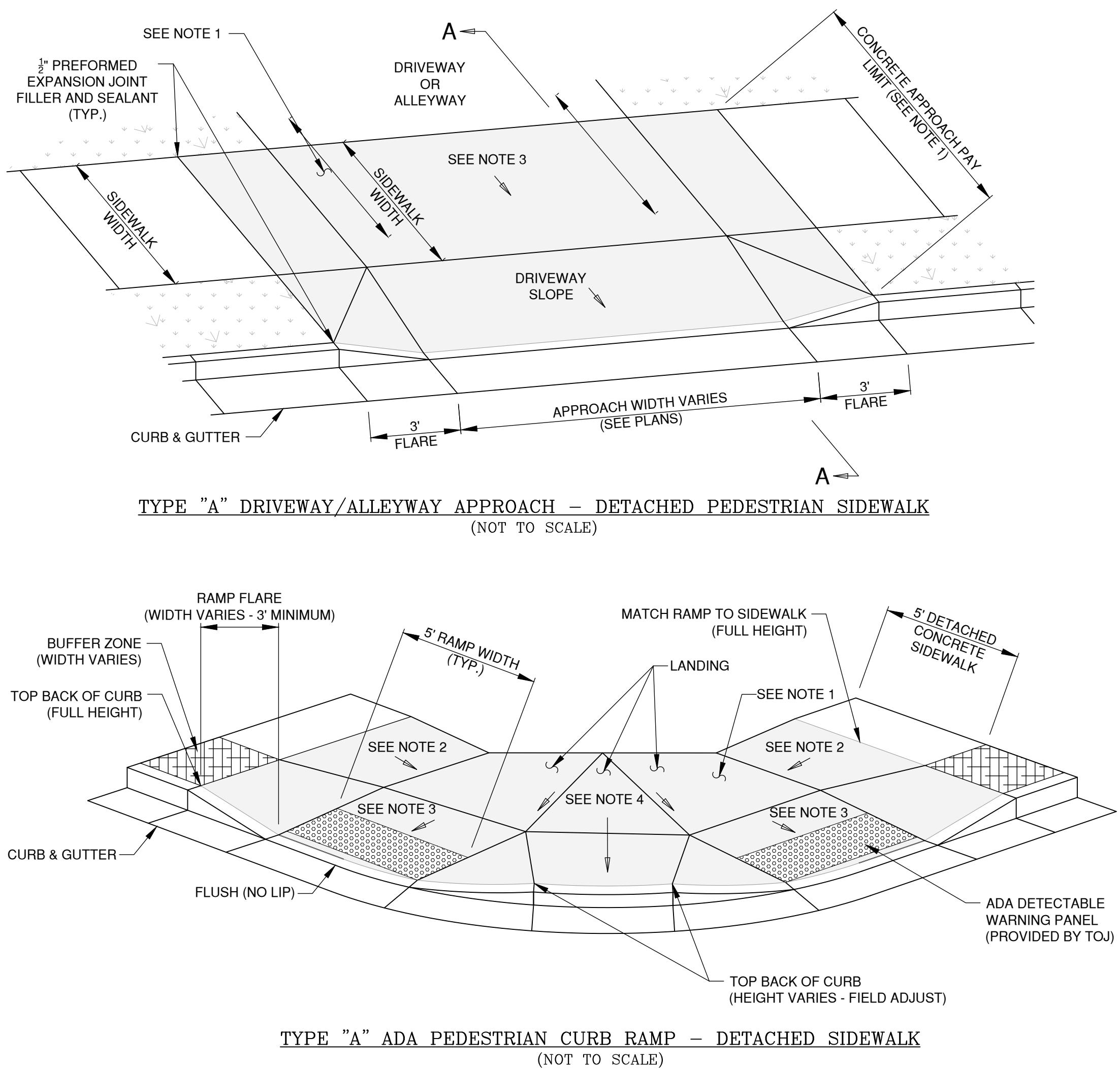
STORM WATER FROM THE ENTIRE 18,951 SF BUILDING FOOT PRINT WILL BE COLLECTED AND TREATED IN THE SAND / OIL SEPARATOR IN THE LOWER PARKING LEVEL. REFER TO THE TANK DETAIL DRAWING C8 FOR TANK AND PUMP CAPACITIES.

SNOW STORAGE: THE SITE HAS NO ROOM FOR SNOW STORAGE. 18,951 SF OF THE 25,005 SF SITE WILL BE COVERED WITH THE BUILDING FOOTPRINT. THE SNOW ON THE REMAINING 6,054 SF SNOW WILL BE HAULED OFF SITE.

TEMPORARY STOCKPILE:
THERE IS NOT ROOM ON THE SITE TO STOCKPILE MATERIALS. ALL EXCESS MATERIAL WILL BE HAULED OFF SITE.

RE-VEGETATION:
REFER TO THE LANDSCAPE ARCHITECT DRAWINGS FOR RE-VEGETATION AND
TREE PLANTING PLANS

RE-VEGETATION:
REFER TO THE LANDSCAPE ARCHITECT DRAWINGS FOR RE-VEGETATION AND TREE PLANTING PLANS



SECTION A-A

TYPICAL SIDEWALK TREATMENT AT APPROACHES

TYPICAL SIDEWALK TREATMENT AT APPROACHES

1. DRIVEWAYS AND ALLEYWAY APPROACHES: SHADED AREAS ARE PAY LIMITS FOR "CONCRETE APPROACH" BID ITEM. THE FLARES AND/OR RAMPS SHALL BE THE SAME THICKNESS AS THE APPROACH.
2. RAMP SLOPE: DO NOT EXCEED A 1V:12H RAMP SLOPE.
3. CROSS SLOPE: SLOPE SIDEWALK TOWARDS STREET. DO NOT EXCEED 1V:50L (2%).

THE 1994-1995 EDITION OF THE *ANNUAL REPORT OF THE STATE OF TEXAS* IS NOW AVAILABLE.

TYPICAL ADA PEDESTRIAN RAMP CONSTRUCTION

1. ADA PEDESTRIAN CURB RAMPS: SHADED AREAS ARE PAY LIMITS FOR "CONCRETE ADA RAMP" BID ITEM. THE FLARES RAMPS AND LANDINGS SHALL BE THE SAME THICKNESS AS THE SIDEWALK.
2. LANDING TO SIDEWALK SLOPE: DO NOT EXCEED A 1V:12H SLOPE.
3. RAMP SLOPE: DO NOT EXCEED A 1V:12H SLOPE.
4. LANDING CROSS SLOPE: SLOPE LANDING TOWARDS STREET DO NOT EXCEED 1V:50H (2%).

NOTES

NOTES:

1. THE NEW STREET CURB ELEVATIONS SHALL MATCH THE EXISTING ELEVATIONS AS GENERALLY DEPICTED UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
2. AT THE DISCRETION OF THE ENGINEER, THE EXISTING CRUSHED BASE BENEATH THE STREET PATCH AND STREET CURB MAY BE LEFT IN PLACE.

Teton Village Check Box 1 FALSE

Lot	0.57	acres
Lot	25,005	sf

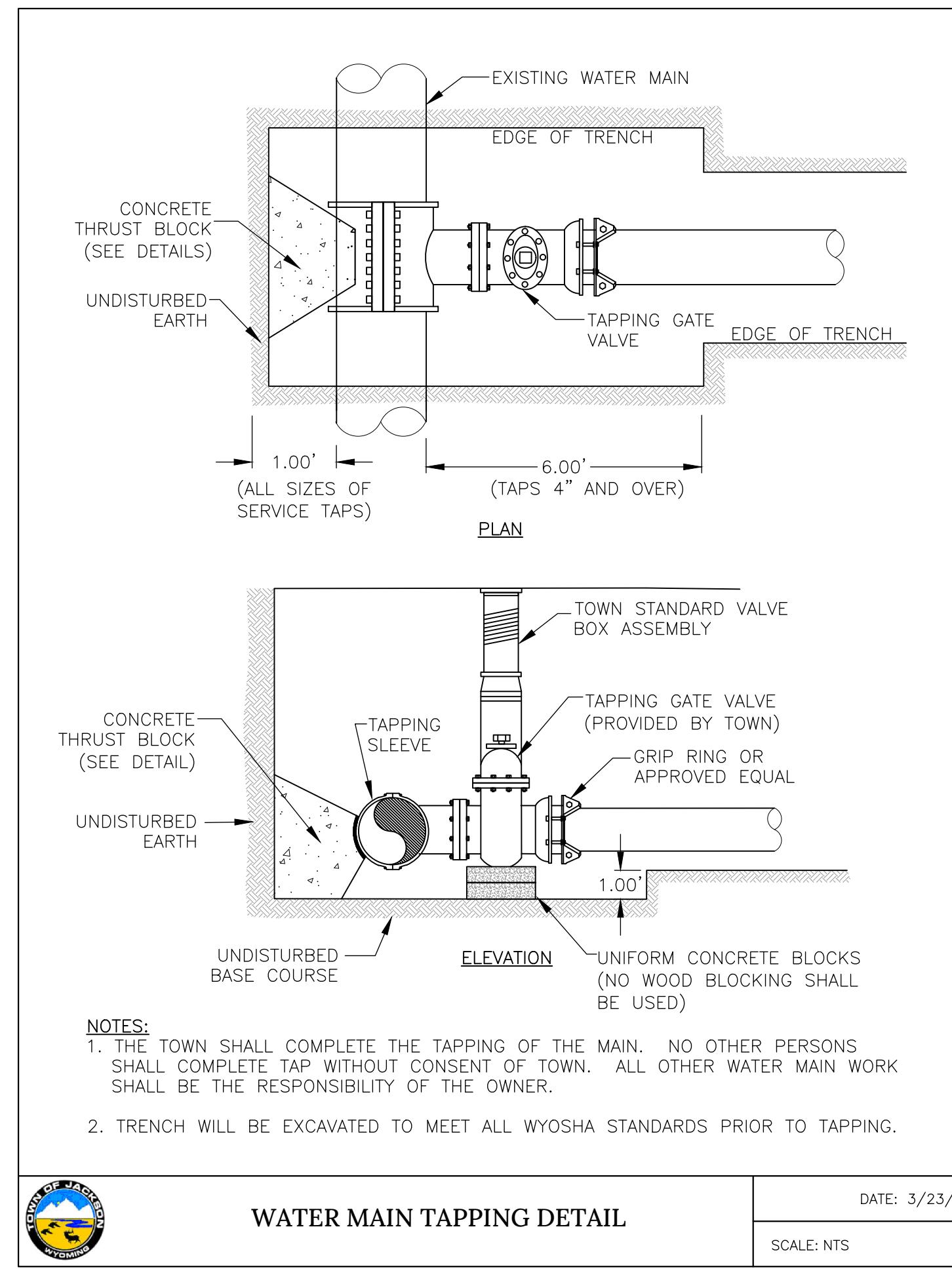
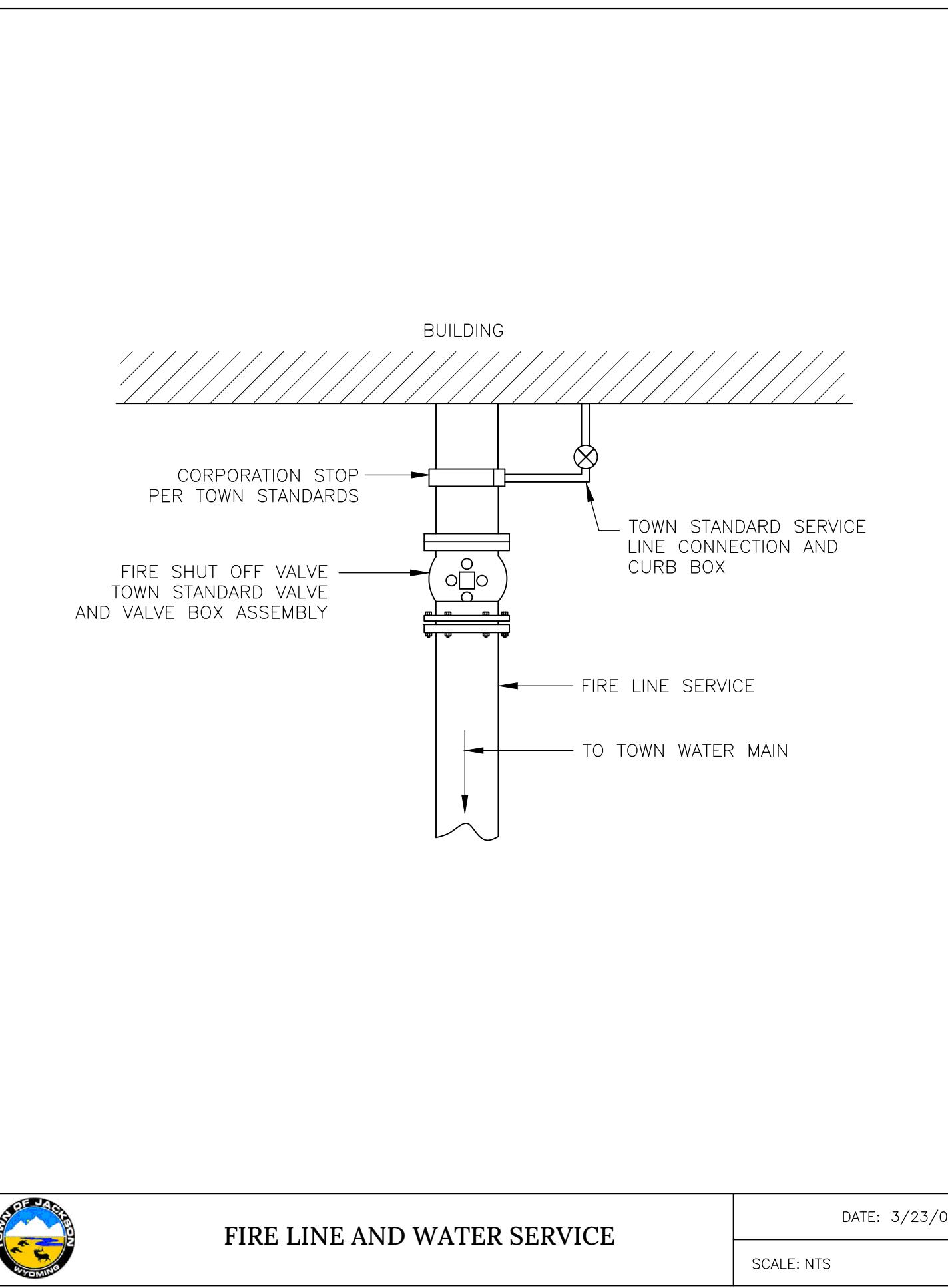
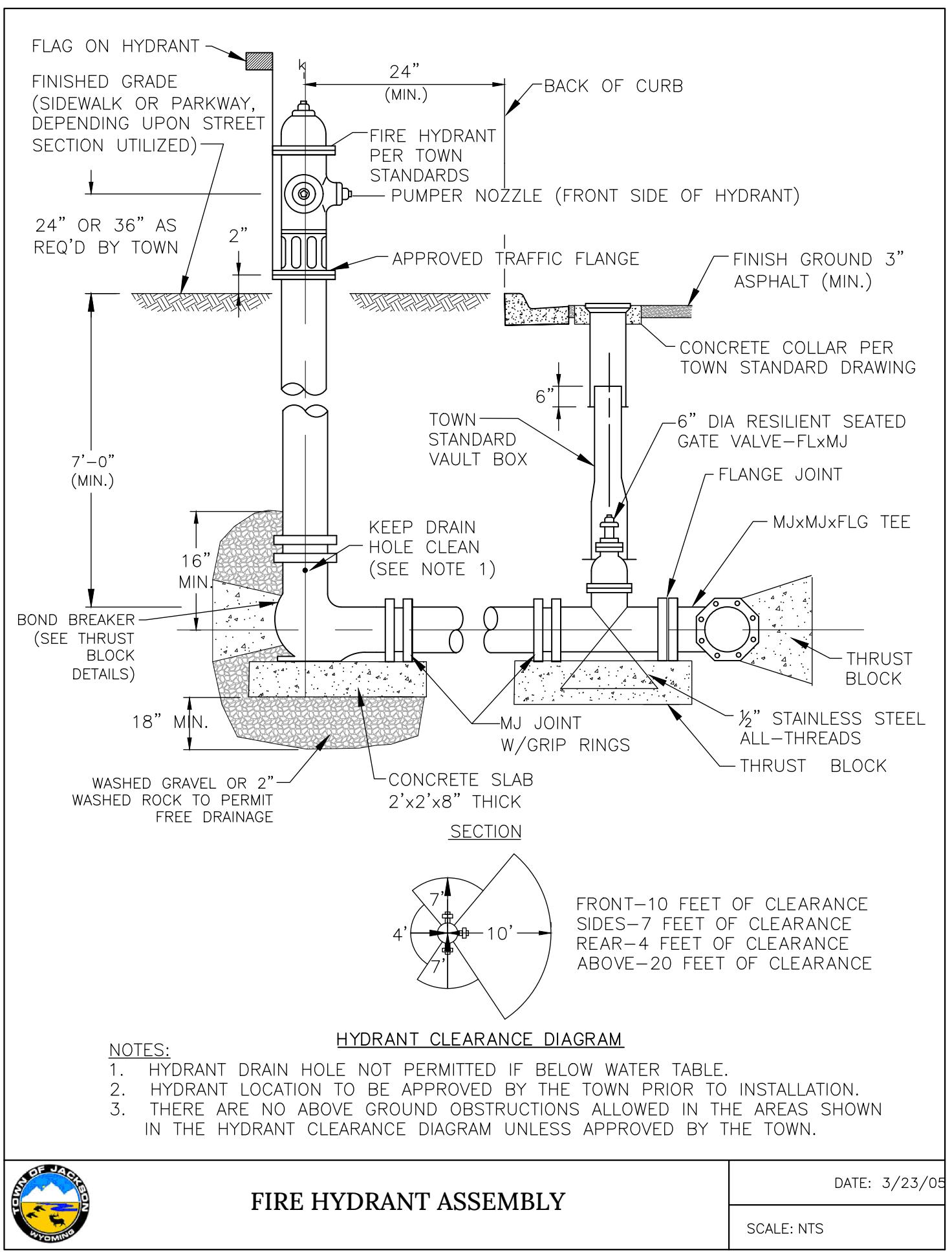
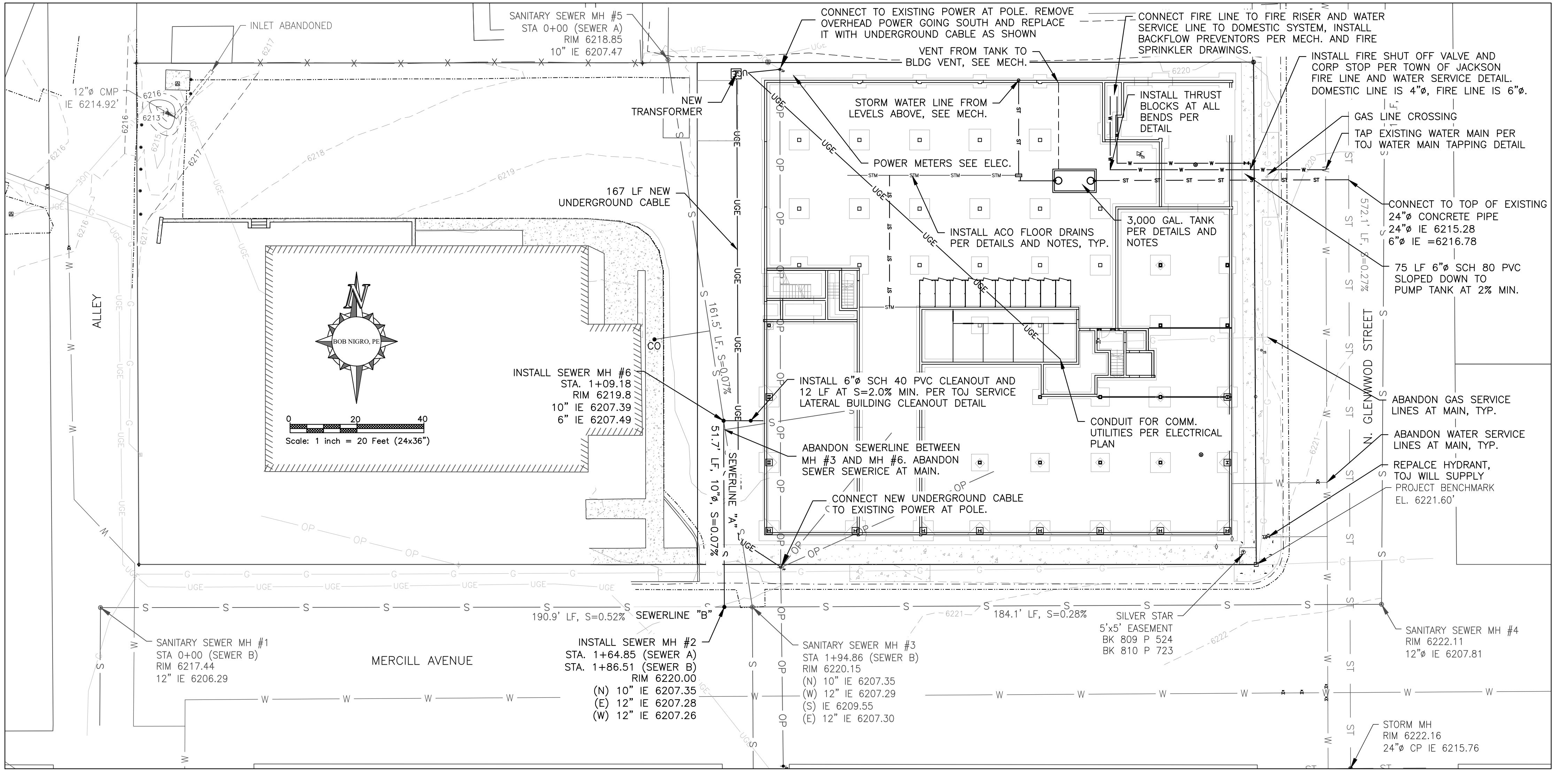
<u>Pre-Development</u>			<u>Post-Development</u>		
Travel Length	111	feet	Travel Length	113	feet
Elev. High	6221.25	feet	Elev. High	6220.10	feet
Elev. Low	6219.42	feet	Elev. Low	6219.00	feet
Elev. Change	1.83	feet	Elev. Change	1.10	feet
Slope	1.6	%	Slope	1.0	%
Impervious	11,750	sf	Impervious	25,005	sf
Pervious	13,255	sf	Pervious	0	sf
C=	0.58		C=	0.90	
$t_C=$	8.3	minutes	$t_C=$	3.9	minutes
I_{100}	2.55	inch / hr	I_{100}	3.00	inch / hr
$Q_R=$	0.85	cfs	$Q_{100}=$	1.55	cfs

<u>Duration (Min.)</u>	<u>Intensity (Inch / hr)</u>	<u>Q (cfs)</u>	<u>Basin (cu. ft.)</u>
5	3.00	1.55	120
10	2.33	1.20	153
15	1.90	0.98	90
20	1.65	0.85	-1
30	1.30	0.67	-273
40	1.08	0.56	-604
50	0.95	0.49	-941
60	0.82	0.42	-1,346
70	0.74	0.38	-1,734
80	0.65	0.34	-2,179
90	0.61	0.32	-2,568
100	0.56	0.29	-2,998
110	0.52	0.27	-3,427
120	0.48	0.25	-3,875

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C3



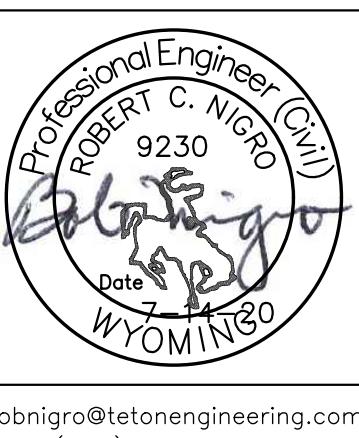
MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY

7-14-20

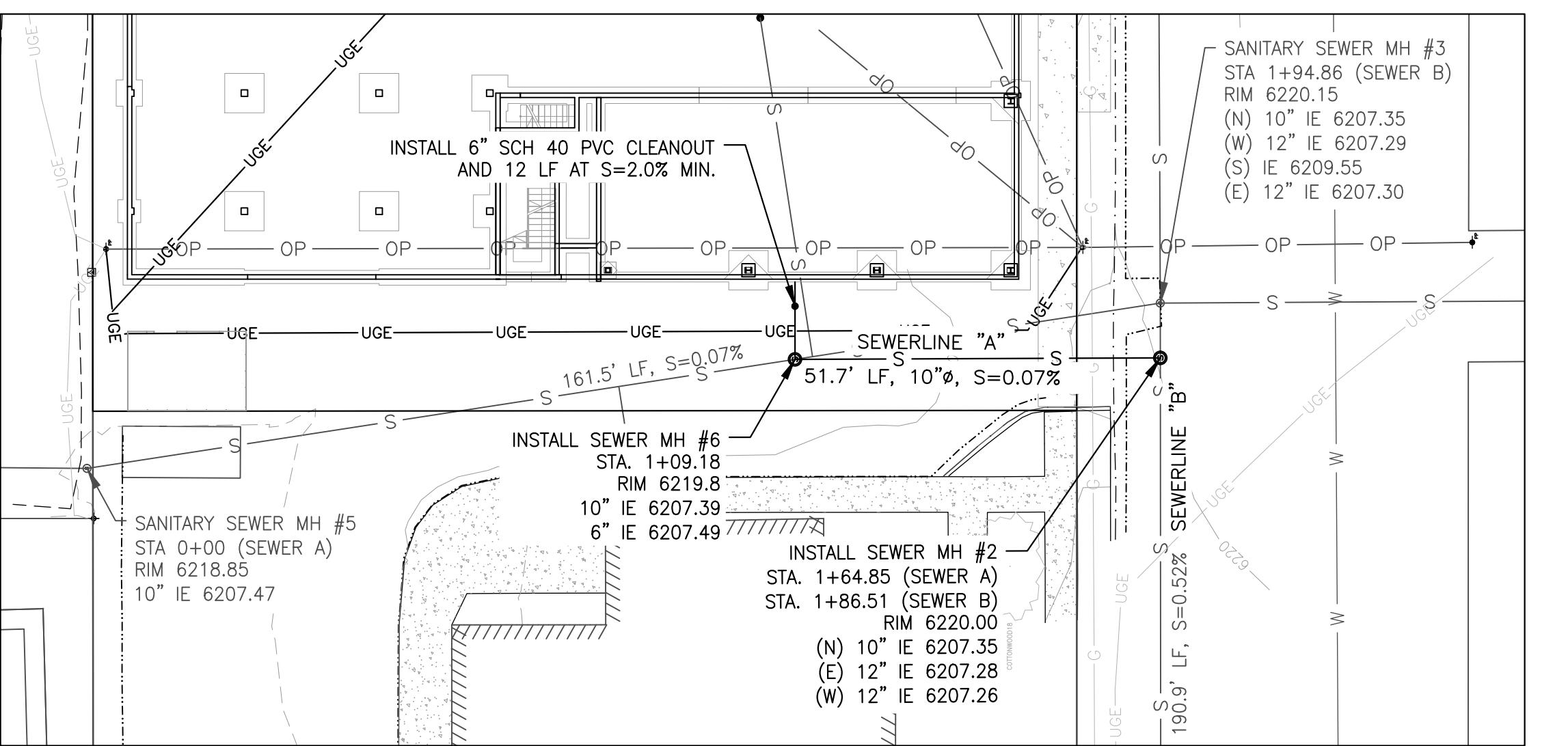
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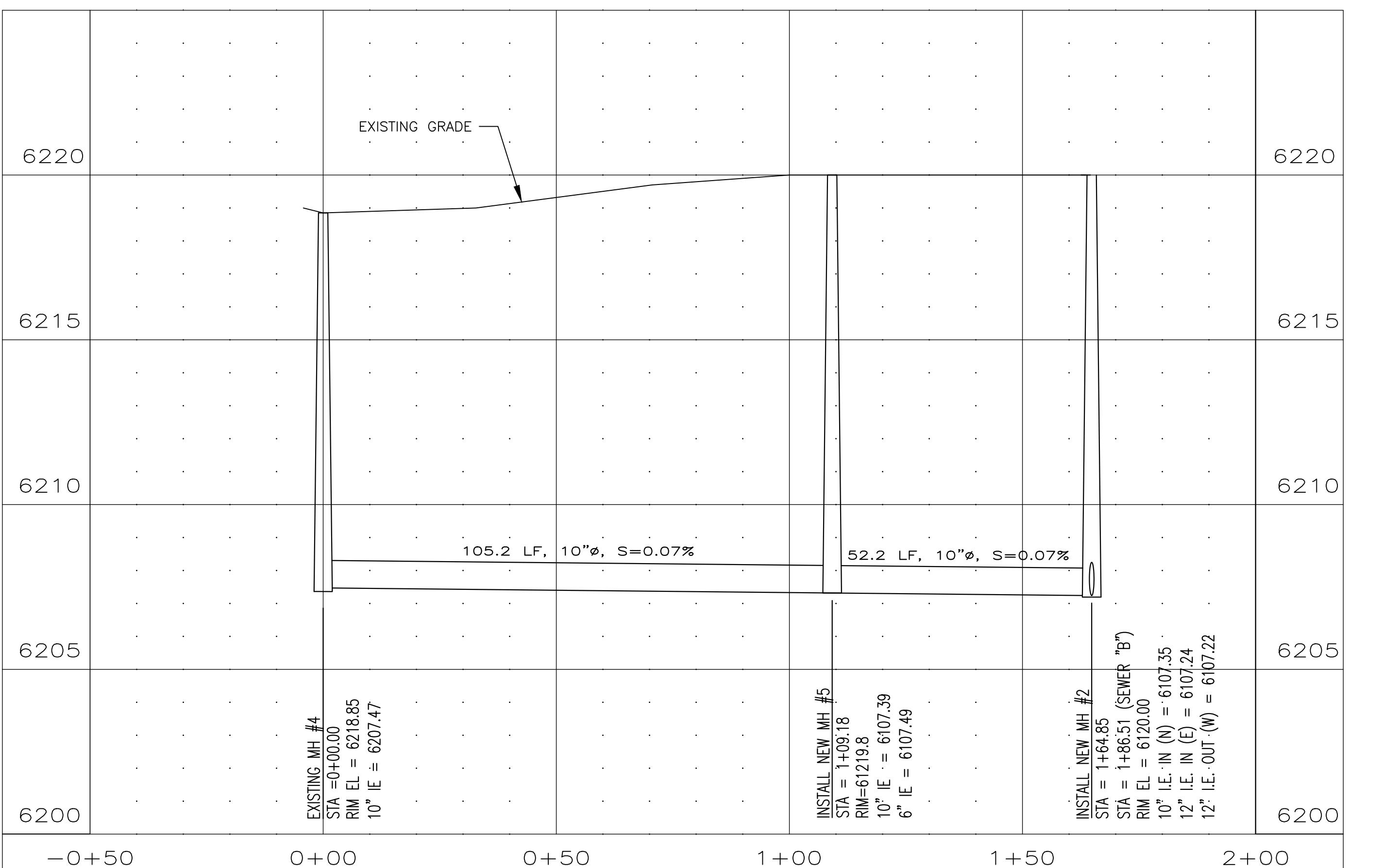


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SEWERLINE "A"
PLAN VIEW

SCALES:
1" = 20' HORZ (24"x36")
1" = 5' VERT (24"x36")



SEWERLINE "A"
PROFILE VIEW

SANITARY SEWER WASTEWATER ESTIMATES

THE PROPOSED DEVELOPMENT CONSISTS OF (10) 1 BEDROOM APARTMENTS AND (20) 2 BEDROOM APARTMENTS.

PER WYOMING DEQ CHAPTER 25, TABLE 1

	GPD TYP.
1 BEDROOM	150
2 BEDROOM	280

(10) x 150 + (20) x 280 = 7,100 GPD AVERAGE

7,100 x 2.6 = 18,460 GPD MAXIMUM

(18,460 x 1.3) / 24 = 1,000 GALLONS PEAK HOUR



0 20 40
Scale: 1 inch = 20 Feet (24x36")

STANDARD TOWN SEWER SYSTEM MATERIALS

THE FOLLOWING IS A LIST OF TOWN STANDARD MATERIALS, WHICH ARE TO BE USED IN COMPLETING SEWER IMPROVEMENT PROJECTS WHICH ARE PART OF, OR CONNECTED TO, THE TOWNS SEWER SYSTEM.

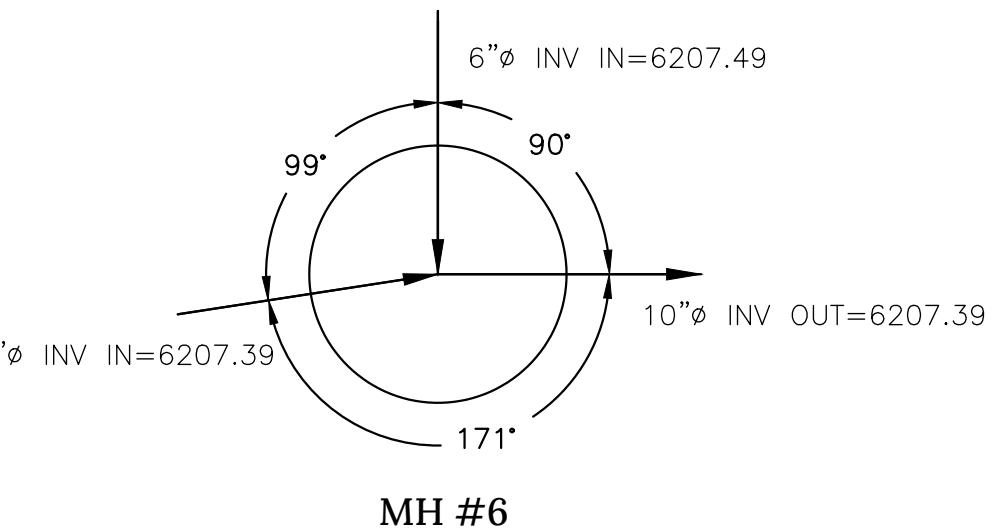
SEWER MAIN PIPE

ALL SEWER MAIN PIPE SHALL BE PVC PIPE AND FITTINGS WHICH SHALL CONFORM TO ASTM D 3034, "STANDARD SPECIFICATION FOR POLYVINYL CHLORIDE SEWER PIPE AND FITTINGS", OR ASTM F-679 FOR SIZES OVER 15 INCHES (15") IN DIAMETER. PVC PIPE SHALL HAVE A MINIMUM STANDARD DIMENSION RATIO (SDR) OF 35.

SEWER SERVICE PIPE
SCHEDULE 40 SEWER PIPE CONFORMING TO ASTM D1785 AND LISTED WITH NSF-PW STANDARDS 61 & STANDARD 14 OR ABS SEWER PIPE CONFORMING TO ASTM F-628 (SCHEDULE 40 CELL CORE PIPE).

COPPLINGS

COPPLINGS FOR MAKING CONNECTIONS BETWEEN NEW PVC SERVICE LINES AND LIKE-SIZED, OR NEARLY LIKE-SIZED, EXISTING SERVICE LINES SHALL BE FERNCO SERIES 1000 OR PIPECONX RUBBER JOINT COUPLINGS, WITH STAINLESS STEEL BANDS, OR APPROVED EQUAL. DETERMINE THE ACTUAL O.D. OF THE EXISTING LINES PRIOR TO ORDERING THESE COUPLINGS.



MH #6

TRANSITION COUPLINGS REQUIRED TO JOIN NEW AND EXISTING SEWER MAIN LINE SHALL BE CASCADE STYLE CST STAMP COUPLINGS SUPPLIED IN A 12-INCH LENGTH, OR AN APPROVED EQUAL. DETERMINE THE ACTUAL O.D. OF THE EXISTING LINES PRIOR TO ORDERING THESE COUPLINGS.

MANHOLES

MANHOLES IN 48-INCH DIAMETER SHALL BE CONSTRUCTED OF PRECAST CONCRETE RINGS WITH FRAMES AND COVERS AND STEPS IN ACCORDANCE WITH THE PLAN DETAILS. ALL MANHOLES SHALL BE DESIGNED TO WITHSTAND AASHTO HS 25 LOADING.

RING AND COVER

RINGS AND COVERS SHALL BE D&L A-1055, NON-VENTILATED, WITH ONE 5/8" PICK HOLE AROUND THE CIRCUMFERENCE AND THE WORD "SEWER" CAST INTO THE TOP.

CONCRETE ADJUSTING RINGS MAY BE USED FOR ADJUSTING THE MANHOLE TOP ELEVATION TO COINCIDE WITH PROPOSED GROUND ELEVATIONS, EXCEPT THE TOTAL HEIGHT OF ADJUSTING RINGS USED PER MANHOLE SHALL NOT EXCEED 12 INCHES. ADJUSTING RINGS SHALL BE REINFORCED WITH THE SAME PERCENTAGE OF STEEL AS THE RISER AND TOP. ALL RINGS SHALL BE SUPPLIED WITH AN INSIDE DIAMETER OF NO LESS THAN 24". PRECAST CONCRETE RINGS FOR MANHOLES SHALL CONFORM TO ASTM C-478, "PRECAST REINFORCED CONCRETE MANHOLE RISERS AND TOPS".

STEPS
NONCORROSION STEPS OF RUBBER ENCASED STEEL, ALUMINUM, OR NYLON SHALL BE USED. STEPS SHALL WITHSTAND VERTICAL LOADS OF 400 POUNDS AND PULL OUT RESISTANCE OF 1,000 POUNDS.

CONCRETE BASES
CONCRETE BASES SHALL INCORPORATE PRECAST OR CAST-IN-PLACE FLOORS AND SHALL BE INSTALLED ON UNDISTURBED EARTH. CONCRETE SHALL CONFORM TO SECTION 03304, PORTLAND CEMENT CONCRETE. BASE SECTIONS SHALL INCORPORATE KOR-N-SEAL RUBBER BOOTS, OR EQUAL.

CONCRETE COLLARS
CONCRETE COLLARS SHALL BE Poured IN THE FIELD ON COMPACTED TRENCH BACKFILL. CONCRETE SHALL CONFORM TO SECTION 03304, PORTLAND CEMENT CONCRETE, CLASS 4000.

SANITARY SEWER MAINS TESTING STANDARDS

SANITARY SEWER MAINS, INCLUDING MANHOLES, WHICH ARE WITHIN THE TOWN OR WHICH DISCHARGE TO THE TOWNS SYSTEM SHALL BE SUBJECT TO AND PASS CERTAIN PERFORMANCE TESTS PRIOR TO THEIR ACCEPTANCE BY THE TOWN OF JACKSON. SUCH TESTS SHALL BE CONDUCTED IN THE PRESENCE OF AUTHORIZED STAFF OF THE TOWN OF JACKSON. ANY REMEDY OF DEFECTS SHALL BE CARRIED OUT AT THE EXPENSE OF THE CONTRACTOR.

PIPE LEAKAGE

LEAKAGE TESTS SHALL BE INFILTRATION, EXFILTRATION, OR AIR TESTS.

(A) INFILTRATION TEST STANDARD. THE MAXIMUM ALLOWABLE INFILTRATION, INCLUDING MANHOLES, SHALL NOT EXCEED 50 GALLONS PER INCH DIAMETER PER MILE PER DAY WITH A MINIMUM OF TWO FEET OF HEAD OVER THE TOP OF THE PIPE.

(B) EXFILTRATION TEST STANDARD. THE MAXIMUM ALLOWABLE EXFILTRATION, INCLUDING MANHOLES, SHALL NOT EXCEED 50 GALLONS PER INCH DIAMETER PER MILE PER DAY WITH A MINIMUM OF TWO FEET OF HEAD OVER THE TOP OF THE PIPE.

(C) AIR TEST STANDARD. AIR TESTS SHALL CONFORM TO ASTM C-828-80.

PIPE DEFLECTION

AFTER A SANITARY SEWER MAIN TRENCH HAS BEEN BACKFILLED AND COMPACTION AS SPECIFIED, A MANDREL TEST SHALL BE MADE BETWEEN MANHOLES TO CHECK DEFLECTION OF FLEXIBLE PIPE. THE MAXIMUM ALLOWABLE DEFLECTION SHALL BE A FIVE-PERCENT DEFLECTION. A MANDREL OF 95 PERCENT OF PIPE DIAMETER SHALL BE USED. NO MECHANICAL PULLING OF THE MANDREL IS PERMITTED.

VIDEO INSPECTION

A DVD RECORD OF INSTALLED SANITARY SEWER MAINS SHALL BE MADE AND SUBMITTED TO THE TOWN FOR REVIEW PRIOR TO ACCEPTANCE OF THE MAINS BY THE TOWN OF JACKSON. PROBLEMS NOTED IN THE TOWN'S REVIEW OF THE VIDEO RECORD SHALL BE CORRECTED PRIOR TO ACCEPTANCE OF THE MAINS BY THE TOWN OF JACKSON.

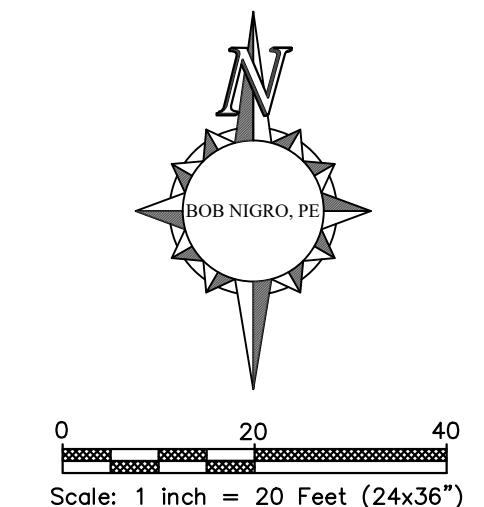
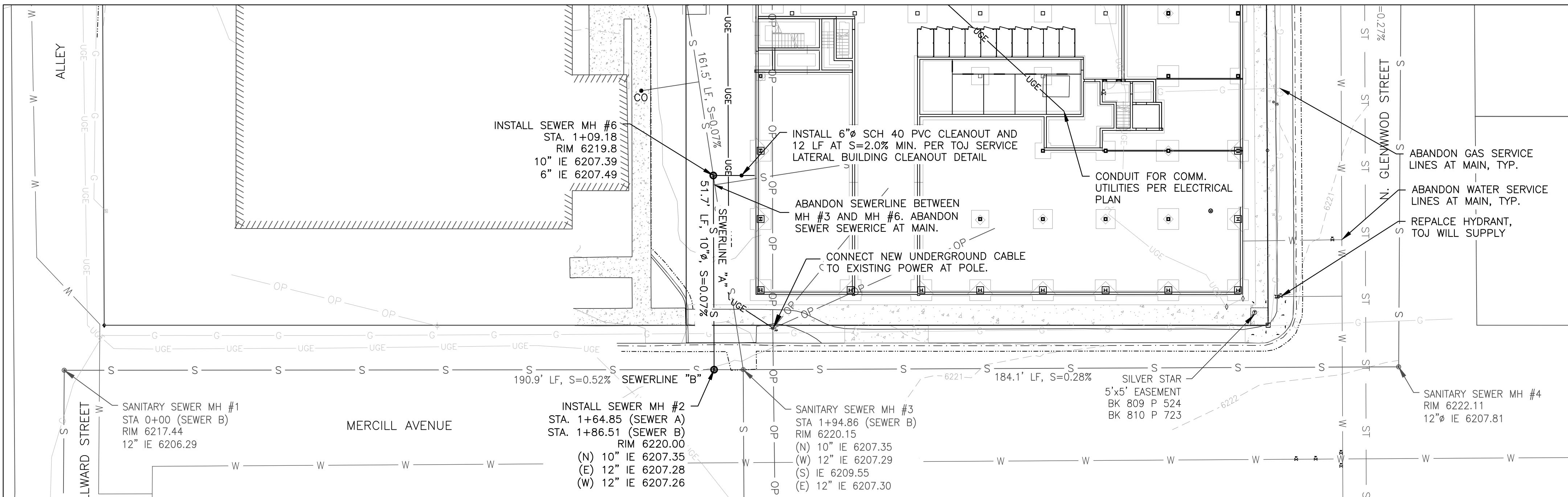
TOWN REQUIRED SERVICE LINE INSPECTIONS

ALL SEWER SERVICES SHALL BE VISUALLY INSPECTED BY TOWN PERSONNEL. THIS INSPECTION SHALL INCLUDE, BUT NOT BE LIMITED TO, A REVIEW OF TRENCH BACKFILL, PIPE BEDDING, COMPACTION EFFORTS AND THE WITNESSING OF PIPE LEAKAGE TEST. THESE INSPECTIONS SHALL BE REQUIRED FROM THE POINT OF CONNECTION TO THE TOWN MAIN TO THE POINT OF ENTERING THE BUILDING.

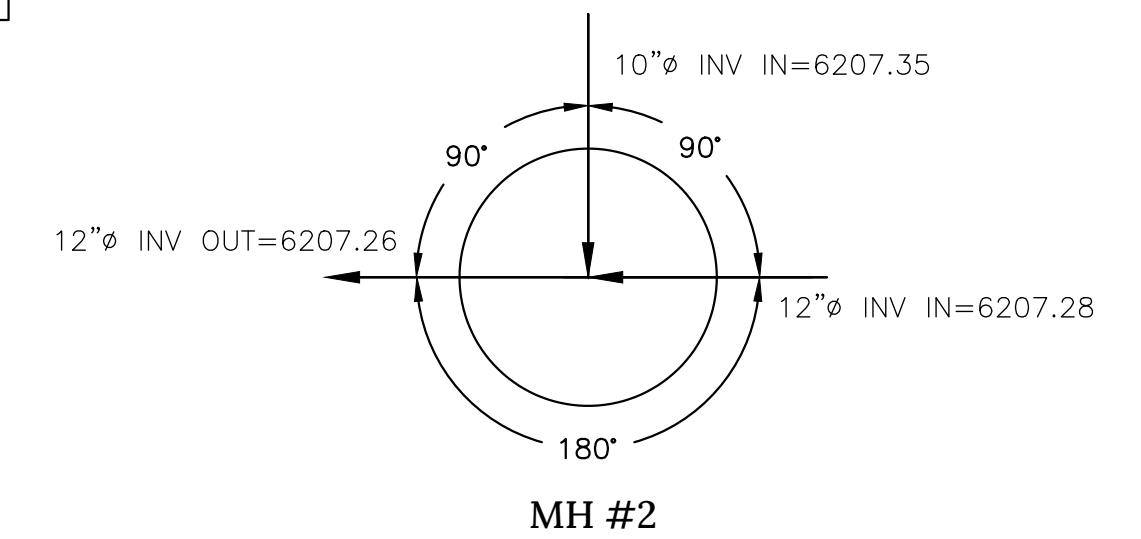
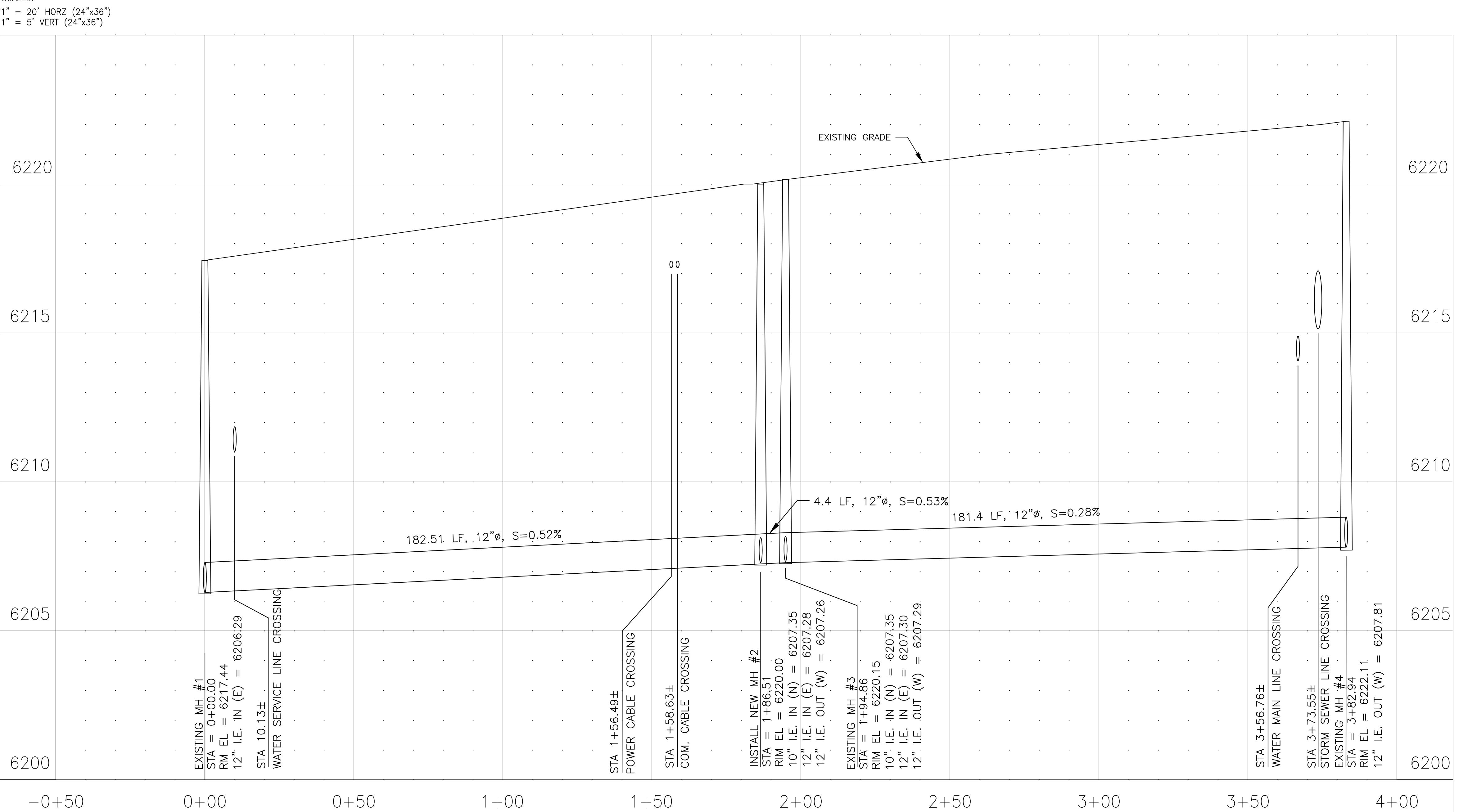
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105 MERCILL AVENUE
JACKSON, WY

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C5



SEWERLINE "B"



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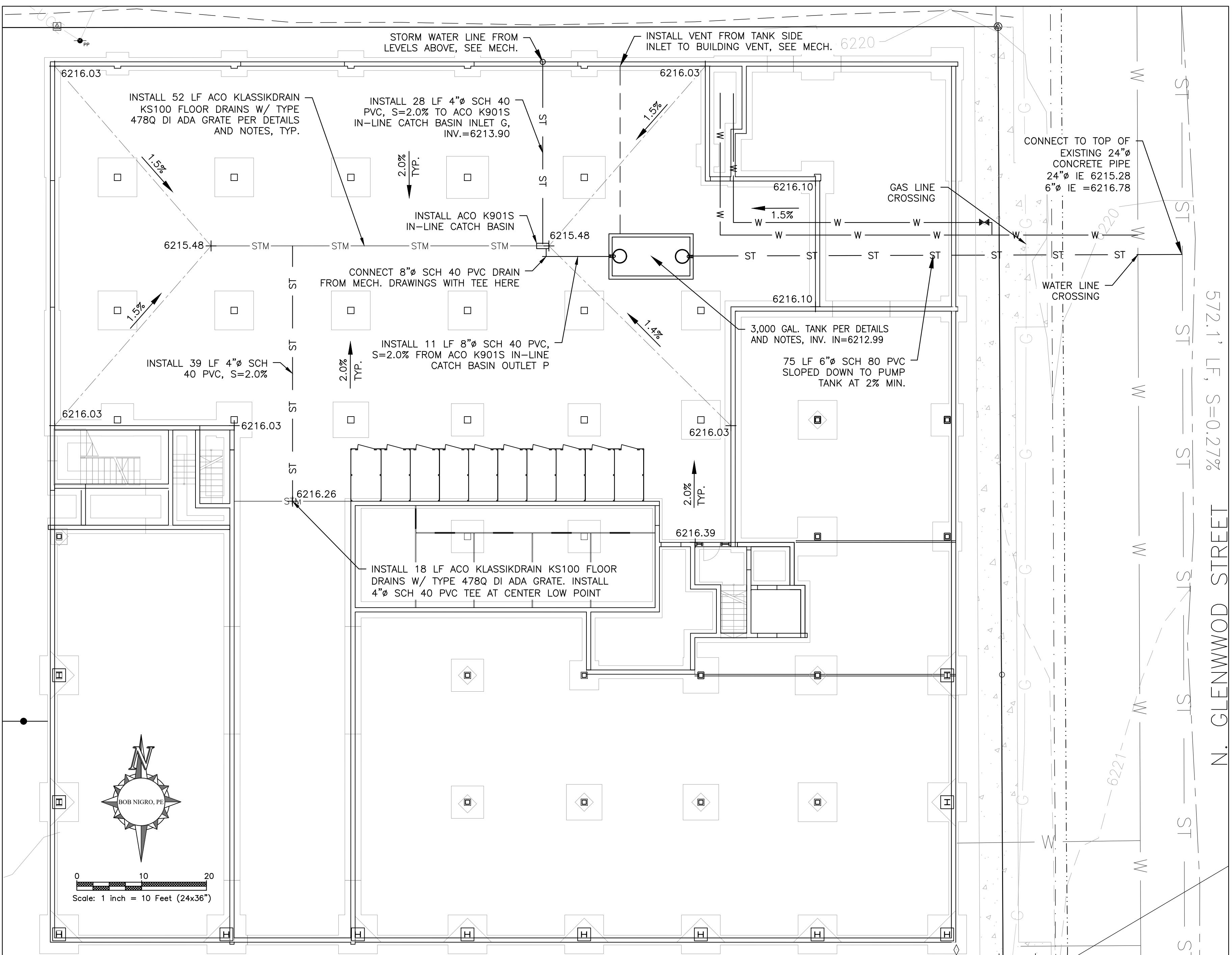
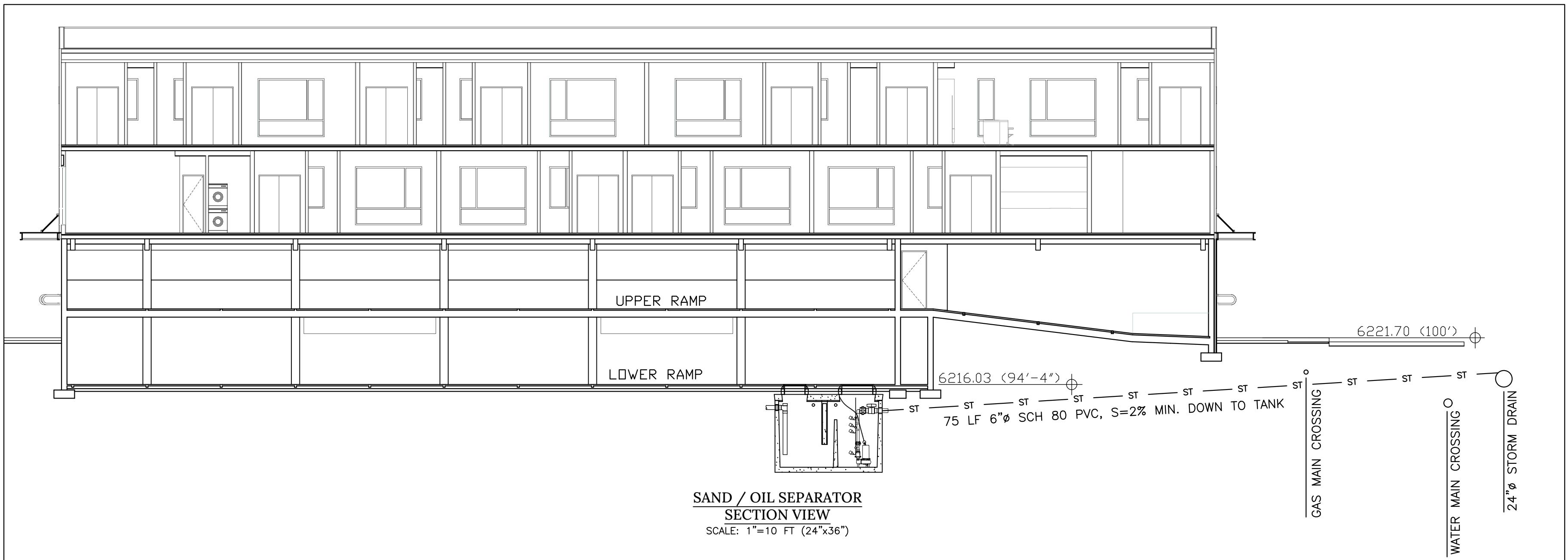
7-14-20

C6

SEWERLINE "B"
PROFILE VIEW



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PUMP

1. PUMPS SHALL HAVE AN ADEQUATE MEANS OF INDICATING A MOTOR SEAL FAILURE. (WYDEQ, CHAP. XI, PART B, SEC. 10 (c) (iii), pg 18).
2. PUMPS SHALL BE INSTALLED IN THE TANK SO THAT IT CAN BE EASILY REMOVED WITHOUT ENTERING THE PUMP TANK. (WYDEQ, CHAP. XI, PART B, SEC. 40 (a) (B), pg 110).
3. PUMPS SHALL BE SET IN THE PUMP TANK SO THAT THE INTAKE IS 8-INCHES ABOVE THE FLOOR TO MINIMIZE THE TRANSFER OF SOLIDS THAT MAY ENTER THE PUMP TANK.

PIPE
1. PRESSURE PIPING SHALL BE DESIGNED FOR THE MAXIMUM OPERATING PRESSURE AND SURGES (WATER HAMMER) WHICH MAY OCCUR. (WYDEQ, CHAP. XI, PART B, SEC. 10 (d) (ii) (C), pg 19).

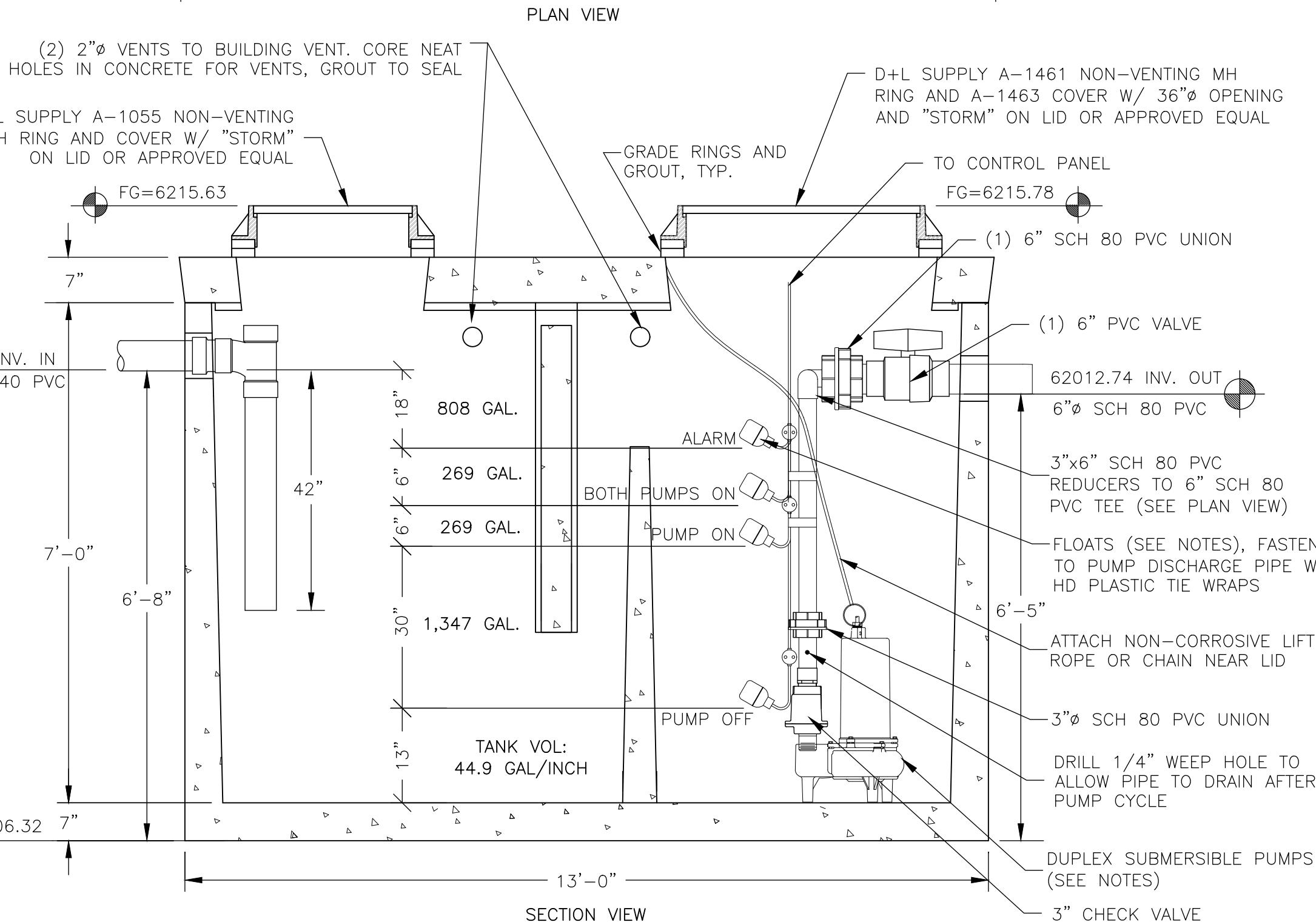
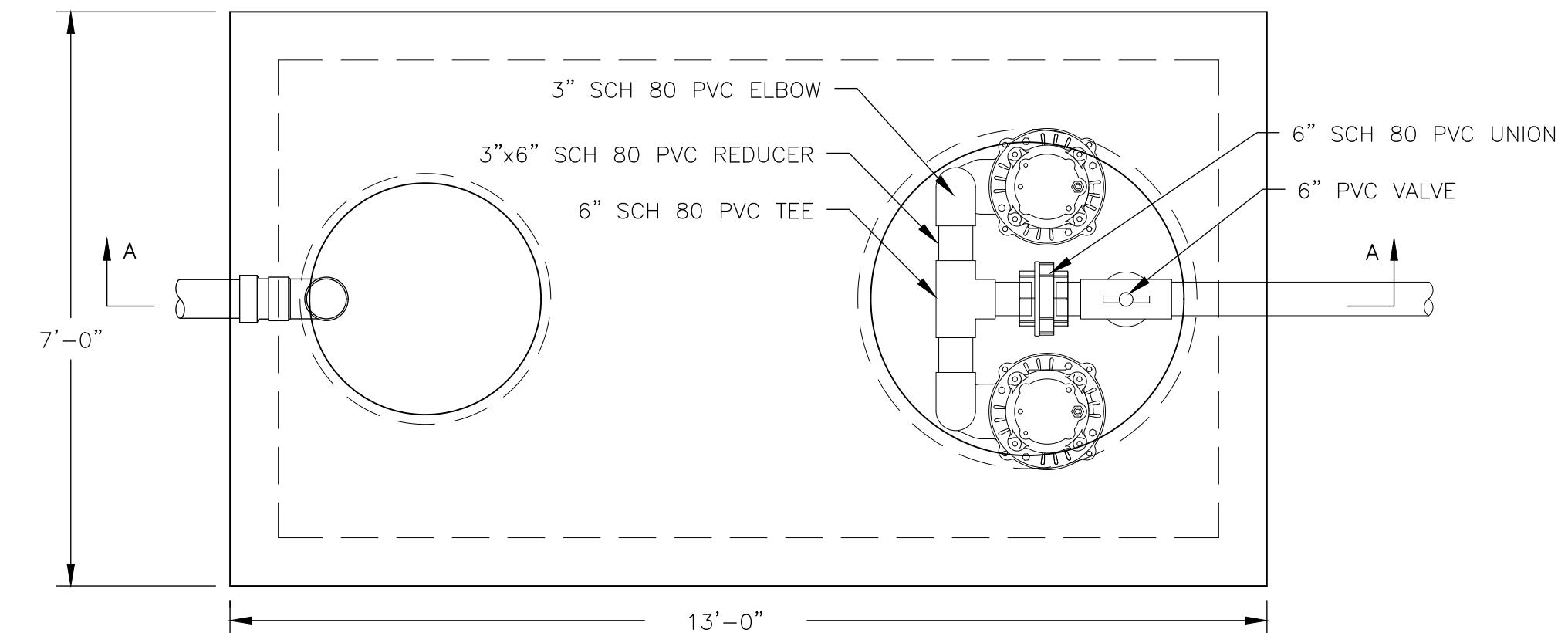
ELECTRICAL

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AS ADOPTED AND AMENDED BY THE WYOMING DEPARTMENT OF FIRE PREVENTION AND ELECTRICAL SAFETY. (WYDEQ, CHAP. XI, PART B, SEC. 10 (f) (iii), pg 21).

2. AN ALARM SYSTEM SHALL BE PROVIDED FOR EACH PUMPING STATION. ALARMS SHALL INCLUDE HIGH WETWELL LEVEL. AN AUDIO AND VISUAL ALARM SHALL BE PROVIDED IN A CONSPICUOUS LOCATION. (WYDEQ, CHAP. XI, PART B, SEC. 10 (f) (iv), pg 21).
3. ALL OPENINGS AROUND THE CABLES OR CORDS ENTERING THE PUMP TANK SHALL BE SEALED. (WYDEQ, CHAP. XI, PART B, SEC. 40 (a) (C), pg 110).

TANKS

1. THE EFFLUENT LEVEL CONTROL SHALL BE ADJUSTED AND MAINTAINED TO AT ALL TIMES PREVENT THE EFFLUENT SUMP FROM RISING WITHIN 2-INCHES OF THE GRAVITY DRAIN INLET TO THE SUMP. (IPC 2003, 712.3.2, pg 61).
2. TANKS SHALL BE CONSTRUCTED OF CONCRETE OR OTHER APPROVED MATERIALS. THE TANK BOTTOM SHALL BE SOLID AND PROVIDE PERMANENT SUPPORT TO THE SUMP. THE TANK SHALL BE FITTED WITH A GAS TIGHT, REMOVABLE COVER ADEQUATE TO SUPPORT



TANK NOTES:

TANK NOTES:

1. ORDER TANK WITH 36"Ø OPENING ON OUTLET END, CENTER PARTITION, VENT HOLES ON EACH SIDE OF PARTITION, AND 6"Ø SCH 80 INLET AND OUTLET RUBBER BOOTS.
2. INSTALL VENT FROM SIDE INLET TO BUILDING VENT.
3. PLACE TANKS ON 6-INCH MIN. OF COMPACTED GRAVEL BEDDING OVER FIRM COMPACTED SUBGRADE TO PREVENT SETTLING.
4. SEAL ALL JOINTS AND PENETRATIONS WITH BITUMINOUS MASTIC.
5. OWNER MUST ROUTINELY INSPECT, CLEAN AND PUMP DEBRIS, SAND AND OIL CONTAMINATION FROM THE OIL / SAND SEPARATOR.

BLIMP NOTES

PUMP NOTES:

1. PUMPS ARE ZOELLER 631 MODEL J631 w/ 3-INCH VERTICAL DISCHARGE, 2 Hp, 1,750 RPM, 3Ø, 200V, 7.8 AMPS AT FULL LOAD, 3" NPT DISCHARGE, 2 1/2" SOLIDS CAPABILITY, 200 GPM @ 20 FT OF HEAD.
2. CONTROL PANEL IS A ZOELLER DUPLEX ELECTRICAL ALTERNATING SYSTEM MODEL #10-1110, NEMA 4X WEATHER TIGHT LOCKING ENCLOSURE WITH FLASHING HIGH WATER ALARM LIGHT AND HORN, SEAL FAILURE INDICATOR, PUMP RUN LIGHT, HAND-OFF-AUTO SWITCH AND (4) ZOELLER LEVEL CONTROL FLOATS.
3. MOUNT CONTROL PANEL ON PARKING GARAGE WALL AS SHOWN ON PLAN.
4. ZOELLER PEP IS DEAN BENNETT SUPPLY, DENVER, CO (800) 621-4281.

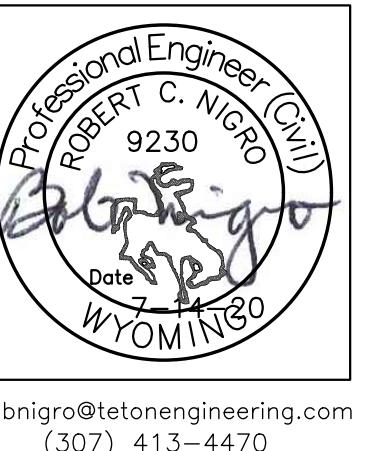
SAND / OIL SEPARATOR
3,000 GAL. AASHTO HS-20-40 W/ IMPACT LOADING

DETAILS

MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY

7-14-20

C



WATER MAINS TESTING STANDARDS

WATER MAINS SHALL BE SUBJECTED TO AND PASS CERTAIN PERFORMANCE TESTS PRIOR TO THEIR ACCEPTANCE BY THE TOWN OF JACKSON. SUCH TESTS SHALL BE CONDUCTED IN THE PRESENCE OF AUTHORIZED TOWN OF JACKSON STAFF. ANY REMEDY OF DEFECTS SHALL BE CARRIED OUT AT THE EXPENSE OF THE CONTRACTOR.

HYDROSTATIC TESTING

THE FOLLOWING TESTS SHALL BE PERFORMED:

1. PRESSURE TEST MAINS AFTER THE PIPE HAS BEEN LAID, WATER PIPE AND VALVES SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE OF AT LEAST 1.5X THE WORKING PRESSURE AT THE POINT OF TESTING, OR A MINIMUM OF 125 PSI (862.5 KPA), WHICHEVER IS GREATER. HYDROSTATIC TESTING SHALL INCLUDE WATER MAIN, ALL VALVES AND ALL SERVICE LINE CONNECTIONS FROM THE POINT OF CONNECTION AT THE MAIN TO THE CURB STOP.

A. TEST PRESSURE RESTRICTIONS – TEST PRESSURES SHALL:

- 1) NOT BE LESS THAN 1.25 X THE WORKING PRESSURE AT THE HIGHEST POINT ALONG THE TEST SECTION.
- 2) NOT EXCEED PIPE OR THRUST RESTRAINT DESIGN PRESSURES.
- 3) BE OF AT LEAST TWO-HOUR DURATION.
- 4) NOT VARY BY MORE THAN + 5 PSI
- 5) NOT EXCEED THE RATED PRESSURE OF THE VALVE OR HYDRANTS.

B. PRESSURIZATION:

EACH VALVED SECTION OF PIPE SHALL BE FILLED WITH WATER SLOWLY AND THE SPECIFIED TEST PRESSURE, BASED ON THE ELEVATION OF THE LOWEST POINT OF THE LINE OR SECTION UNDER TEST AND CORRECTED TO THE ELEVATION OF THE TEST GAUGE, SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A MANNER SATISFACTORY TO THE TOWN.

C. AIR REMOVAL:

BEFORE APPLYING THE SPECIFIED TEST PRESSURE, AIR SHALL BE EXPELLED COMPLETELY FROM THE PIPE, VALVES, AND HYDRANTS. IF PERMANENT AIR VENTS ARE NOT LOCATED AT ALL HIGH POINTS, THE CONTRACTOR SHALL INSTALL CORPORATION COCKS AT SUCH POINTS SO THAT THE AIR CAN BE EXPELLED AS THE LINE IS FILLED WITH WATER. AFTER ALL THE AIR HAS BEEN EXPELLED, THE CORPORATION COCKS SHALL BE CLOSED AND THE TEST PRESSURE APPLIED. AT THE CONCLUSION OF THE PRESSURE TEST, THE CORPORATION COCKS SHALL BE REMOVED AND PLUGGED, OR LEFT IN PLACE AT THE DISCRETION OF THE OWNER.

D. EXAMINATION:

ALL EXPOSED PIPE, FITTINGS, VALVES, HYDRANTS, AND JOINTS SHALL BE EXAMINED CAREFULLY DURING THE TEST. ANY DAMAGE OR DEFECTIVE PIPE, FITTINGS, VALVES, OR HYDRANTS THAT ARE DISCOVERED FOLLOWING THE PRESSURE TEST SHALL BE REPAIRED OR REPLACED. ONCE SYSTEM IMPROVEMENTS ARE COMPLETED, THE TEST SHALL BE REPEATED UNTIL IT IS SATISFACTORY TO THE OWNER.

2. PRESSURE TEST SERVICE LINE

AFTER THE PIPE HAS BEEN LAID, WATER PIPE AND VALVES SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE OF THE WORKING PRESSURE AT THE POINT OF TESTING. HYDROSTATIC TESTING SHALL INCLUDE SERVICE LINE, ALL CONNECTIONS AND VALVES AND FROM THE POINT OF CONNECTION TO THE POINT OF BUILDING CURB.

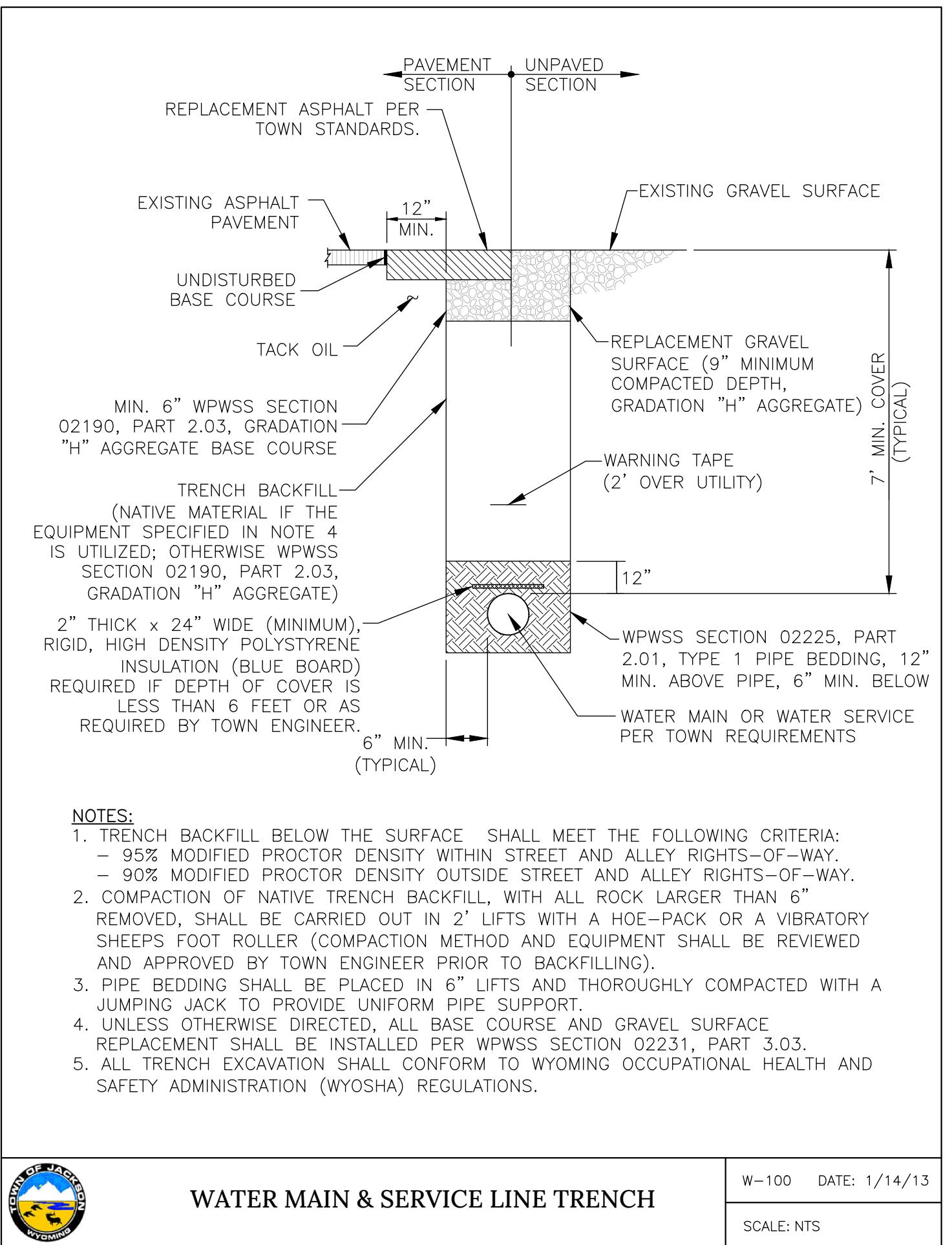
A. TEST PRESSURE RESTRICTIONS – TEST PRESSURES SHALL:

- 1) BE OF AT LEAST TWO-HOUR DURATION.
- 2) NOT VARY BY MORE THAN + 3 PSI.

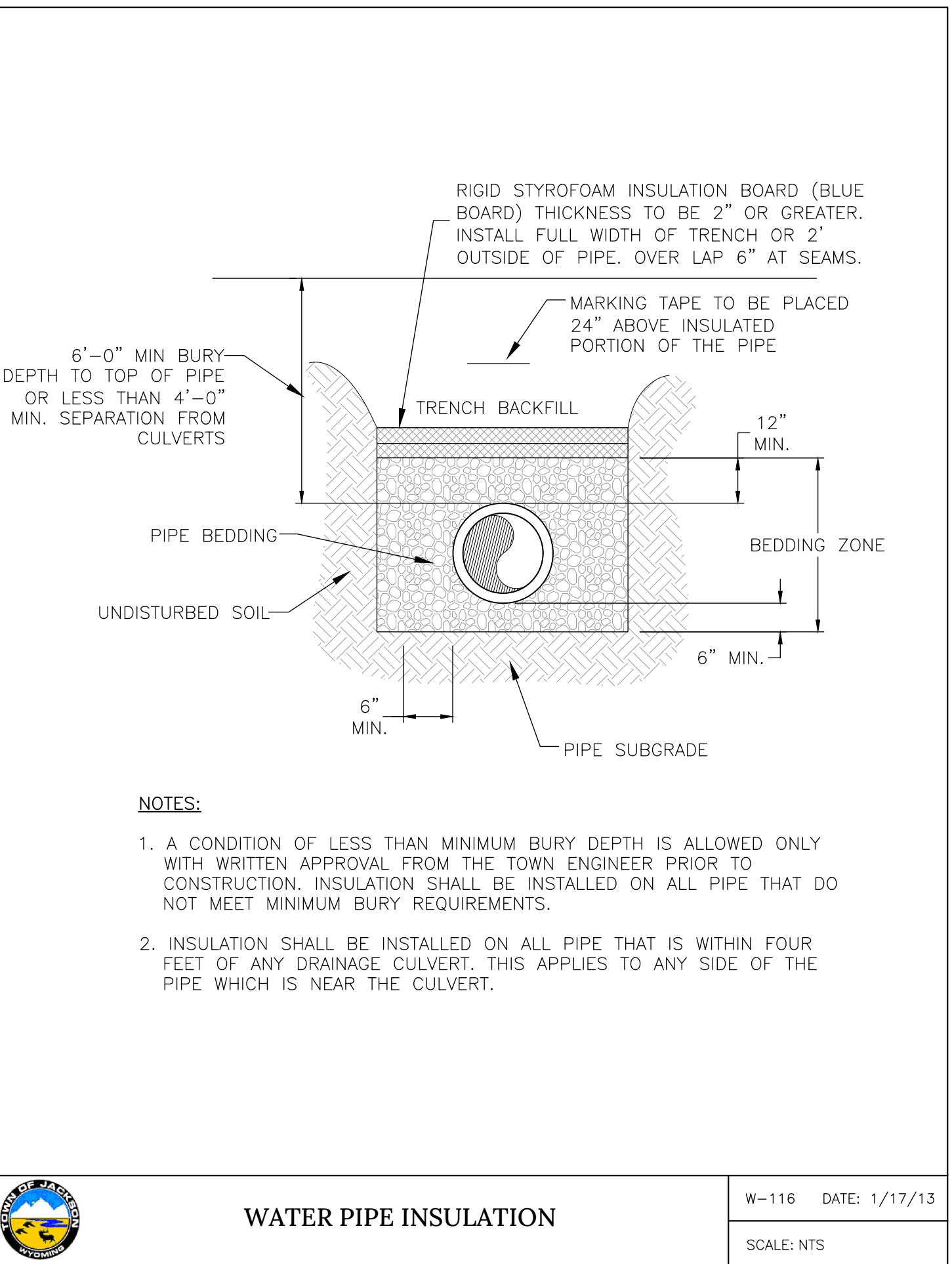
B. EXAMINATION:

ALL EXPOSED PIPE, FITTINGS, VALVES AND JOINTS SHALL BE EXAMINED CAREFULLY DURING THE TEST. ANY DAMAGE OR DEFECTIVE PIPE, FITTINGS, OR VALVES, WHICH ARE DISCOVERED FOLLOWING THE PRESSURE TEST, SHALL BE REPAIRED OR REPLACED. ONCE SYSTEM IMPROVEMENTS ARE COMPLETED, THE TEST SHALL BE REPEATED UNTIL IT IS SATISFACTORY TO THE OWNER.

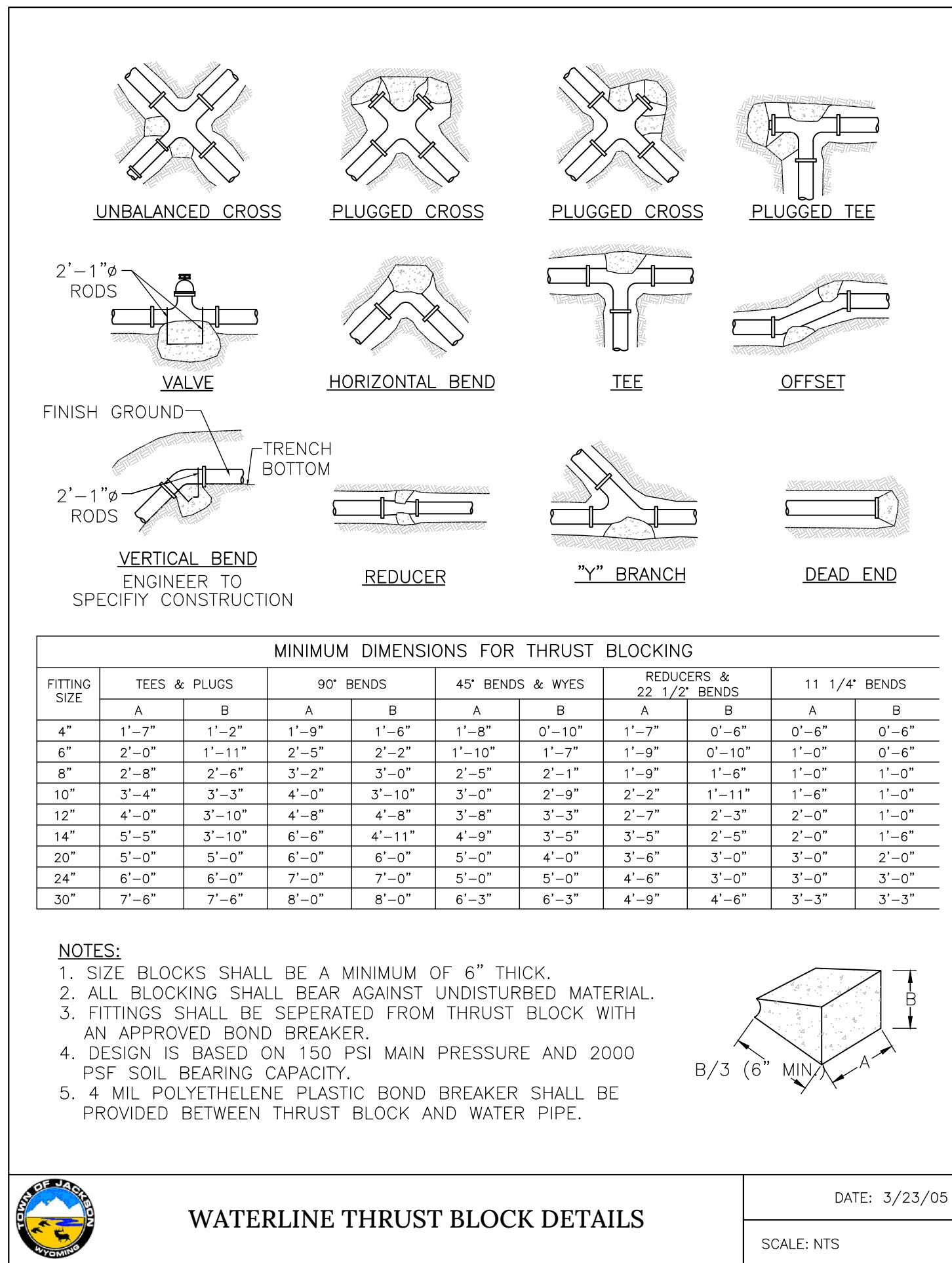
DETAILS



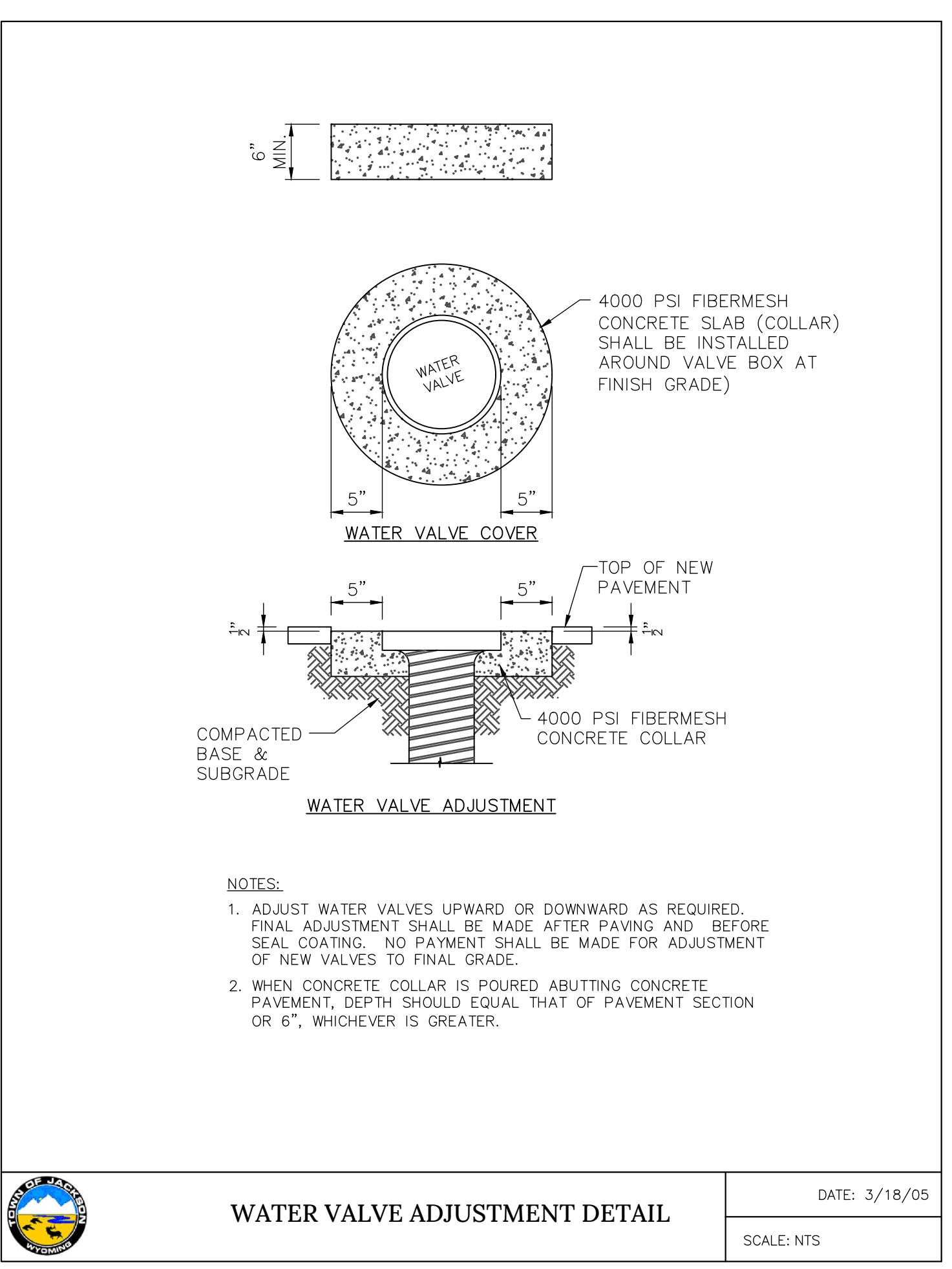
WATER MAIN & SERVICE LINE TRENCH
W-100 DATE: 1/14/13
SCALE: NTS



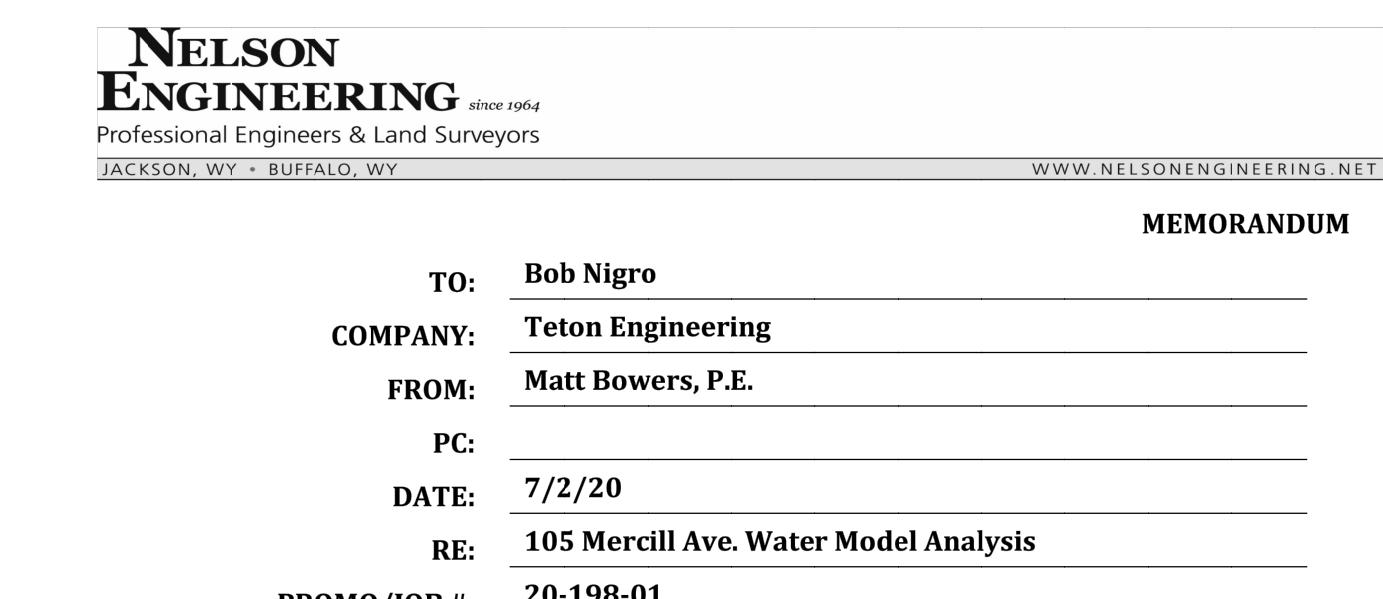
WATER PIPE INSULATION
W-116 DATE: 1/17/13
SCALE: NTS



WATERLINE THRUST BLOCK DETAILS
DATE: 3/23/05
SCALE: NTS



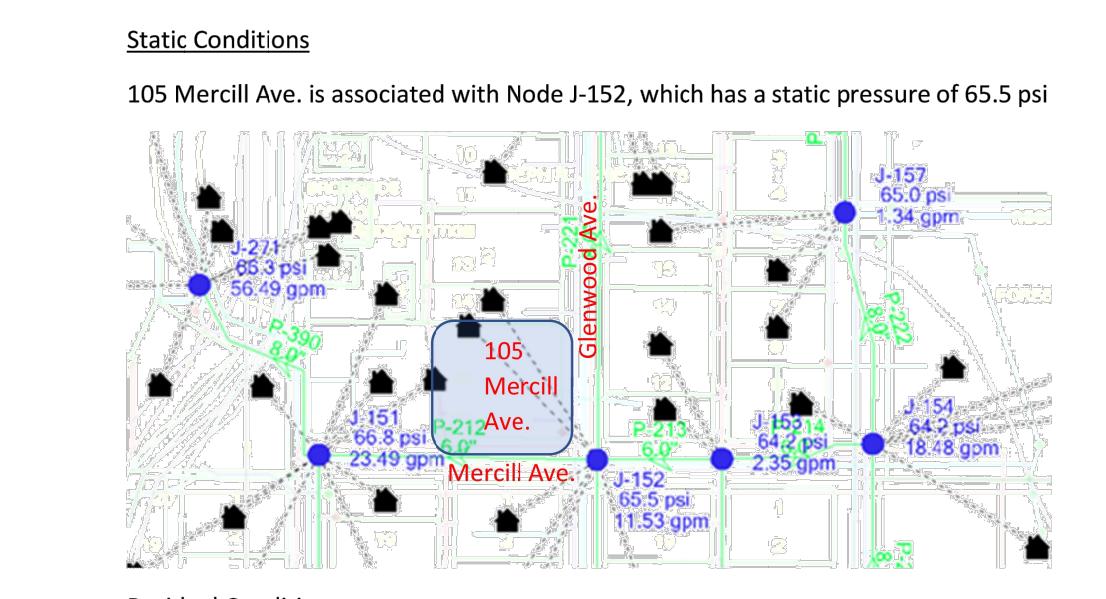
WATER VALVE ADJUSTMENT DETAIL
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SCALE: NTS



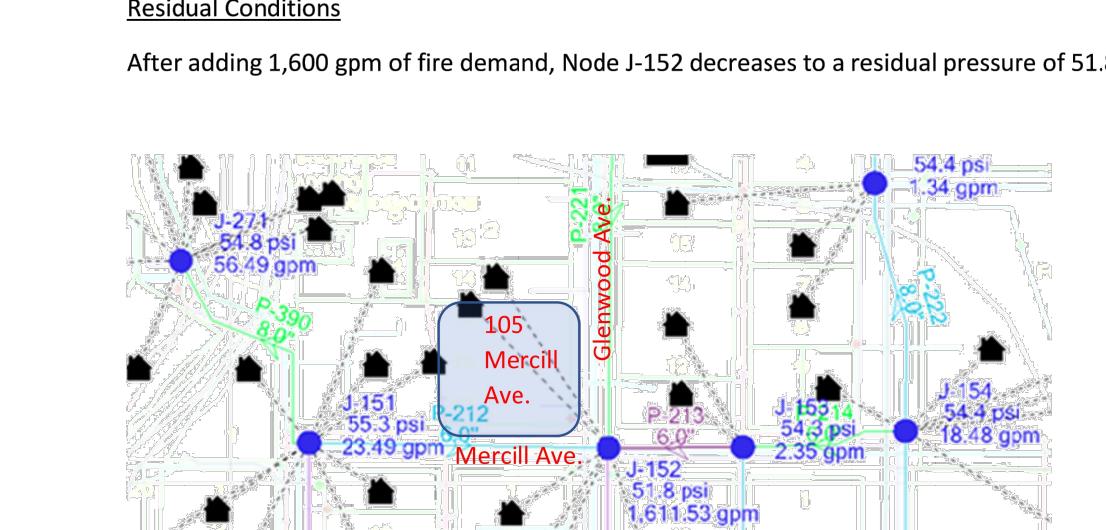
The water model analysis for the proposed development at 105 Mercill Ave. was recently developed based on the following fire demand assumptions, which Teton Engineering provided to Nelson Engineering on June 26, 2020 plus some additional fire flows at surrounding fire hydrants:

- Fire sprinkler demand of 350 gallons per minute (gpm)
- Fire hose demand of 250 gpm
- 2 x fire hydrant demand of 500 gpm (each) = 1,000 gpm

This results in a total fire demand of 1,600 gpm, which was the basis for our water model. The water demands for domestic and commercial use were assumed to be negligible when compared to the fire flows. Prior to including fire flow demands into the model, static pressures at the 105 Mercill Ave. node indicated a pressure of 65.5 psi. After including the fire demand of 1,600 gpm at the 105 Mercill Ave. node, the residual pressure decreased to 51.8 psi. Pressures in See Exhibit A for a comparison between static and residual conditions.



Static Conditions
105 Mercill Ave. is associated with Node J-152, which has a static pressure of 65.5 psi

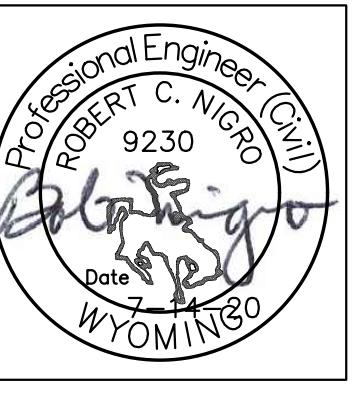


Residual Conditions
After adding 1,600 gpm of fire demand, Node J-152 decreases to a residual pressure of 51.8 psi

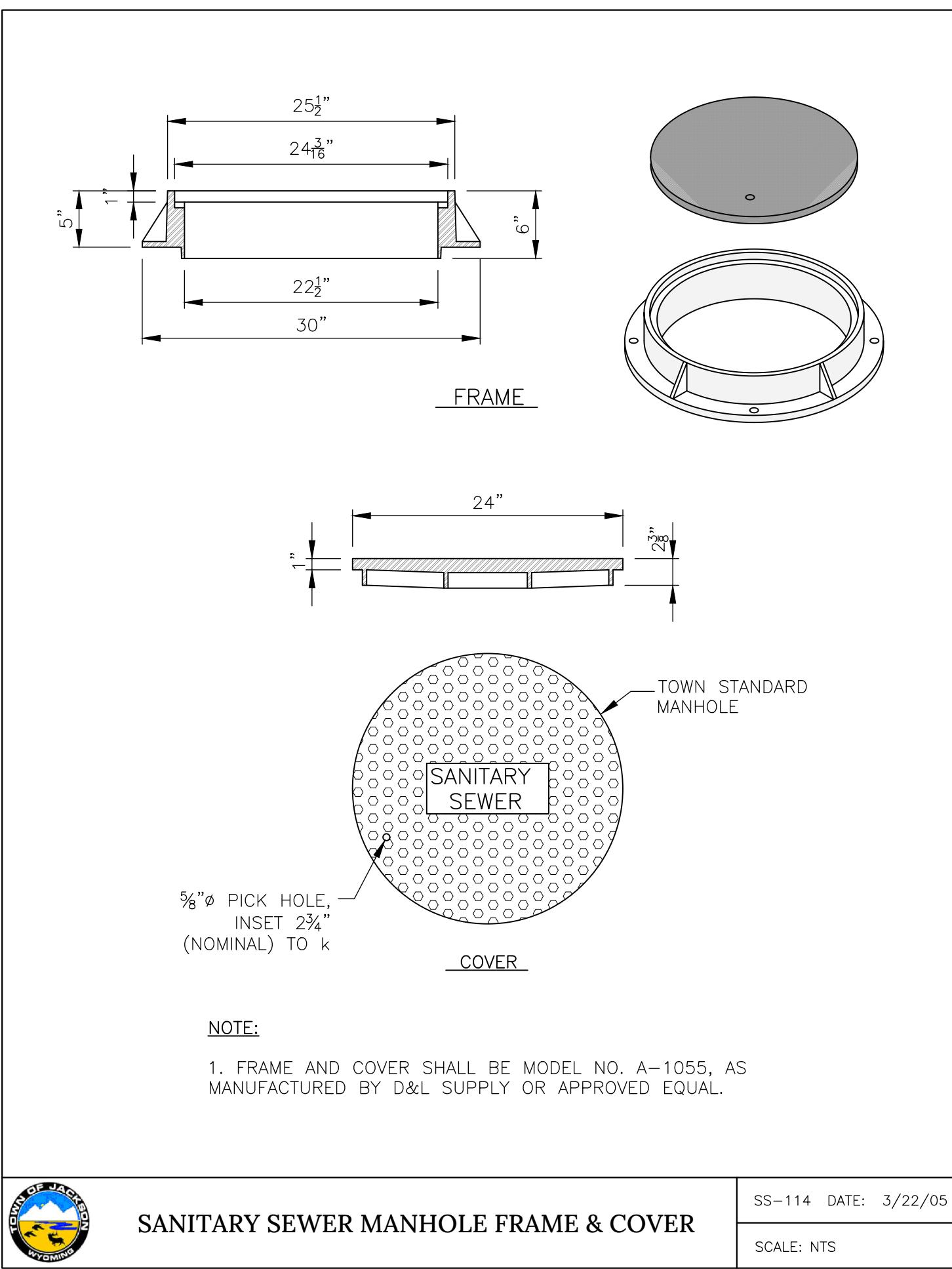
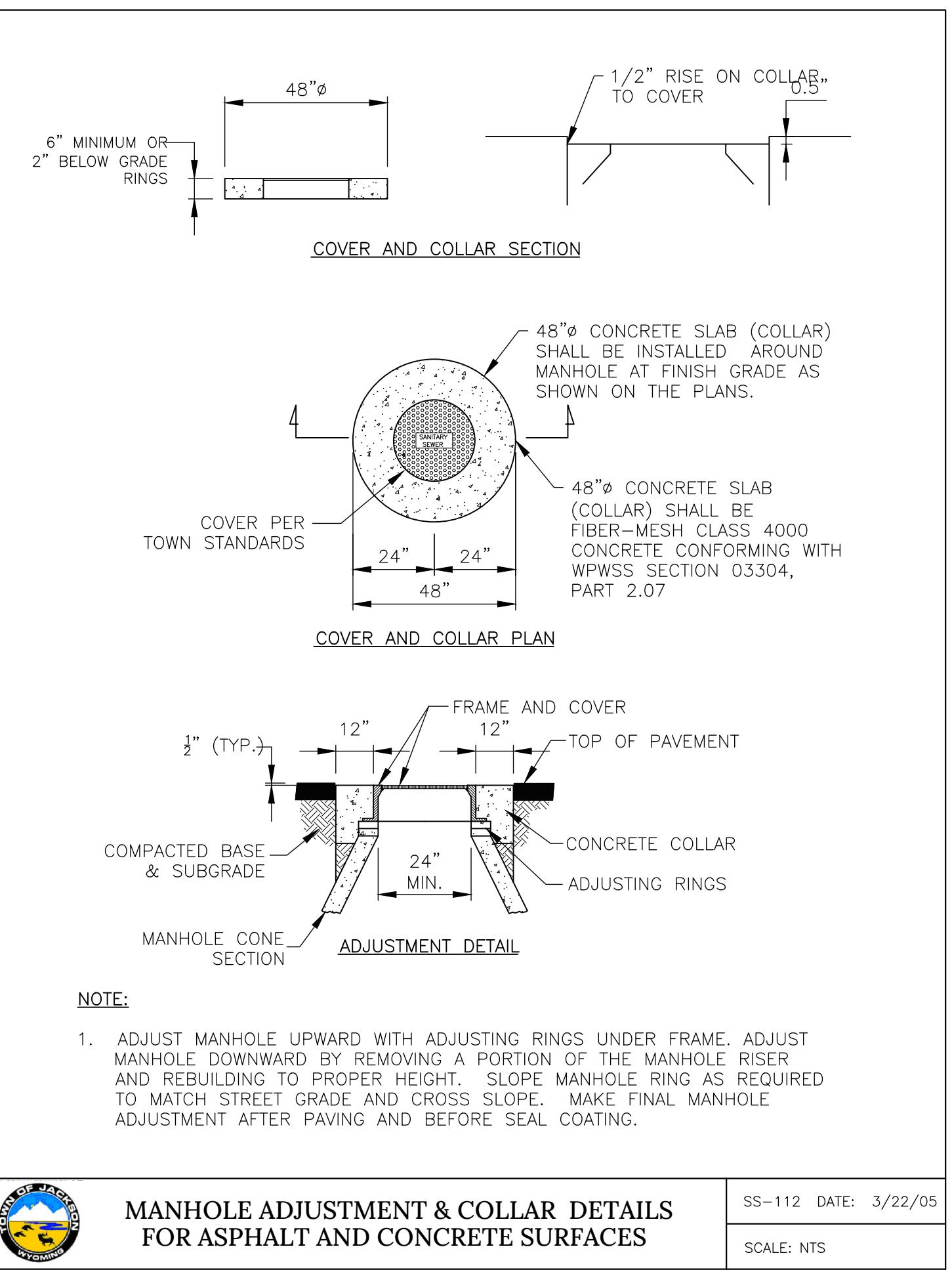
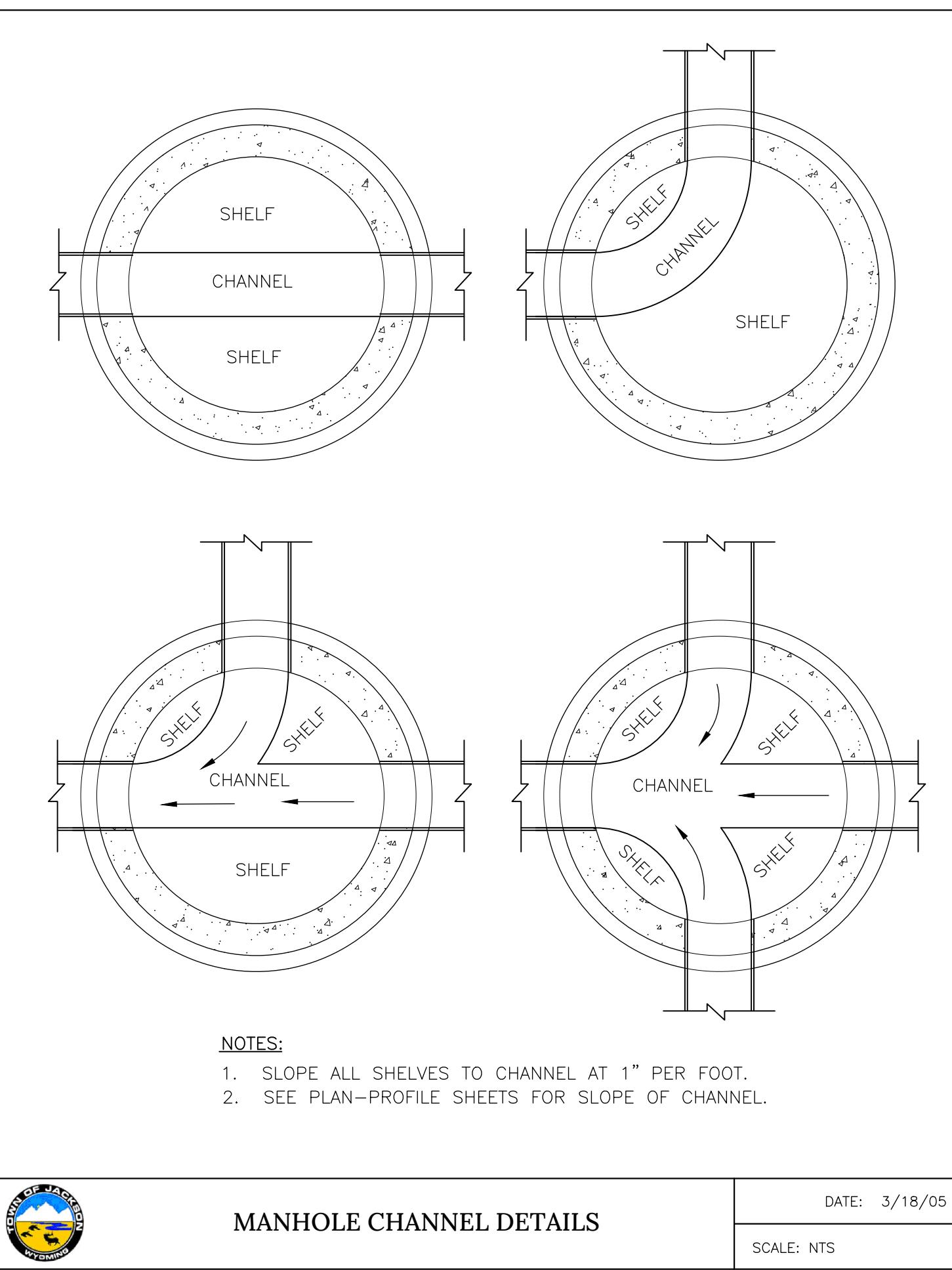
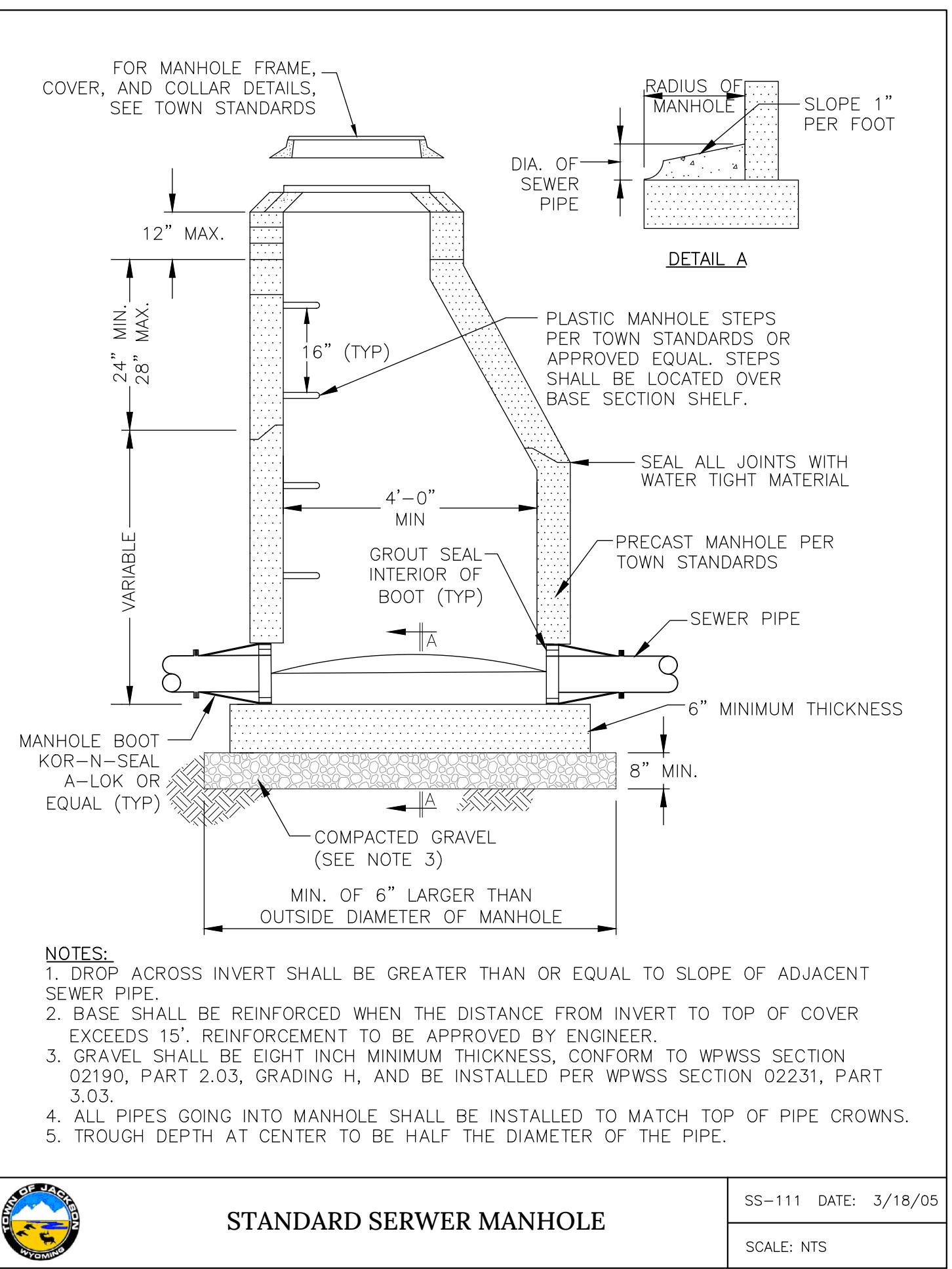
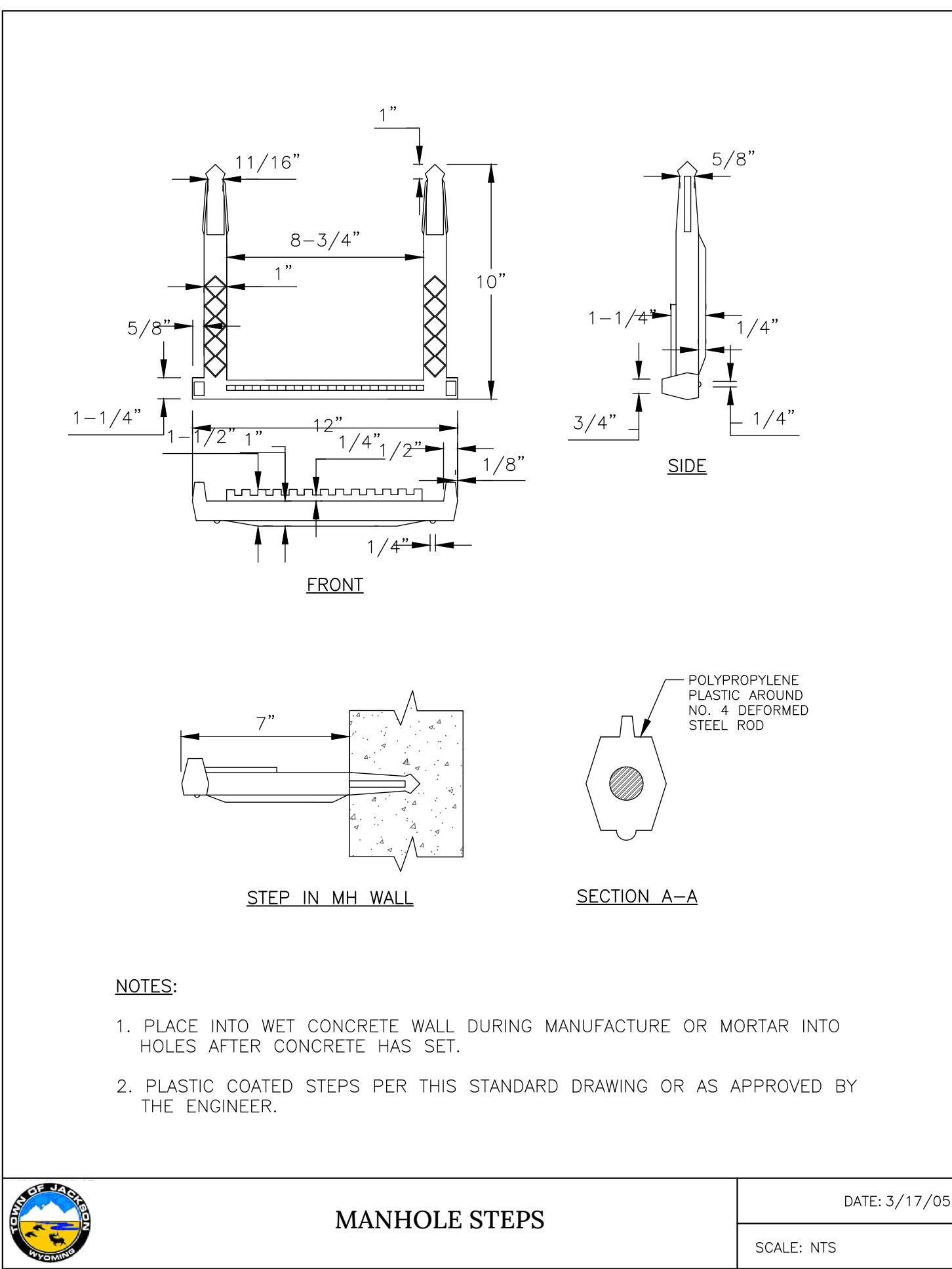
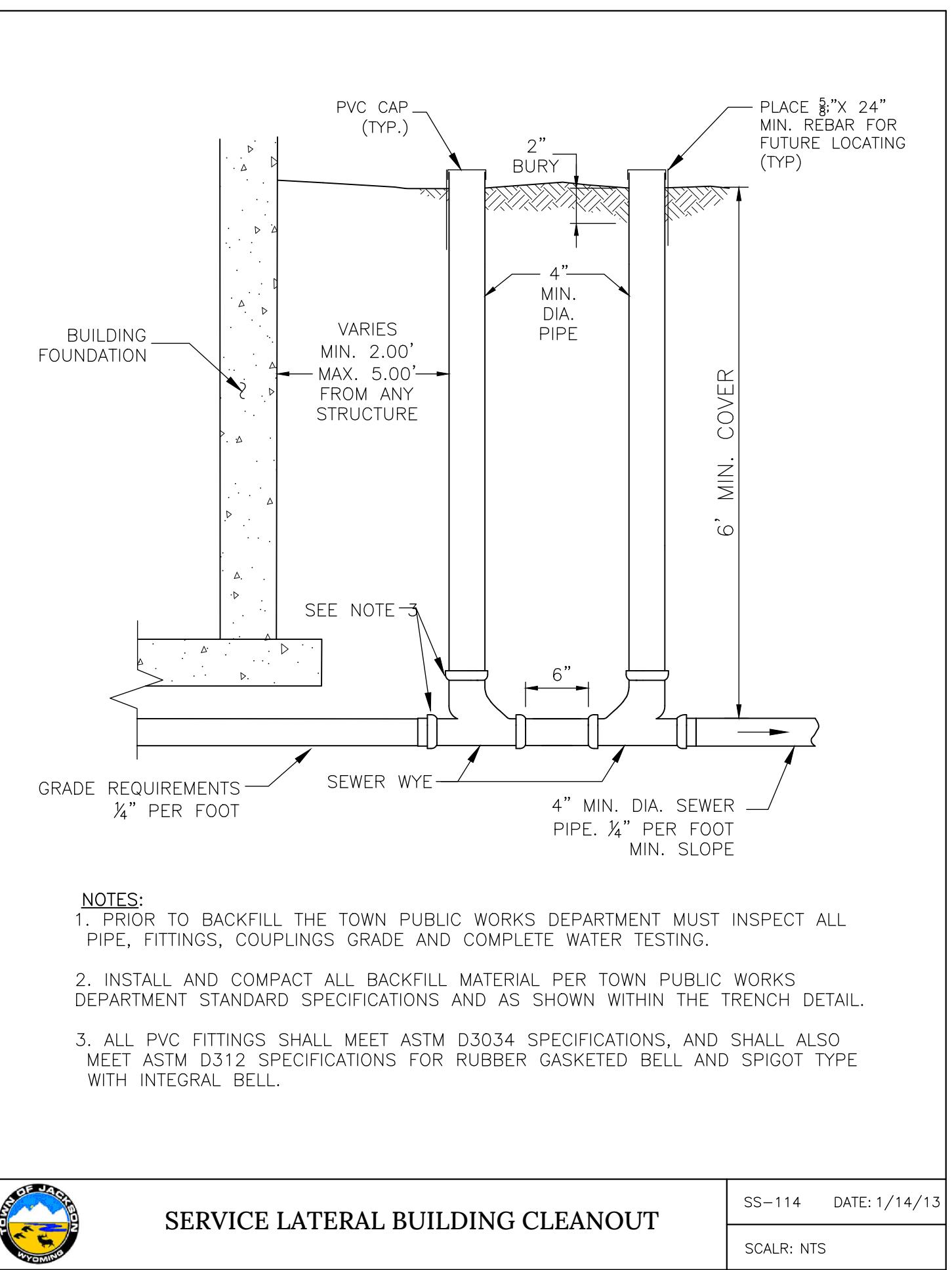
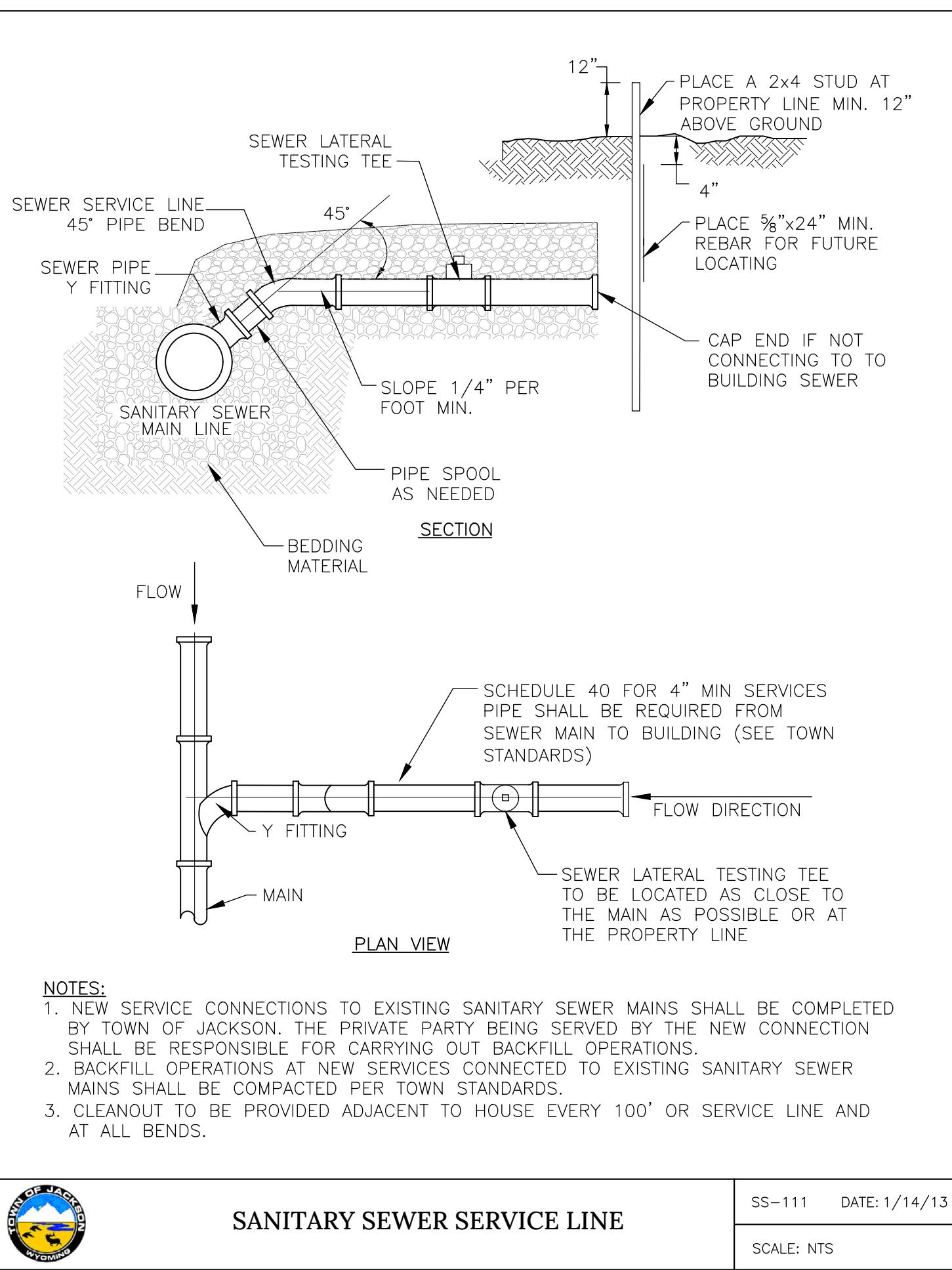
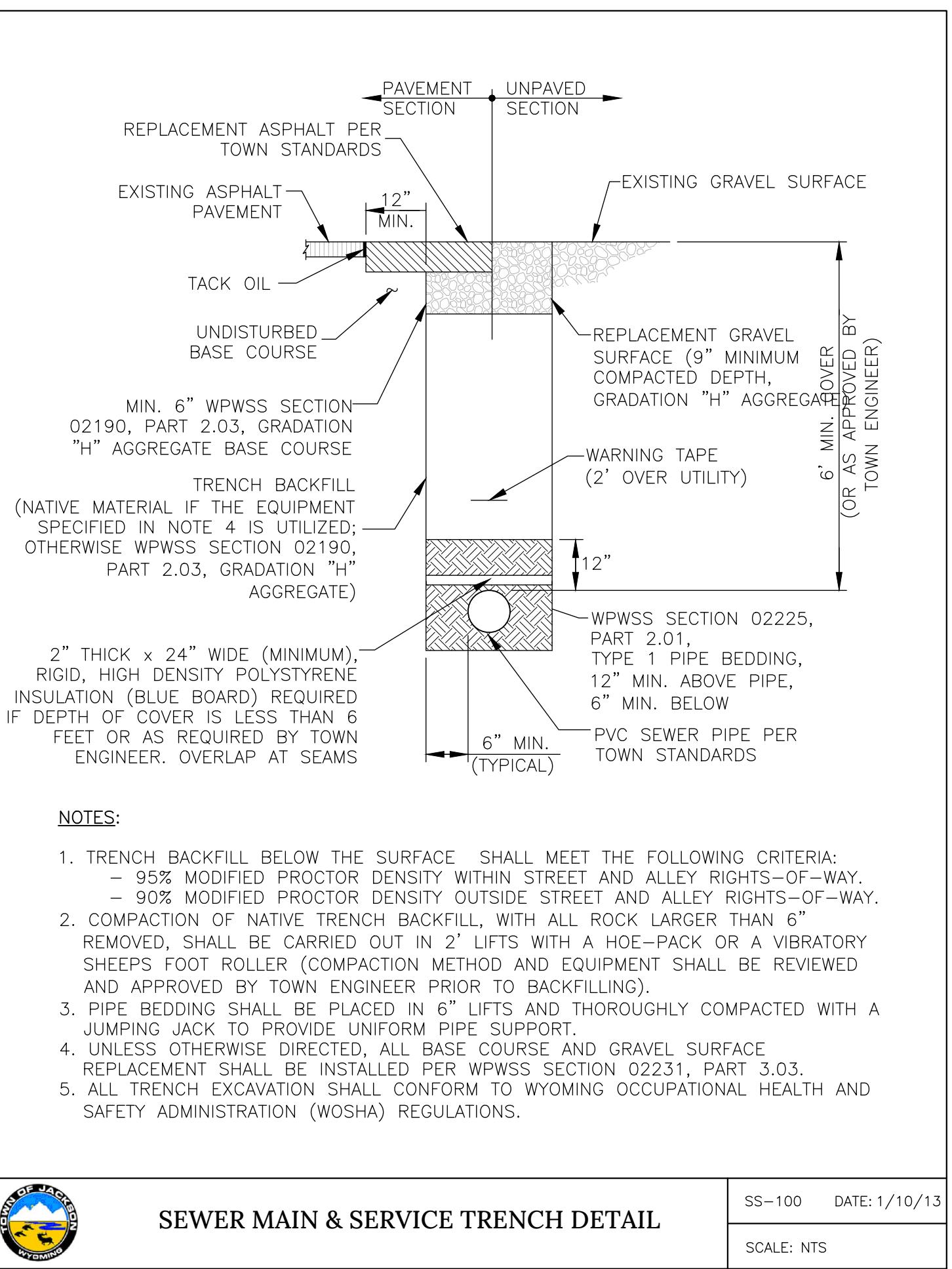
MERCILL PARTNERS, LLC
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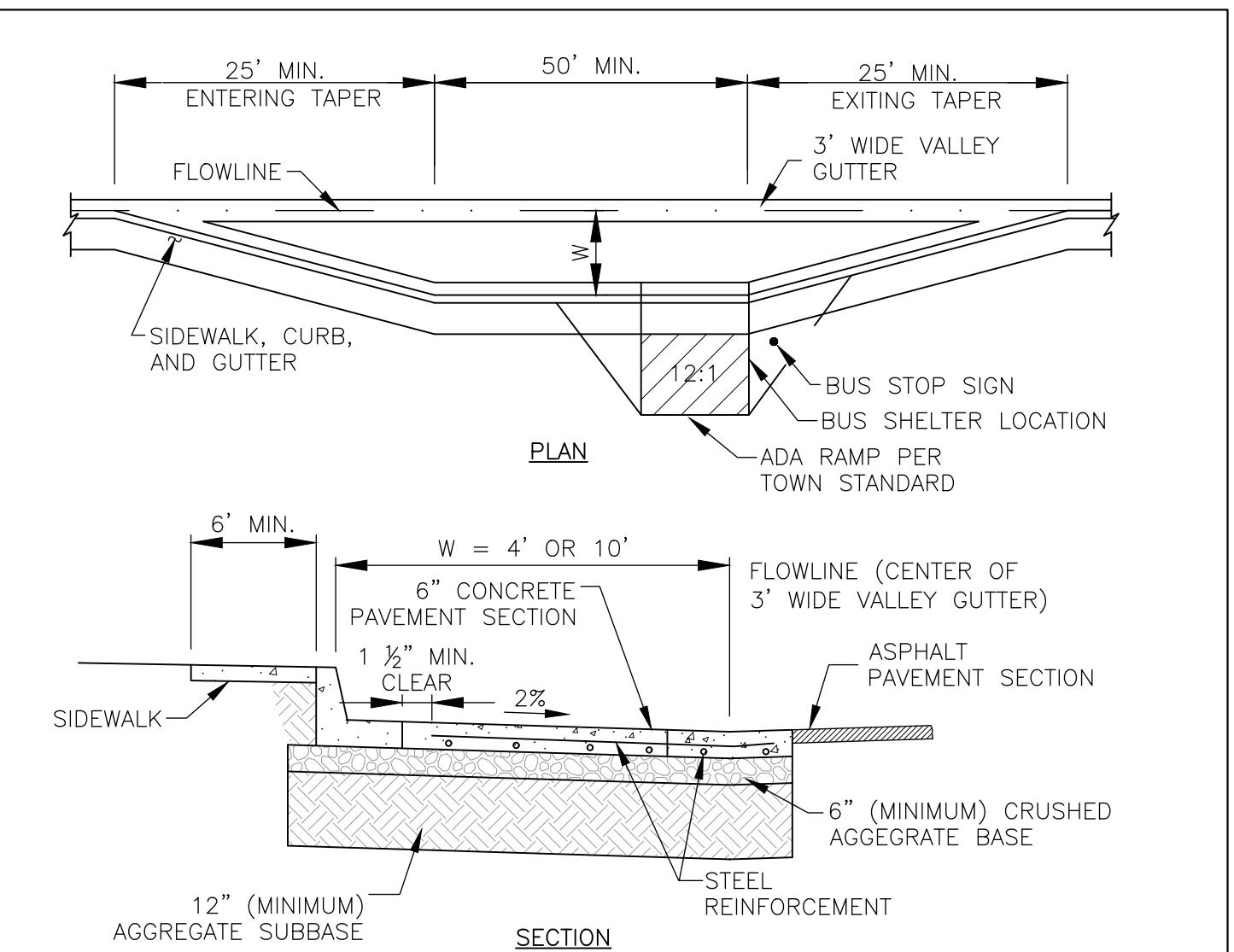
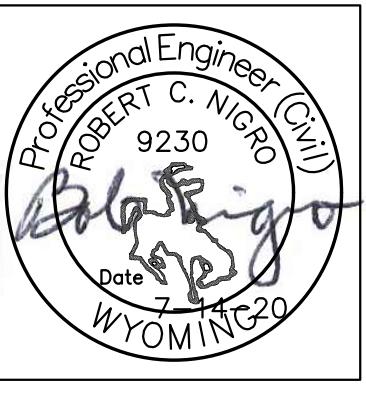
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MERCILL PARTNERS, LLC
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C10



NOTES:

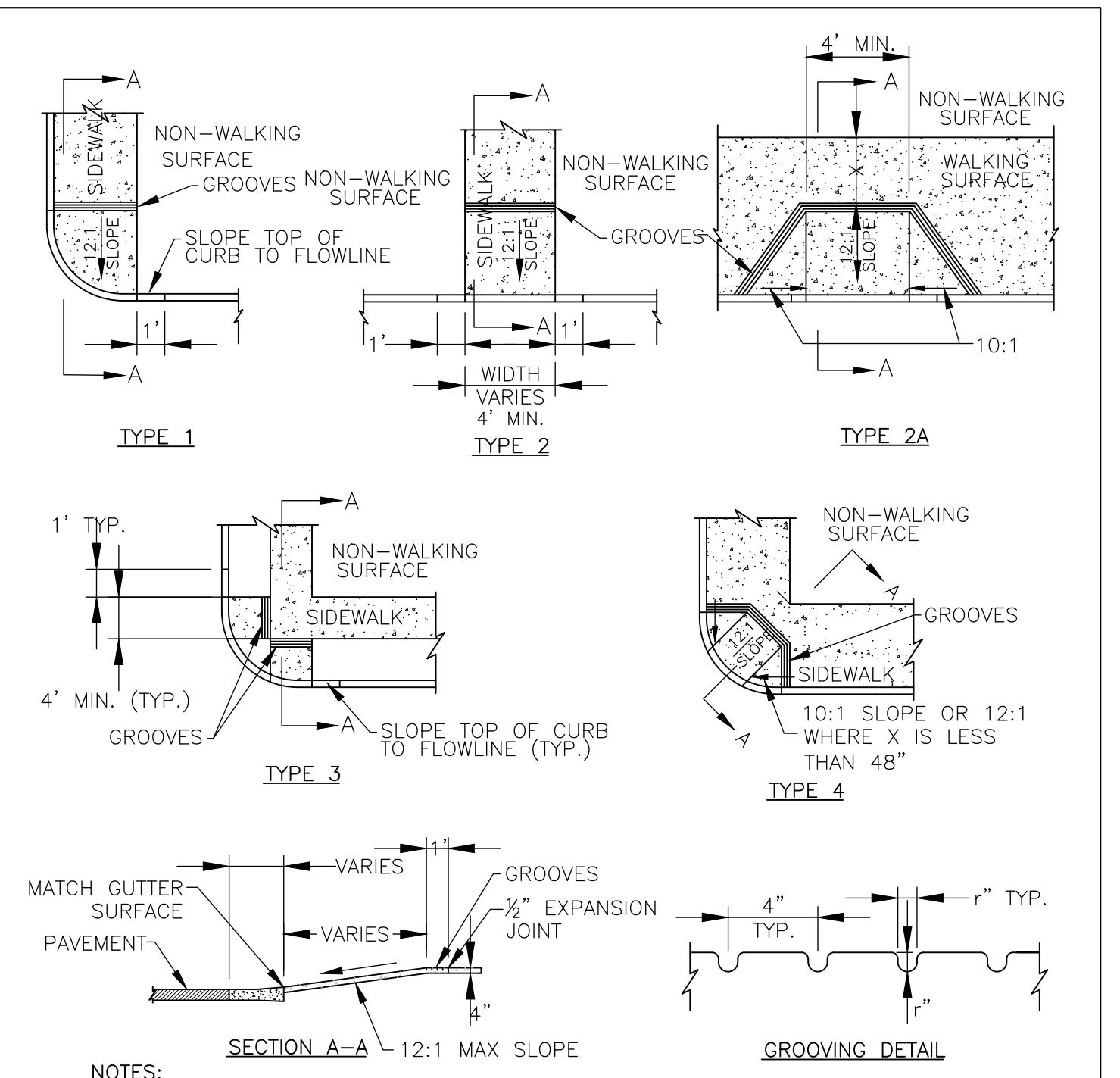
1. RAMP TO BE INSTALLED TO MEET ALL ADA STANDARD REQUIREMENTS.
2. CONCRETE BUS TURNOUTS, INCLUDING ASSOCIATED VALLEY CUTTERS, SHALL CONFORM TO WPW22 SECTION 02776, EXCEPT THE FOLLOWING:
 - A. PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.08.
 - B. AGGREGATE BASE COURSE SHALL CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H.
 - C. AGGREGATE SUBBASE COURSE SHALL BE PIT RUN OR SCREENED MATERIAL OF THE MAXIMUM SIZE NOT TO EXCEED SIX INCHES.
 - D. AGGREGATE BASE AND SUBBASE MATERIALS SHALL BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
3. VALLEY CUTTER SHALL BE PER TOWN STANDARD.
4. STEEL REINFORCEMENT SHALL BE #3 REBAR PLACED AT 12" O.C. EACH WAY HORIZONTALLY, CENTERED WITHIN THE DEPTH OF CONCRETE AND CONFORMING TO WPWSS SECTION 03200.
5. W SHALL BE 10' WHERE NO ON-STREET PARKING LANE EXISTS. WHERE AN ON-STREET PARKING LANE EXISTS, W MAY BE REDUCED TO 4'.



BUS TURNOUT

DATE: 3/23/05

SCALE: NTS



NOTES:

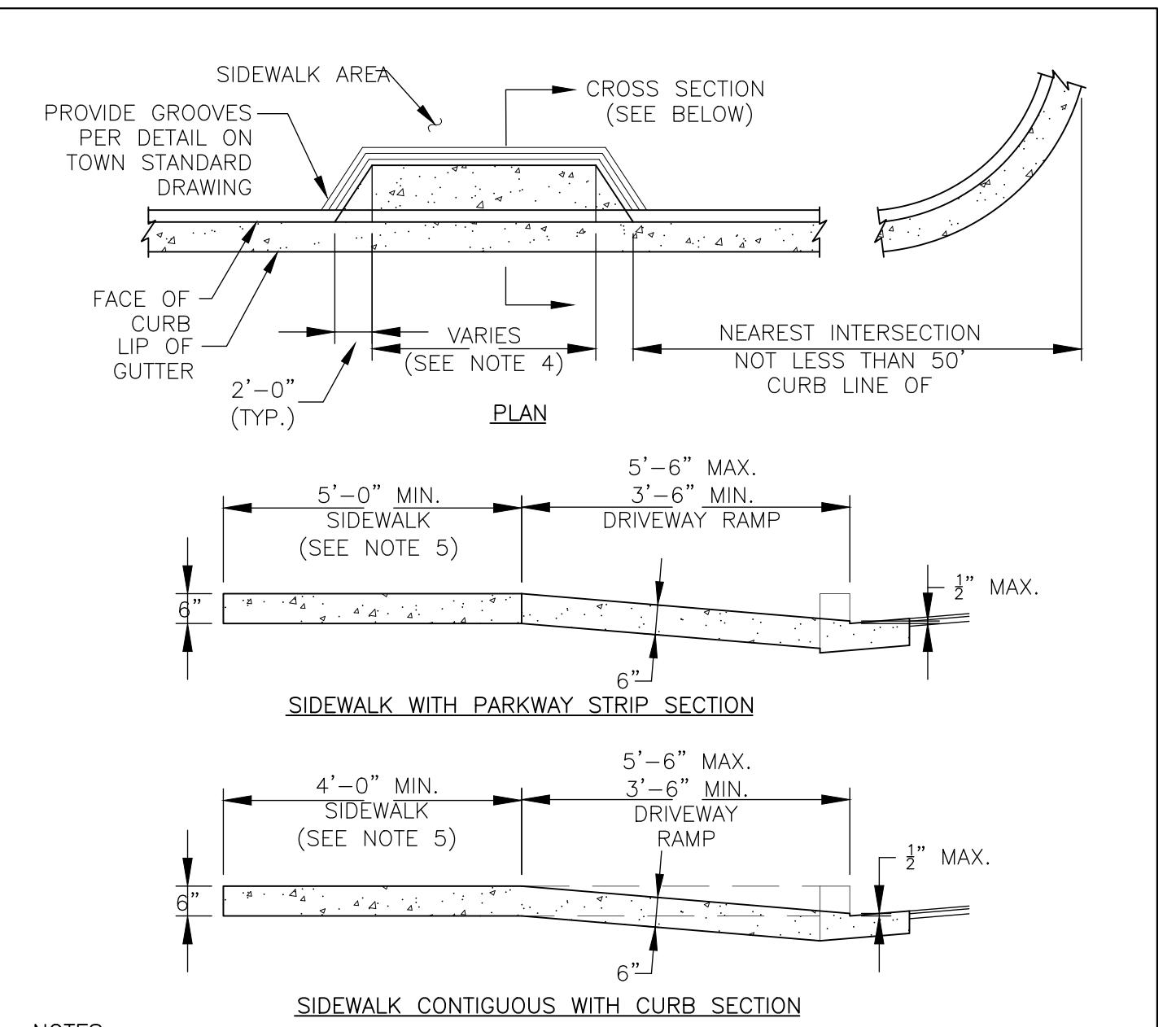
1. SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS.
2. LIP AT GUTTER TO BE NO MORE THAN $\frac{1}{4}$ " HIGH.
3. CONCRETE TO BE A BROOM FINISH.
4. WHERE EITHER A TYPE 3 OR A TYPE 3 RAMP SHALL BE INSTALLED UNLESS OTHERWISE SPECIFICALLY APPROVED BY THE PUBLIC WORKS DEPARTMENT.
5. FOR TYPE 2A RAMP WHERE INADEQUATE RIGHT-OF-WAY EXISTS TO PROVIDE 4'-0" MINIMUM WIDTH OF SIDEWALK SHALL BE DEPRESSED AND INSTALLED AT A MAXIMUM CROSS-SLOPE OF 2% LONGITUDINAL SLOPE (ALONG THE SIDEWALK) AT EACH END OF THE DEPRESSED SECTION SHALL NOT EXCEED 1:12.



PEDESTRIAN RAMPS

DATE: 3/23/05

SCALE: NTS



NOTES:

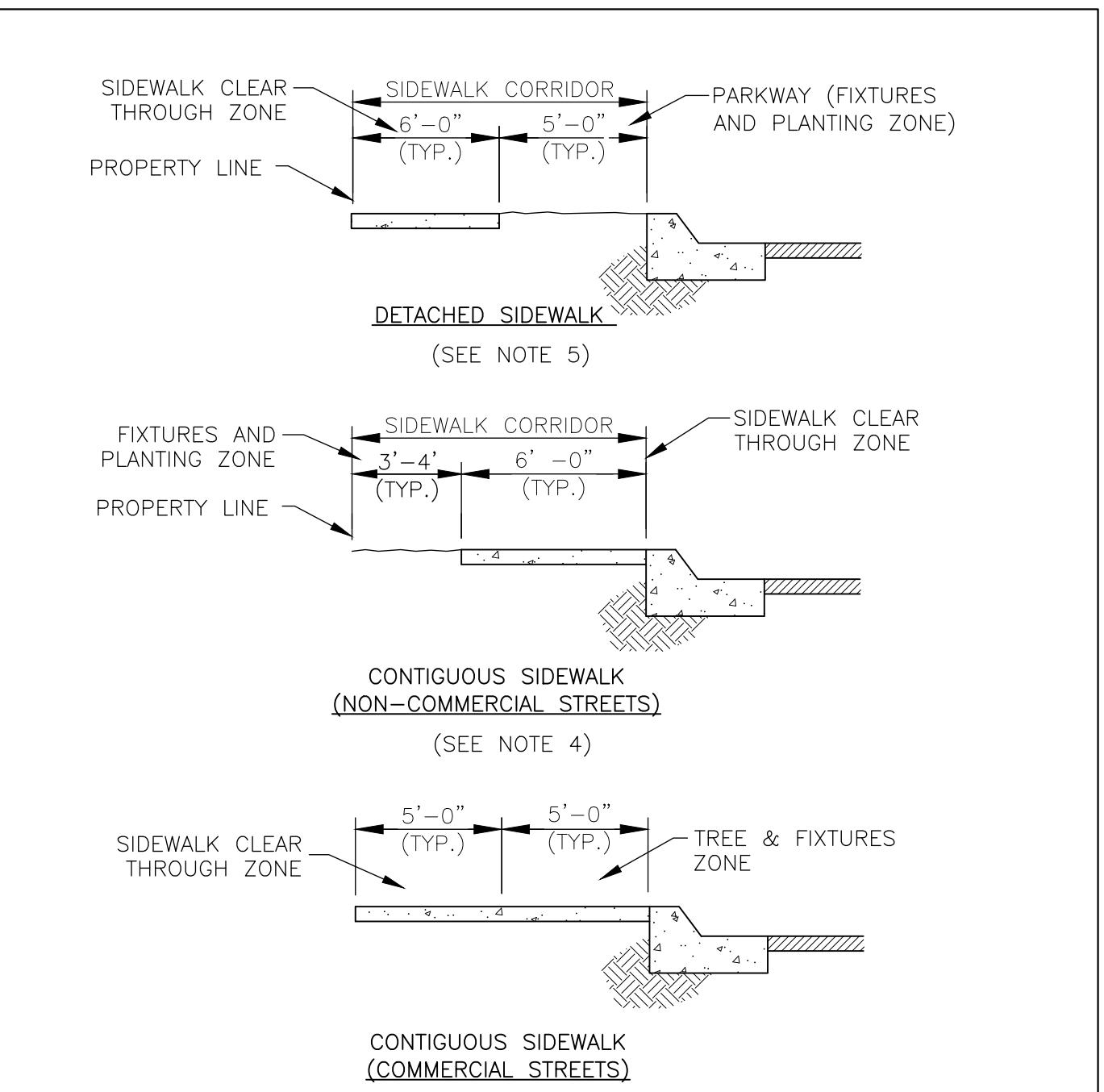
1. DRIVEWAYS AND CURB CUT SHALL BE INSTALLED TO CONFORM WITH ALL APPLICABLE ADA STANDARD REQUIREMENTS.
2. CONCRETE DRIVEWAY RAMPS/CURB CUTS AND ASSOCIATED ADJACENT SIDEWALK SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
3. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
4. THE FLAT BOTTOM WIDTH DIMENSION OF CURB CUTS SHALL NOT EXCEED THE DIMENSIONS SET FORTH IN THE TOWN LAND DEVELOPMENT REGULATIONS.
5. THE ENTIRE SIDEWALK AND RAMP SHALL BE DEPRESSED AND INSTALLED AT A MAXIMUM CROSS-SLOPE OF 2% LONGITUDINAL SLOPE (ALONG THE SIDEWALK) AT EACH END OF THE DEPRESSED SECTION SHALL NOT BE STEEPER THAN 1:12.
6. SIDEWALK CONSTRUCTION SHALL BE PER TOWN STANDARDS.



DRIVEWAY CURB CUT

DATE: 3/23/05

SCALE: NTS



NOTES:

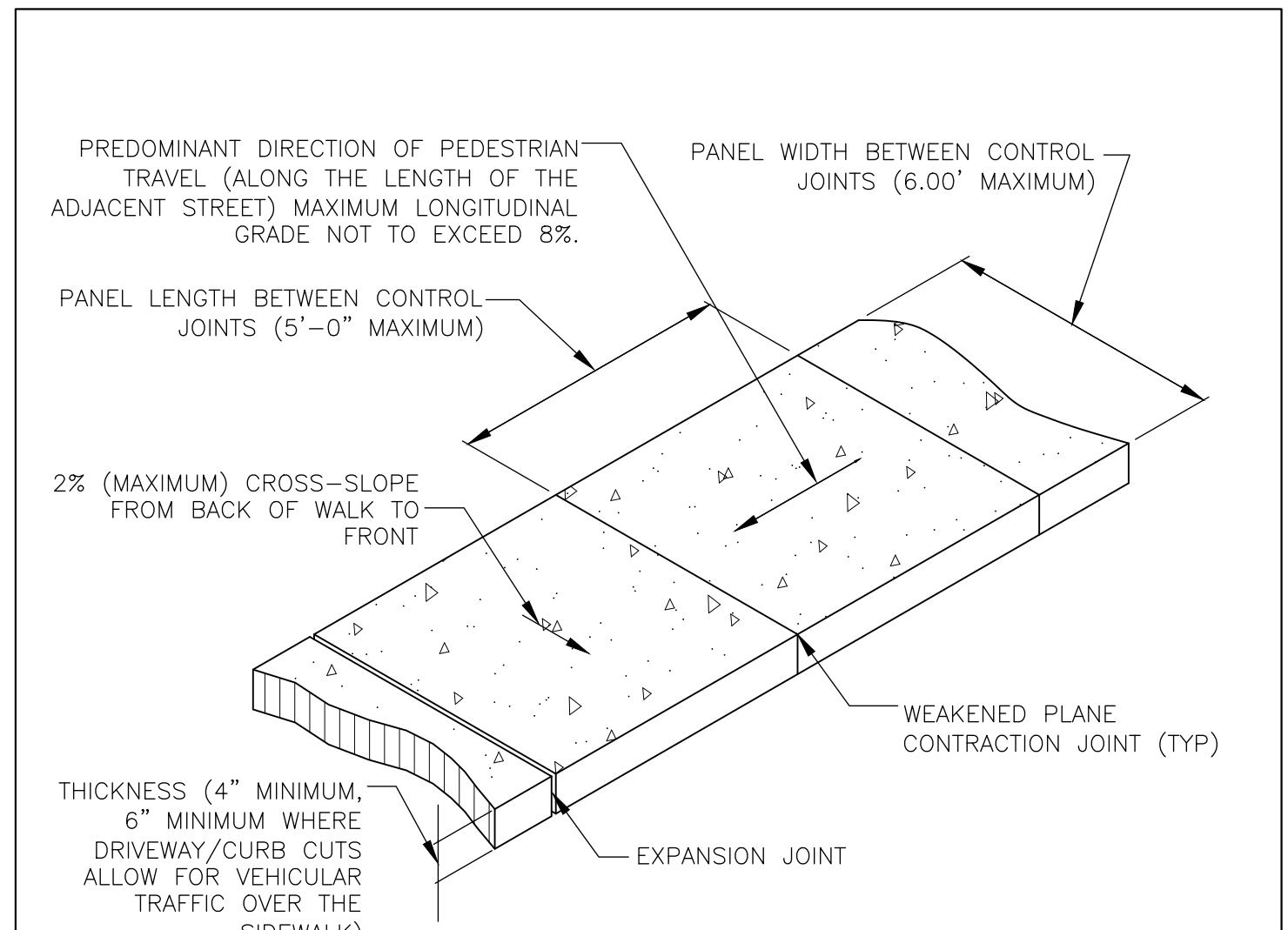
1. SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS.
2. SIDEWALK CONSTRUCTION SHALL BE PER TOWN STANDARDS.
3. WITHIN THE TOWN'S BOARDWALK DISTRICT, BOARDWALK (RATHER THAN SIDEWALK) SHALL BE INSTALLED.
4. MINIMUM CLEARANCE AROUND ALL OBSTRUCTIONS SHALL BE 5'-0".
5. ON NON-COMMERCIAL STREETS DETACHED SIDEWALK SHALL BE THE PREFERRED OPTION.
6. IN ORDER TO MAINTAIN THE CLEAR THROUGH ZONE, THE FIXTURES ZONE SHALL BE WHERE FIRE HYDRANTS, UTILITY POLES, GUY WIRES, PULL BOXES, NEWSPAPER BOXES, PHONE BOOTHES, AND OTHER SUCH OBSTRUCTIONS ARE LOCATED.



SIDEWALK CORRIDOR

DATE: 3/23/05

SCALE: NTS



NOTES:

1. SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS.
2. SIDEWALKS SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
3. AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
4. EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPWSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.)
5. FOR SIDEWALKS GREATER THAN SIX FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
6. SIDEWALK SHALL BE STAMPED WITH THE NAME OF THE INSTALLING CONTRACTOR AND YEAR OF INSTALLATION.
7. REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.



CONCRETE SIDEWALK

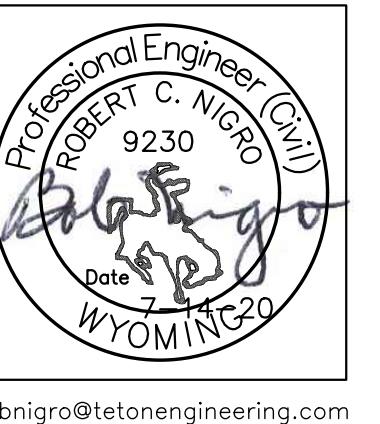
DATE: 3/23/05

SCALE: NTS

**MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY**

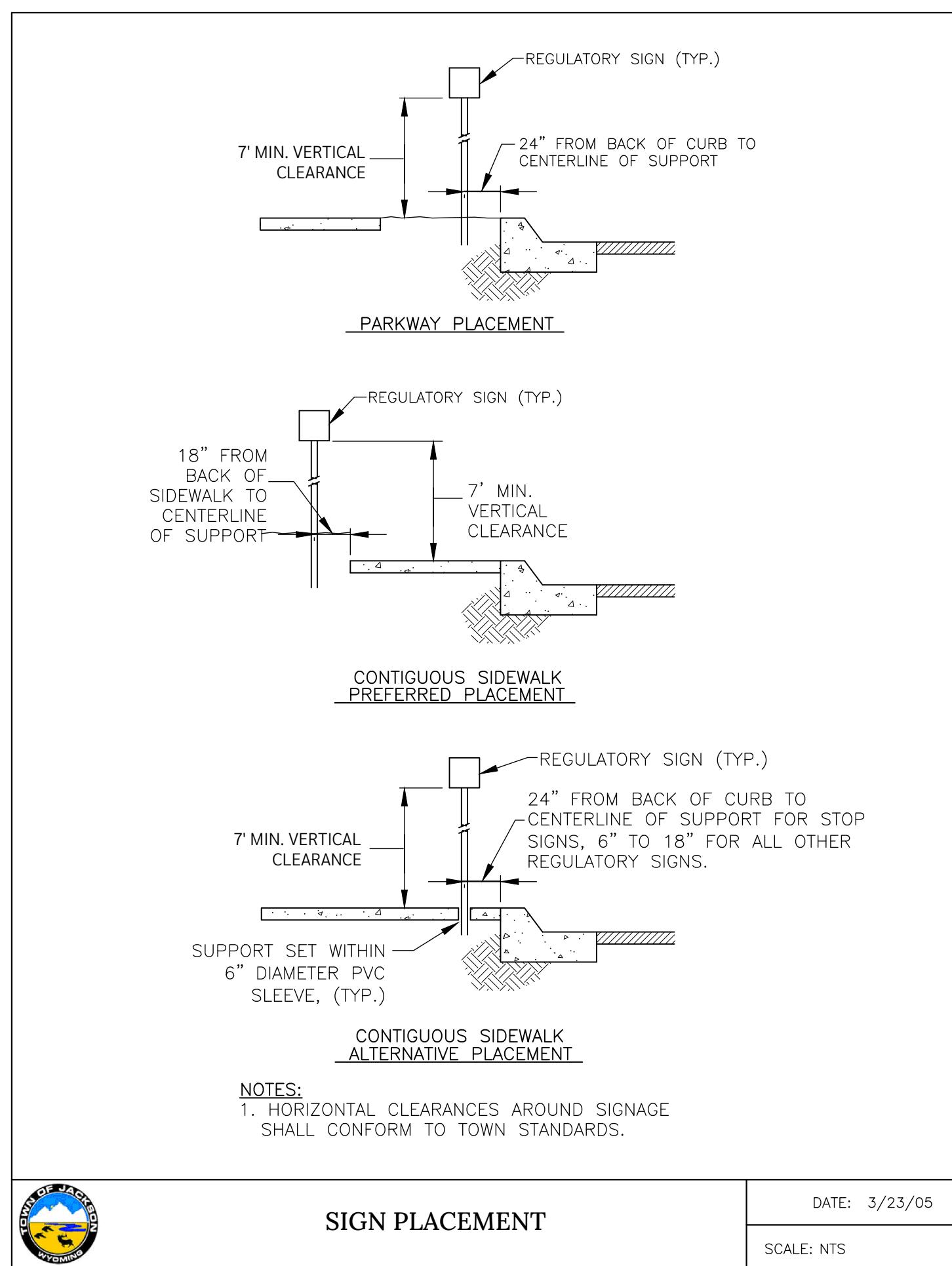
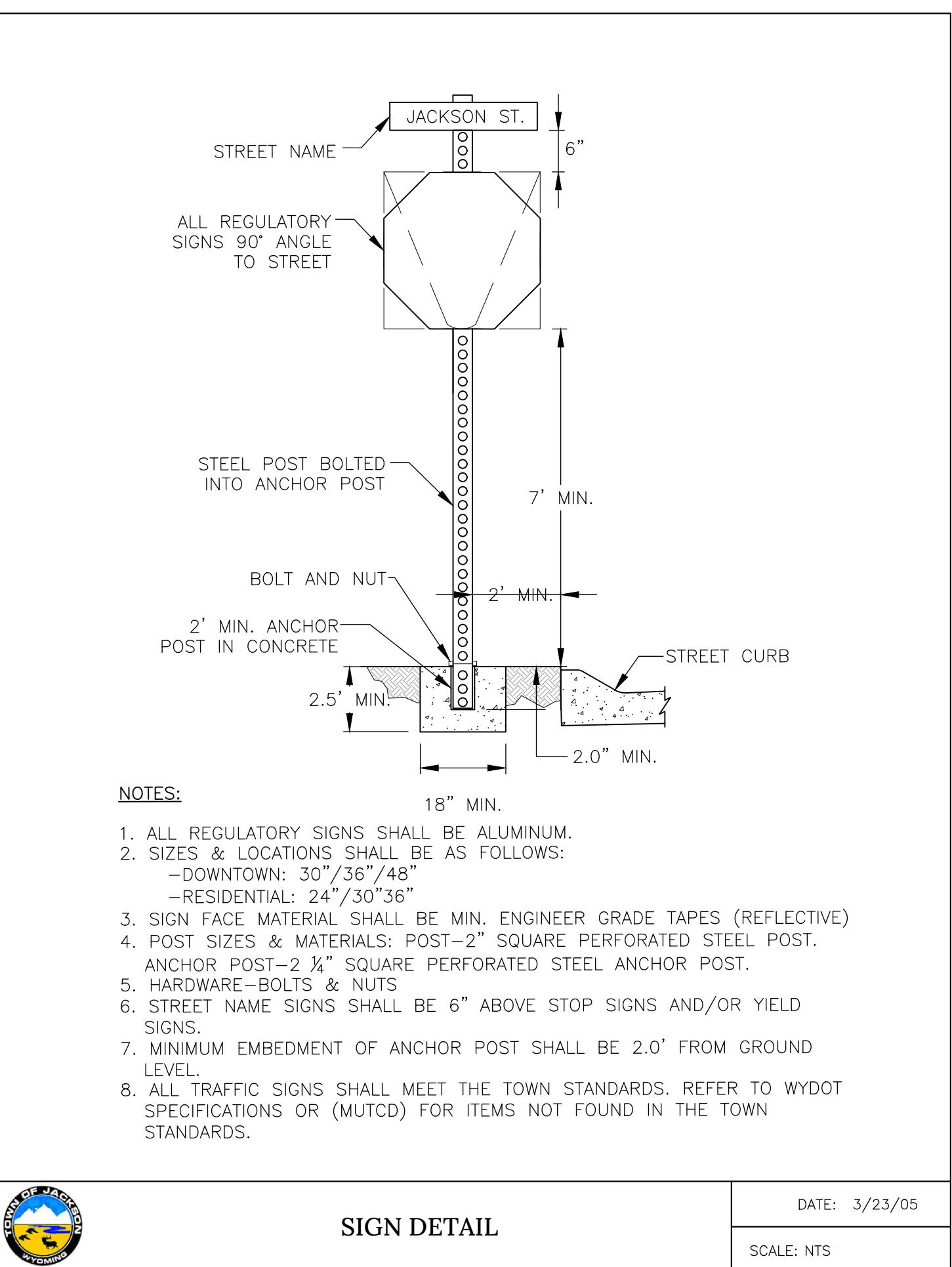
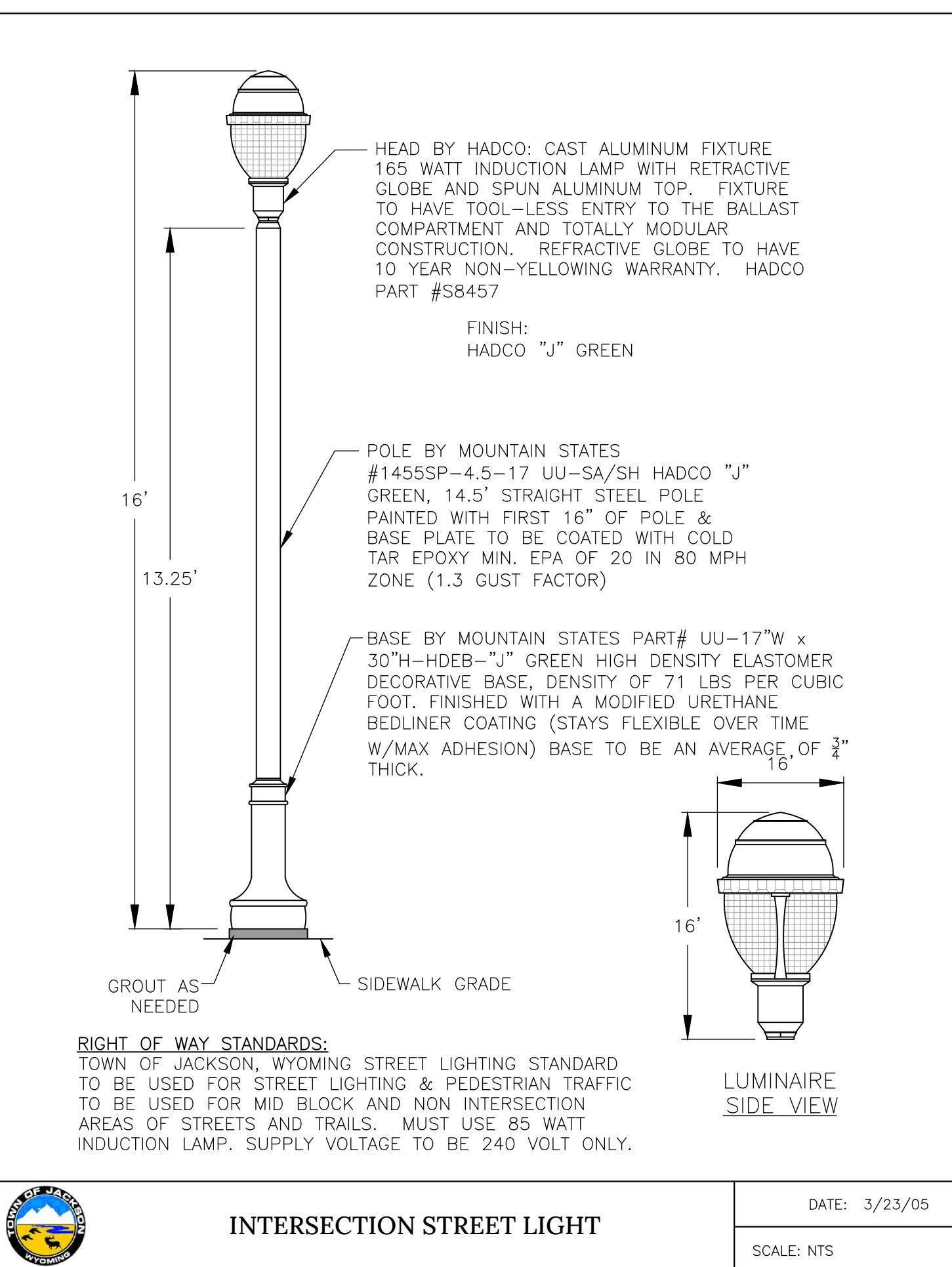
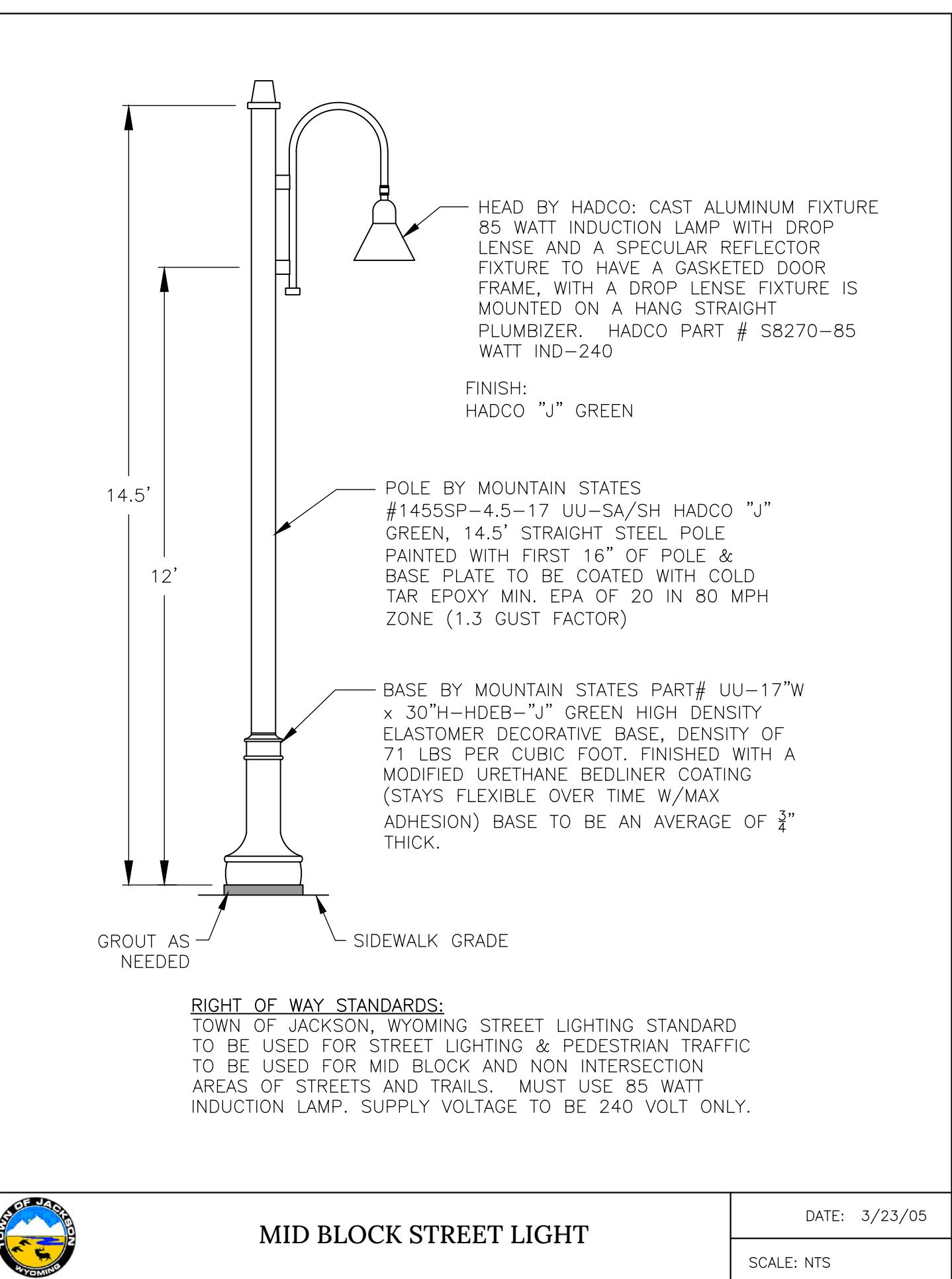
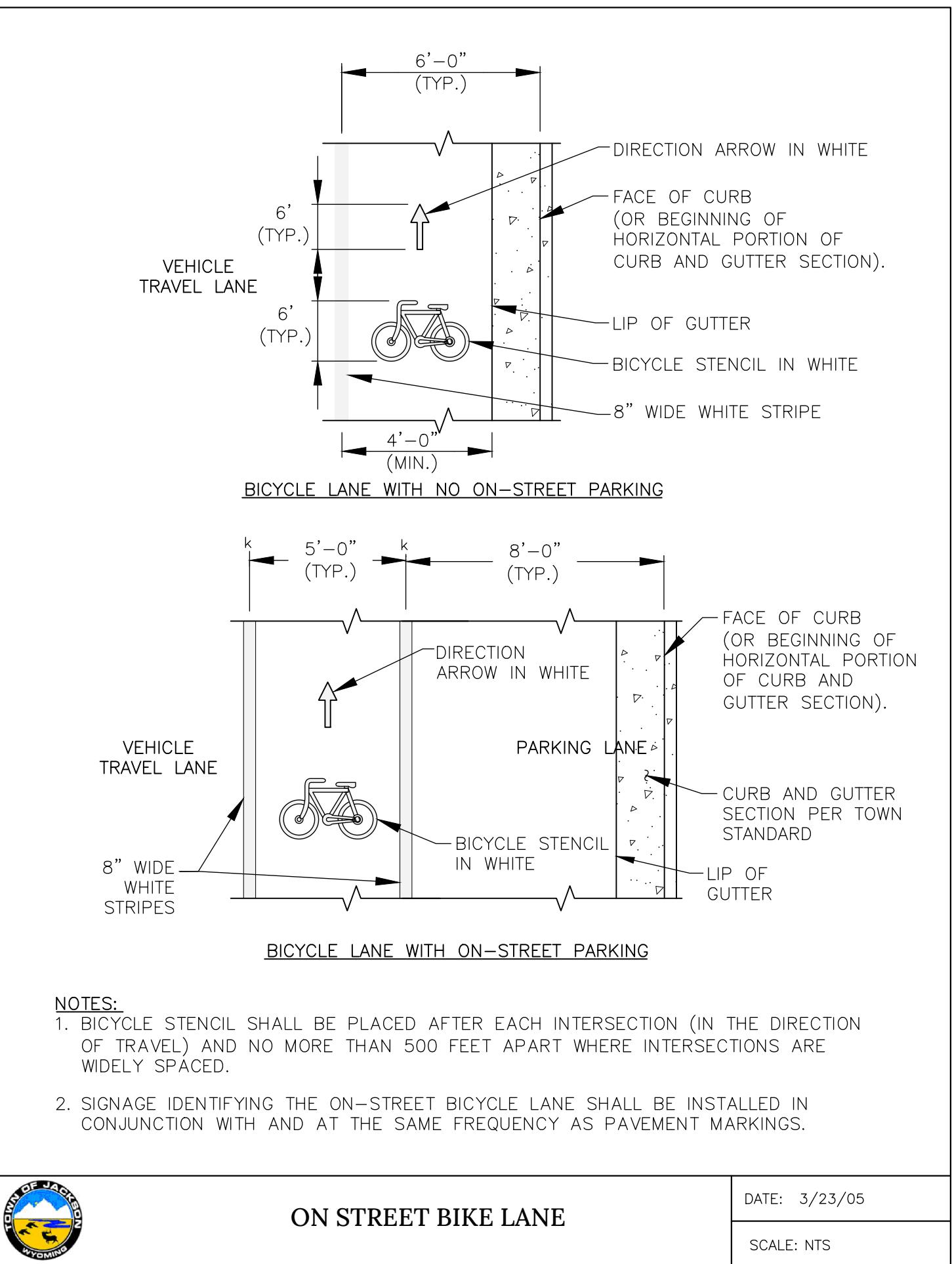
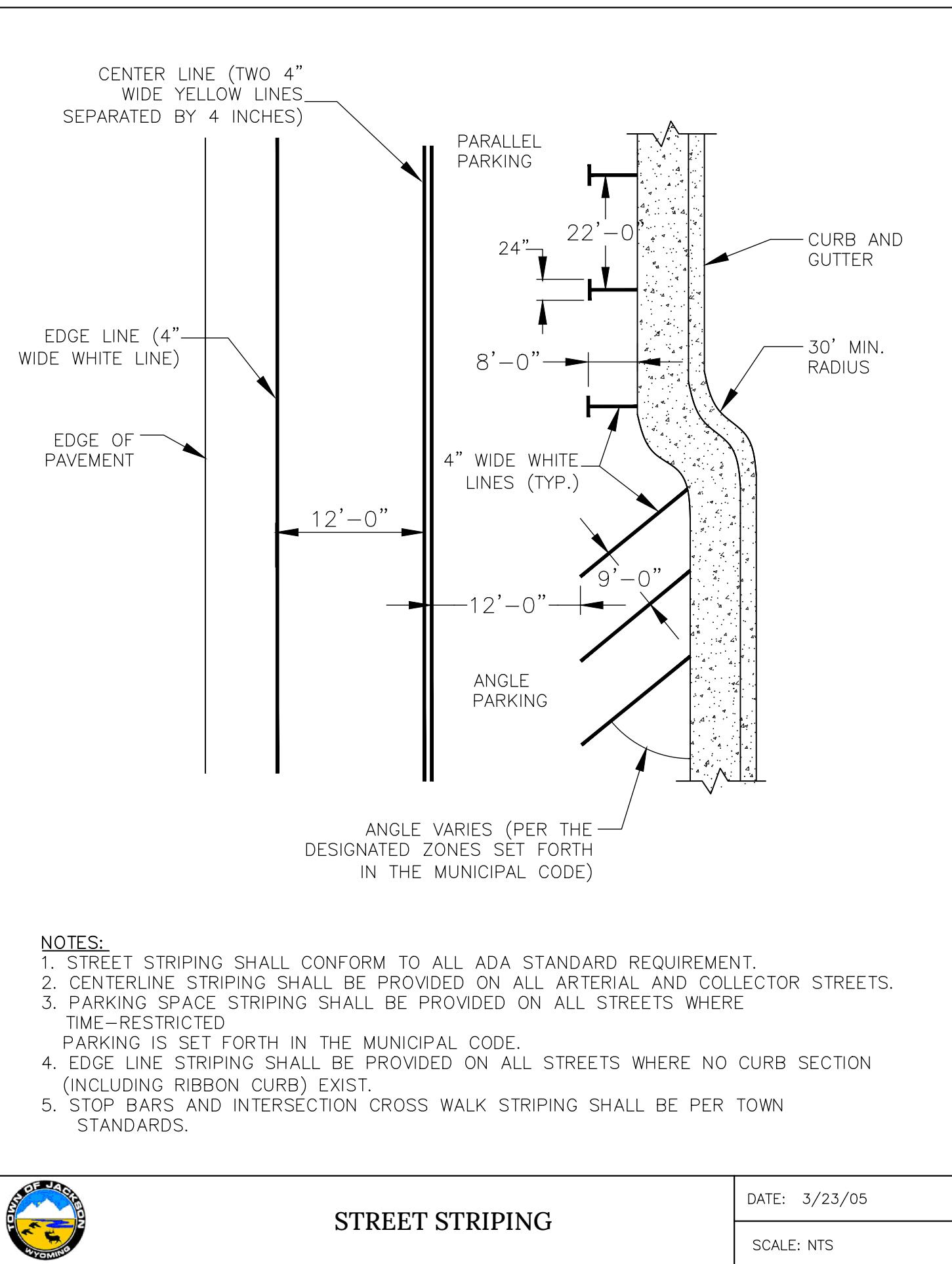
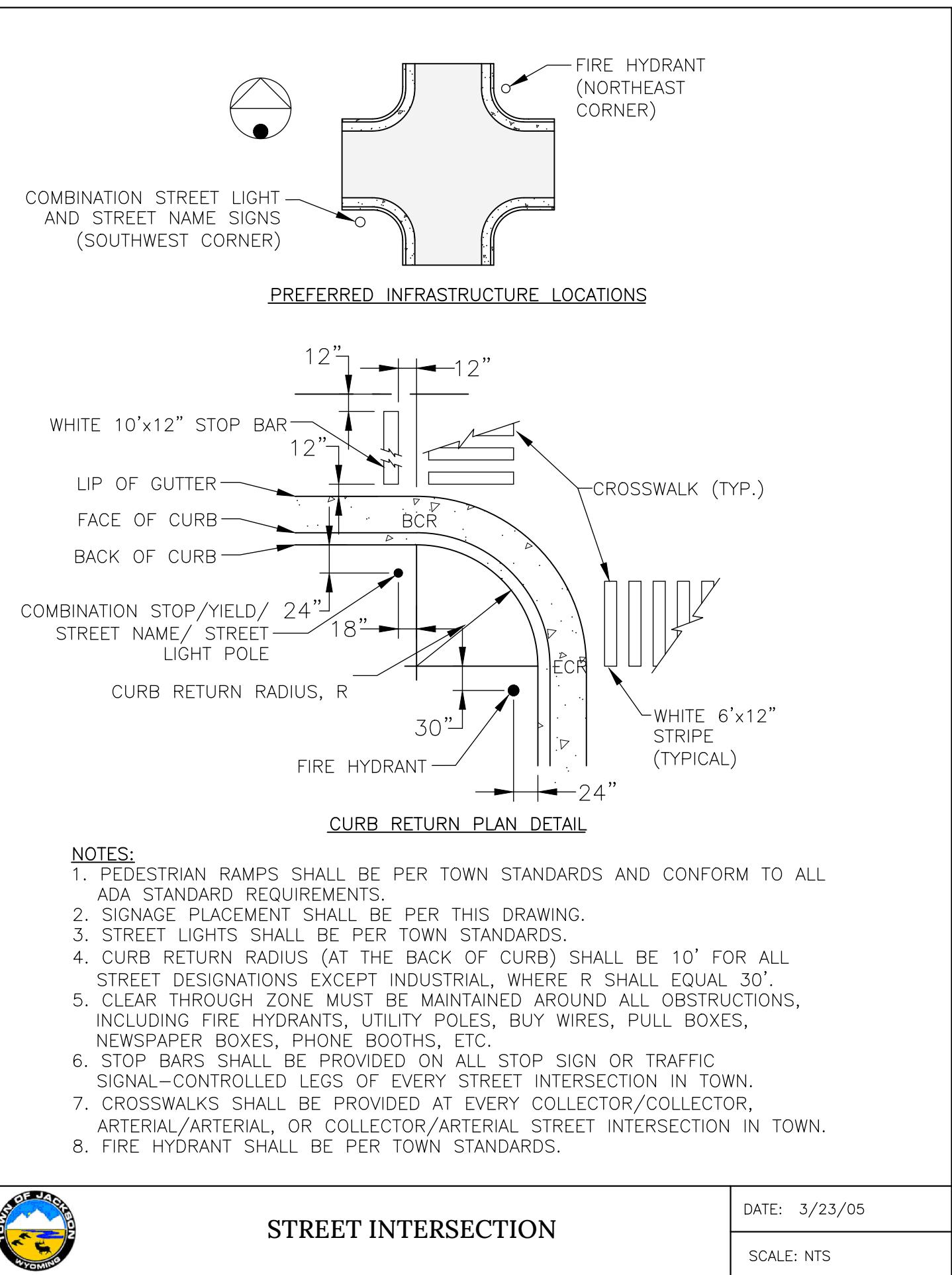
7-14-20

C11



bobnigro@tetoneengineering.com
(307) 413-4470

DETAILS

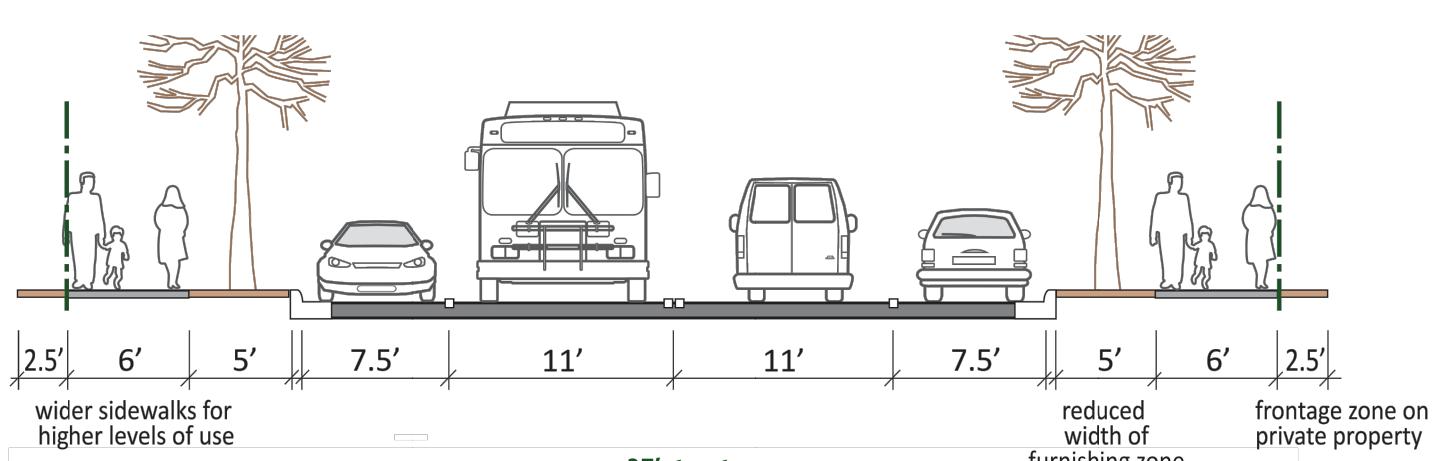
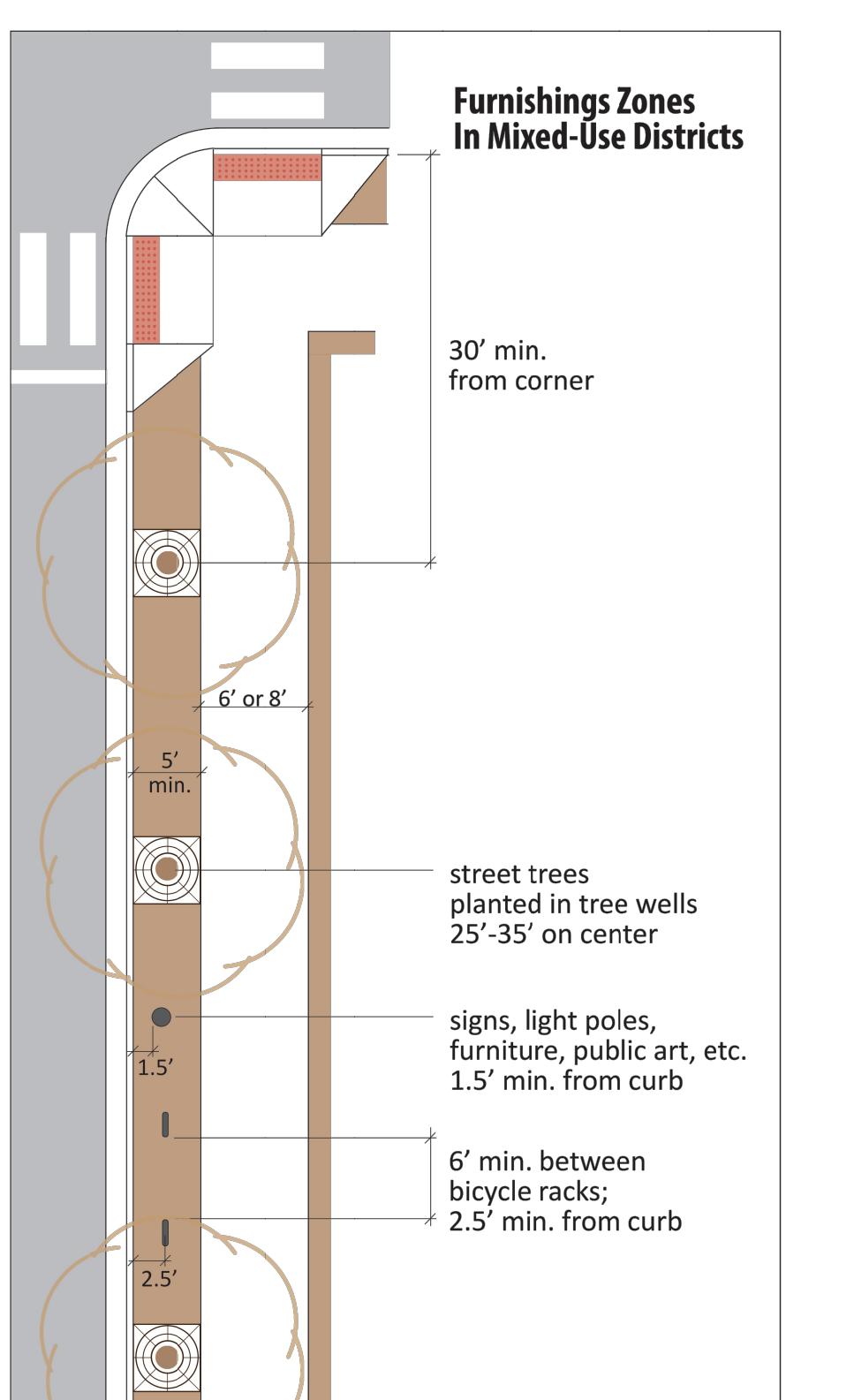
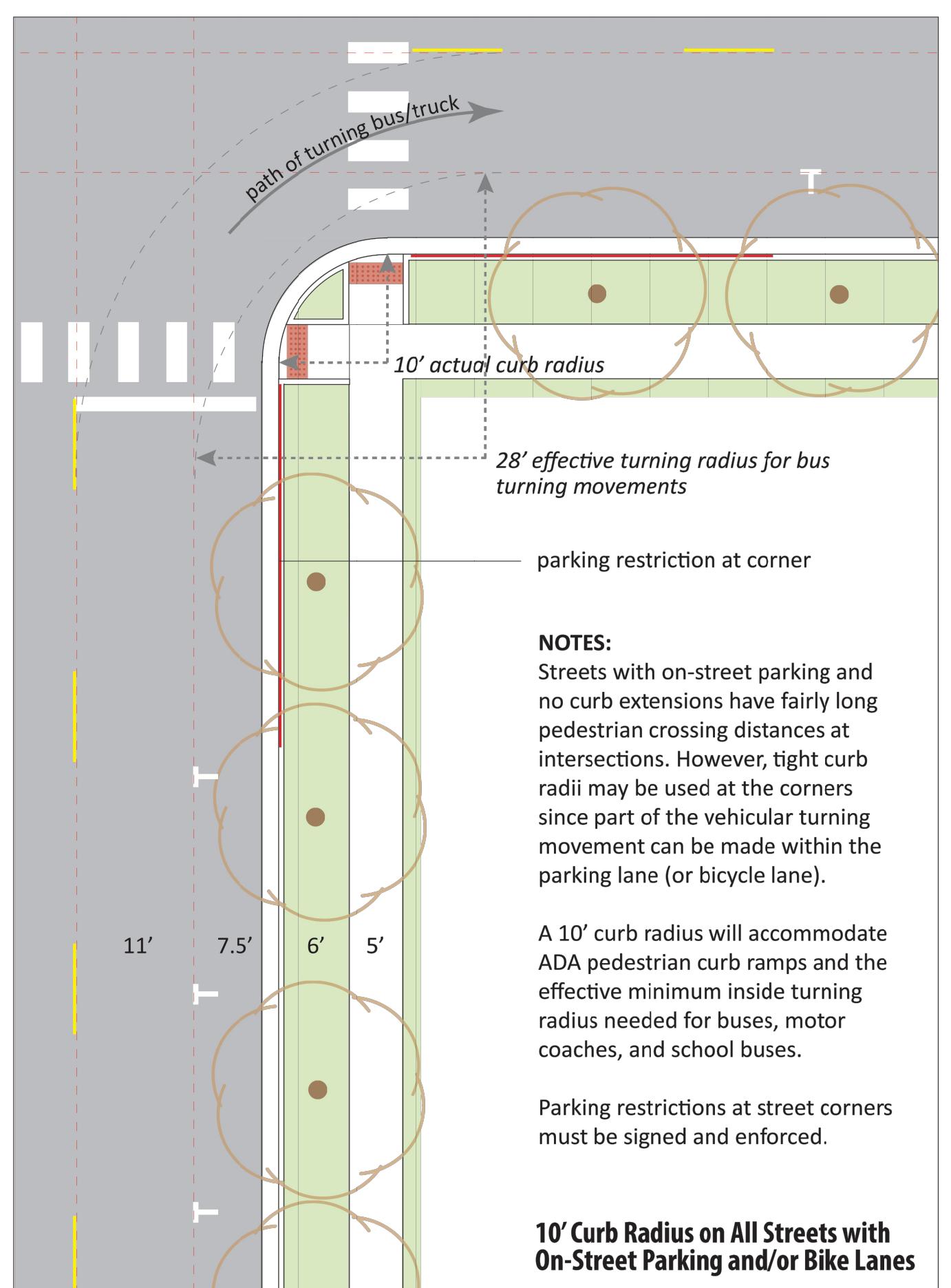
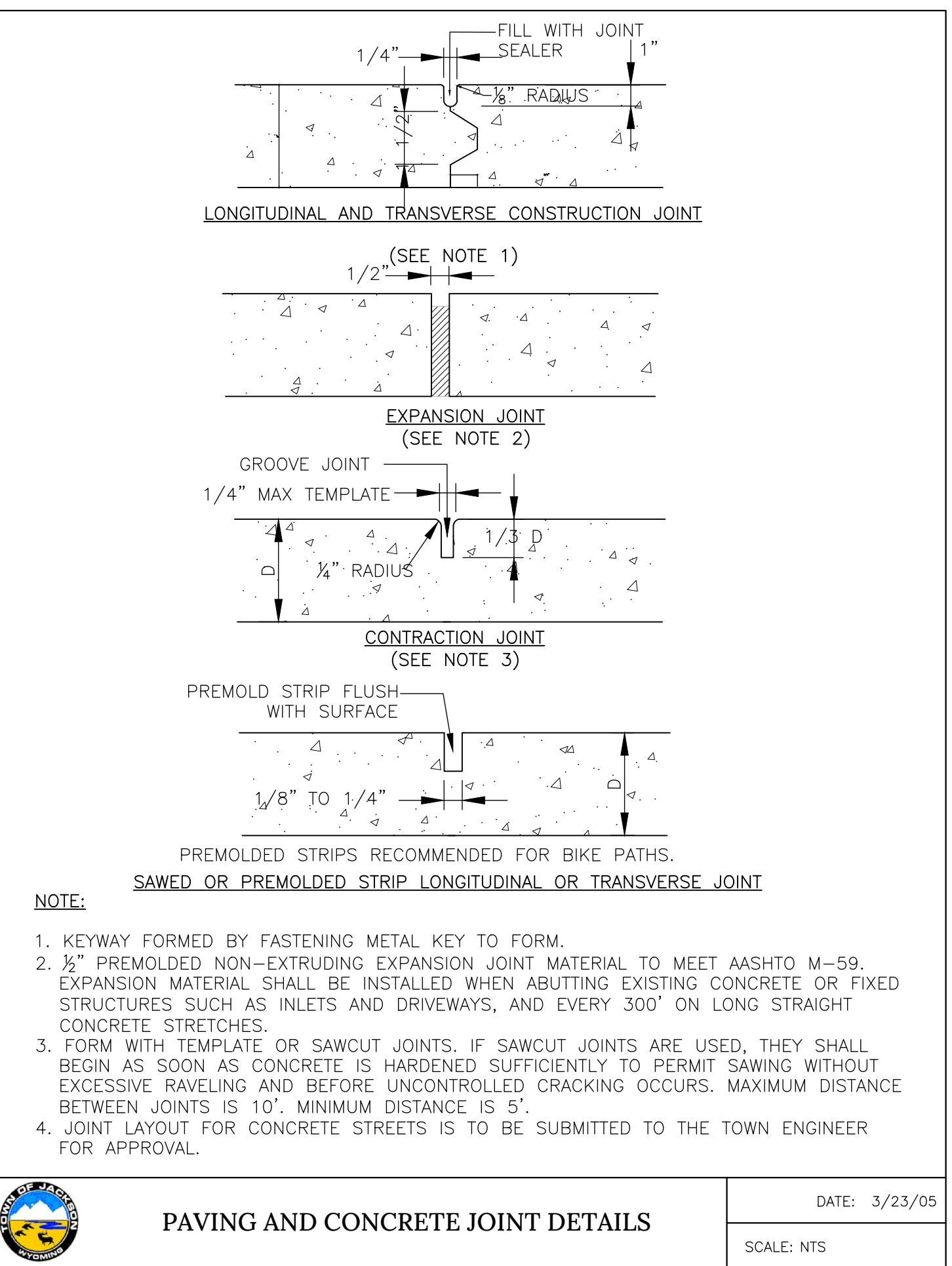
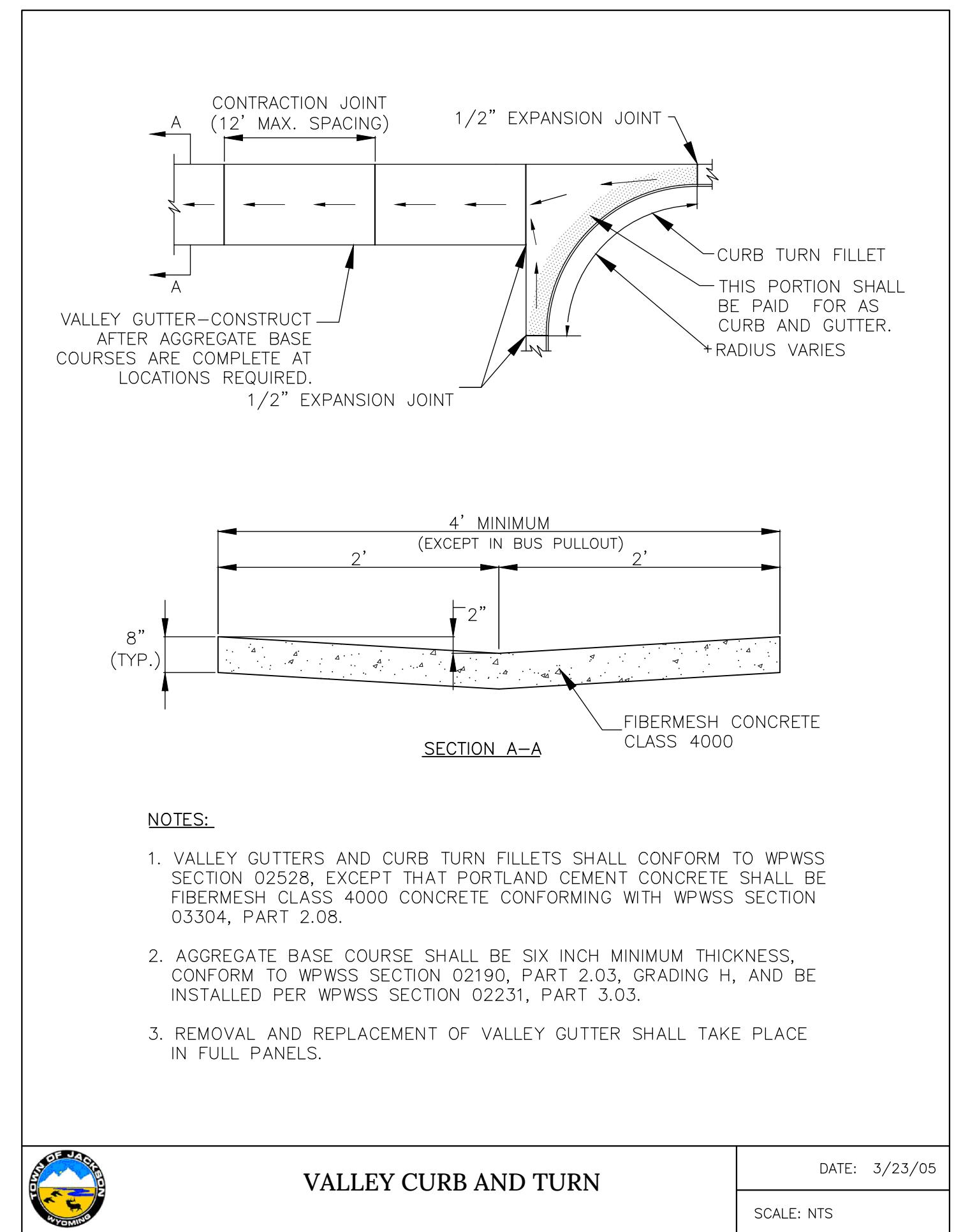
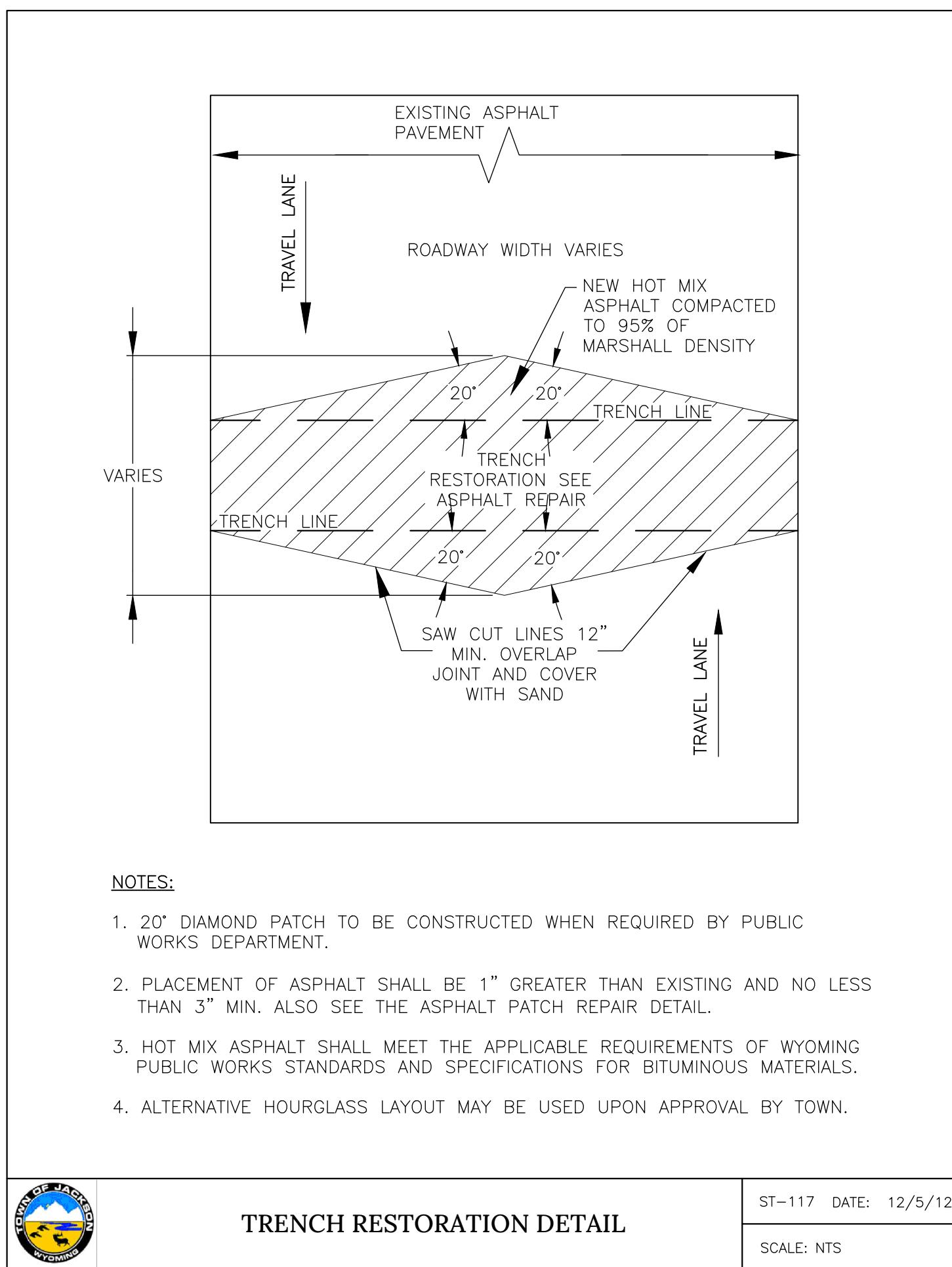
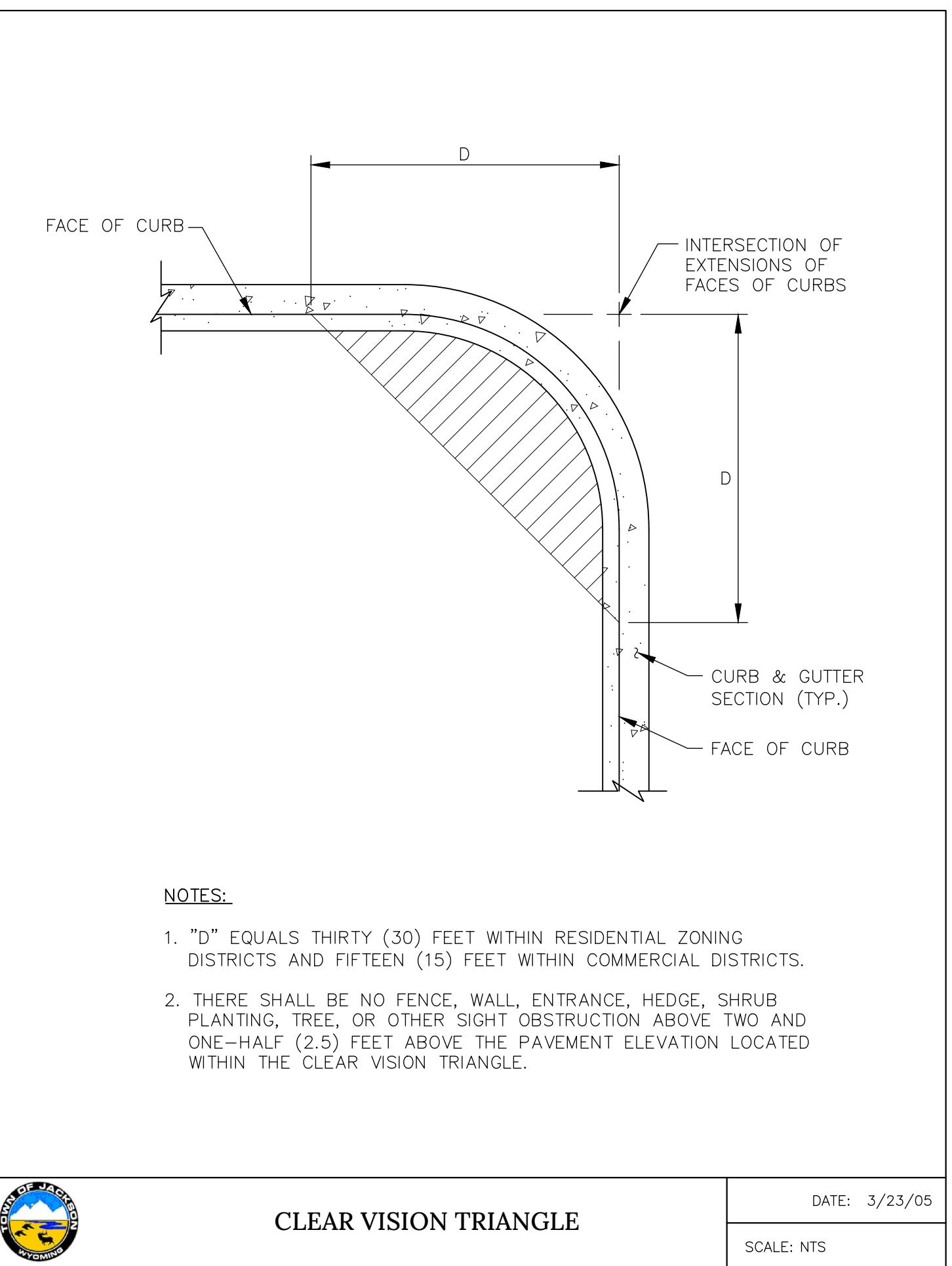


MERCILL PARTNERS, LLC MIXED-USE PROJECT 105 MERCILL AVENUE JACKSON, WY

7-14-20

C12

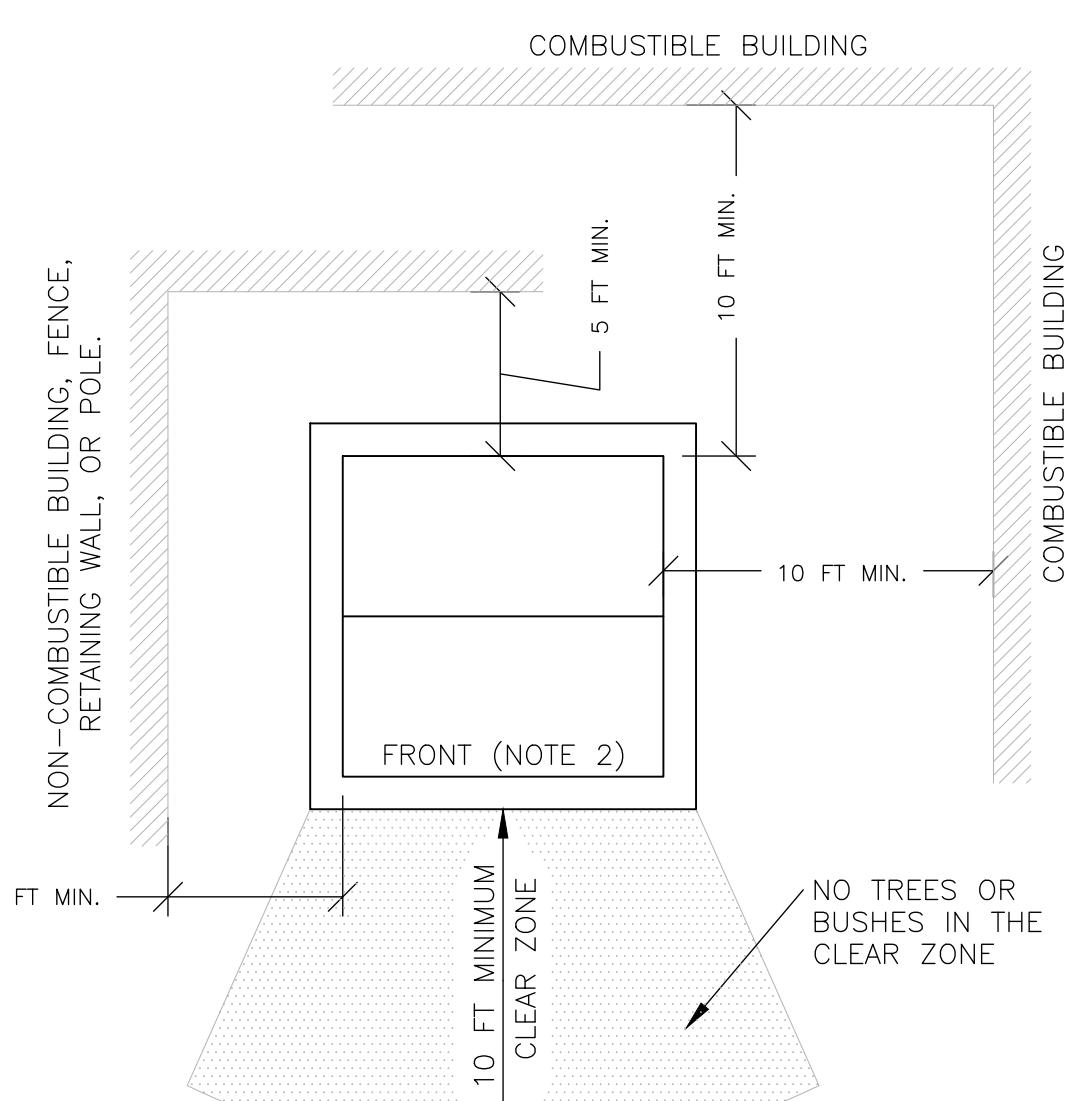
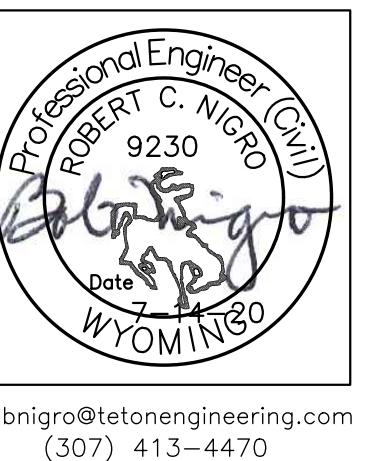
DETAILS



MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY

7-14-20

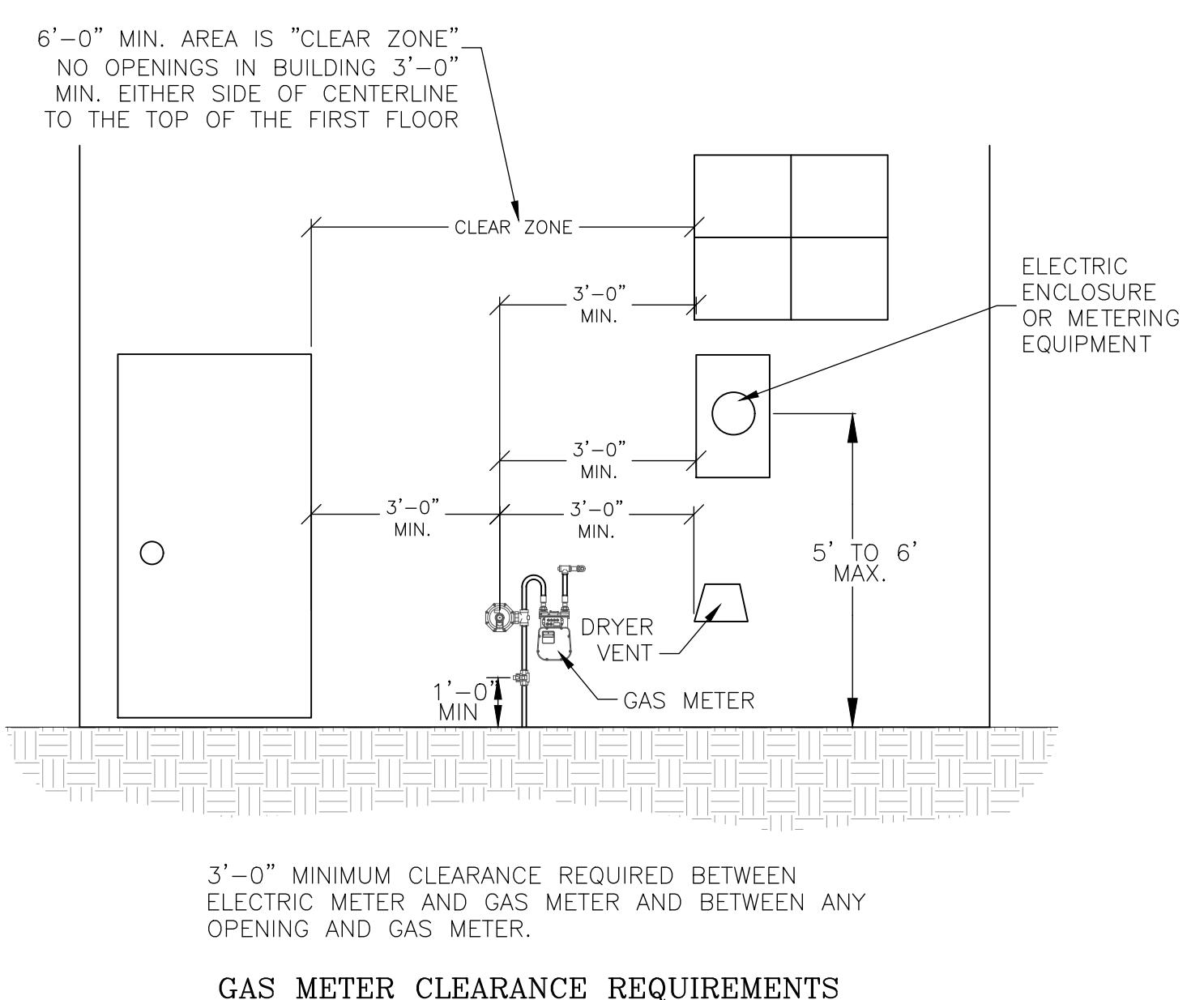
C13



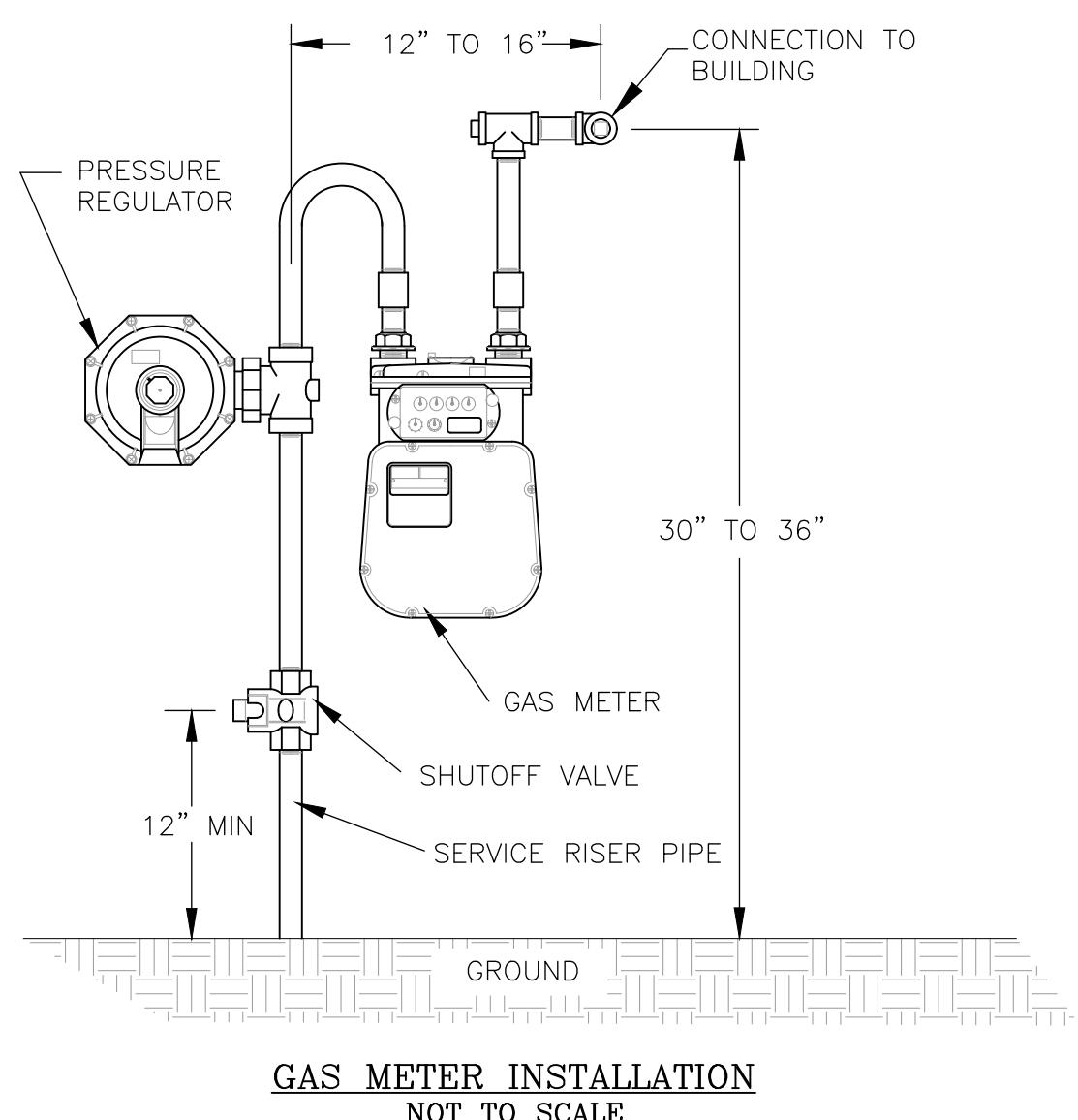
NOTES:

1. NO OBSTRUCTIONS ALLOWED OVER TRANSFORMER.
2. FRONT OF TRANSFORMER (IDENTIFY BY LV ENERGY TRANSFORMER NUMBER, LOCKING DEVICE AND "KEEP CLEAR" 10" STICKER.)
3. TRANSFORMER MUST BE BETWEEN 10 FT AND 100 FT FROM METER.

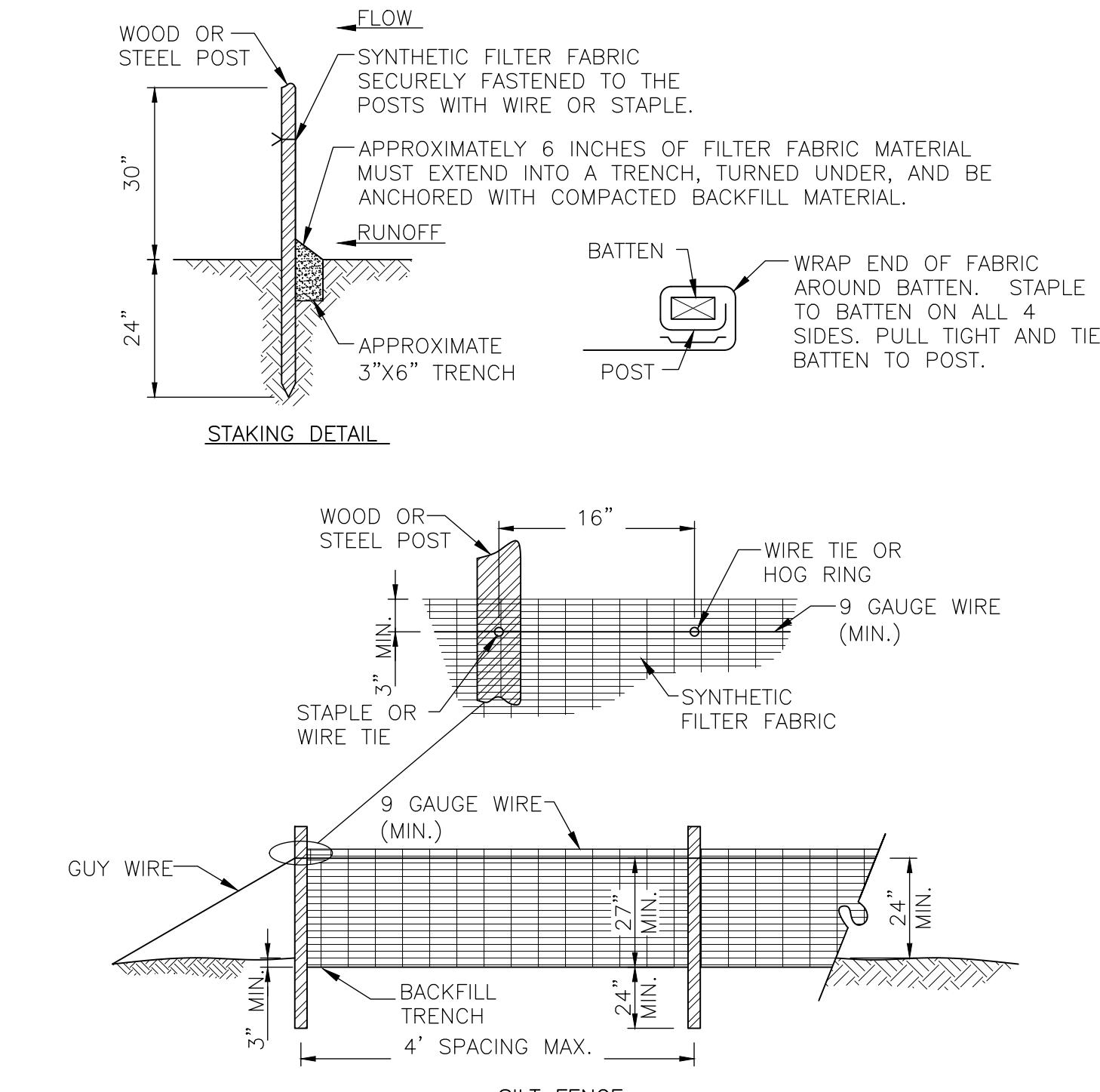
TRANSFORMER MINIMUM CLEARANCE REQUIREMENTS
(NOT TO SCALE)



GAS METER CLEARANCE REQUIREMENTS
NOT TO SCALE

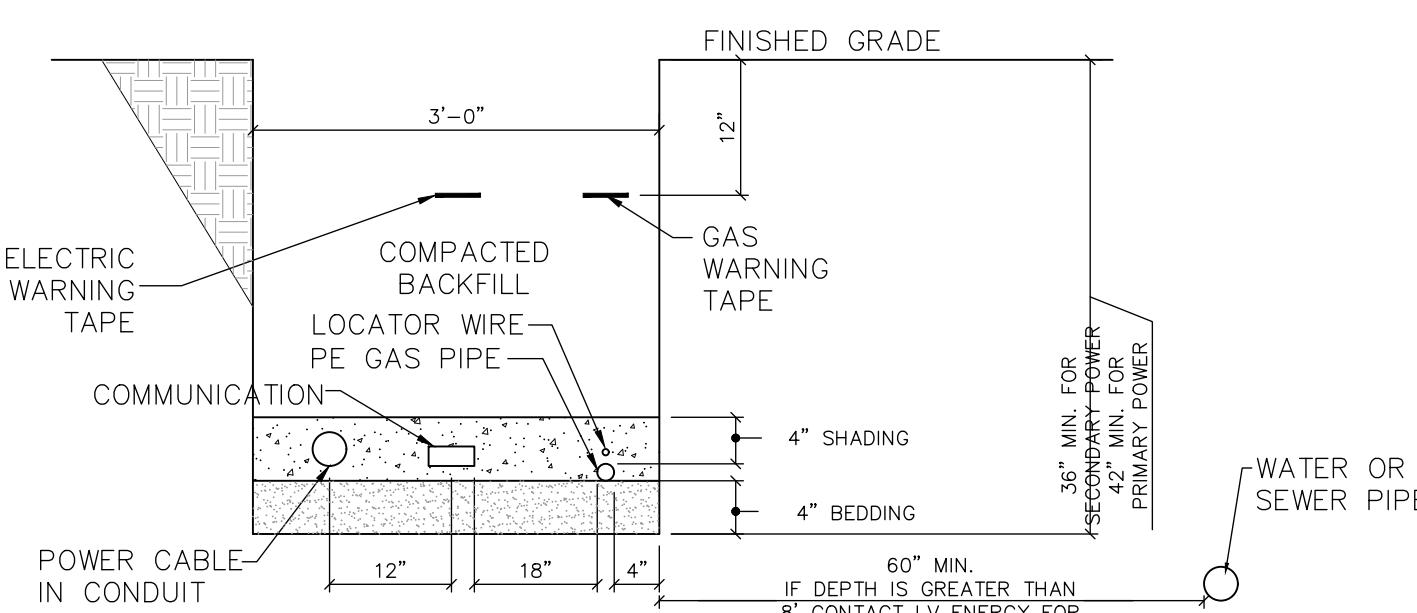


GAS METER INSTALLATION
NOT TO SCALE



NOTE:
TIE WIRES TO LAP FOR LONG FENCES AND TO BE GUYED TO GROUND WITH 24"X2"X2" HARDWOOD STAKE OR TO POST BOTTOM EVERY 4 SPANS.

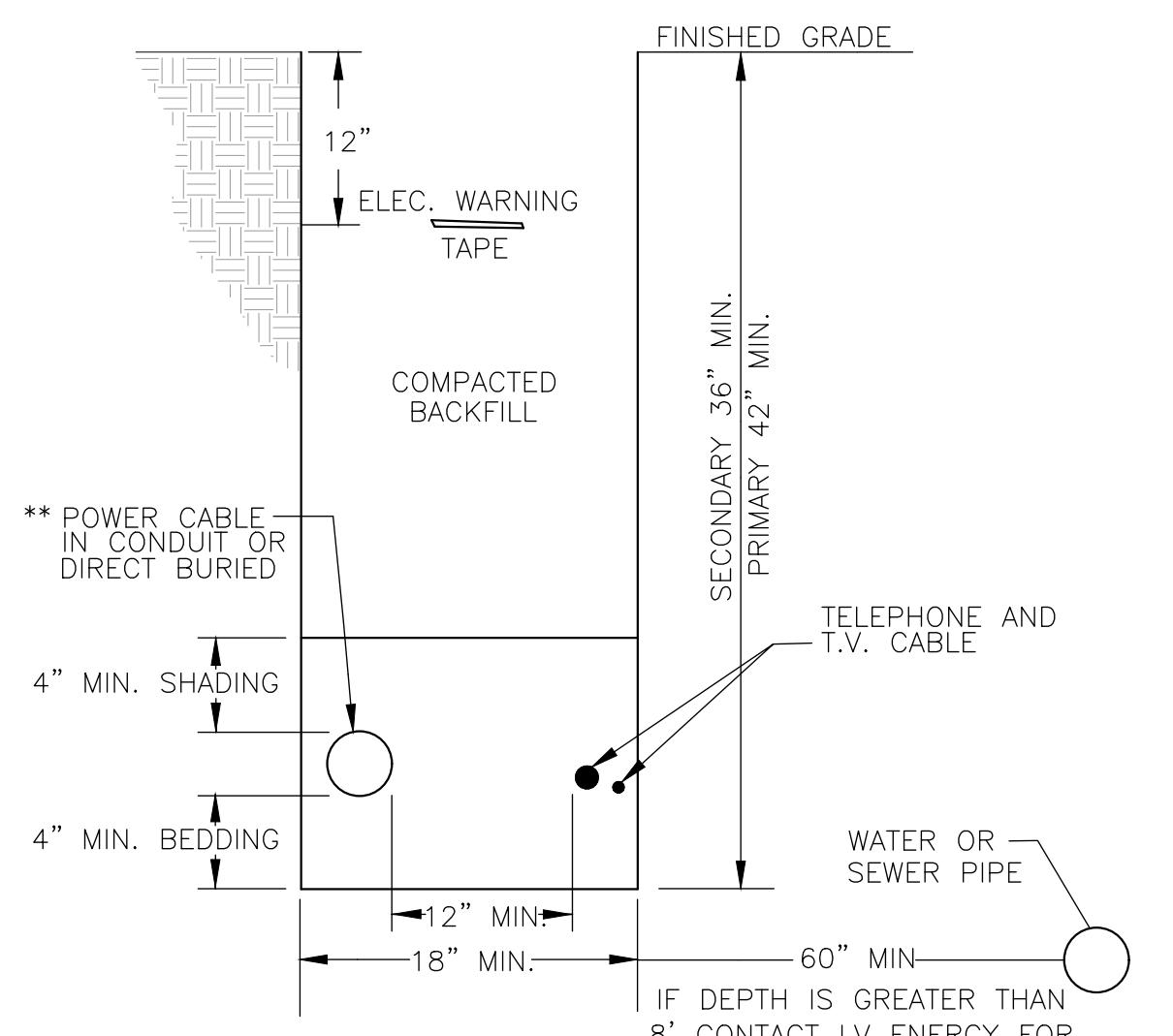
SILT FENCE DETAIL
NOT TO SCALE



NOTES:

1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
2. CONSUMER INSTALLED CONDUIT MUST BE INSPECTED BY LOWER VALLEY ENERGY PERSONNEL PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
3. ALL TRENCHES ARE TO BE INSPECTED BY LOWER VALLEY ENERGY PERSONNEL PRIOR TO BACKFILLING.
4. 18" SEPARATION MUST BE OBTAINED BETWEEN PE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
5. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAN RECOMMENDED).
6. IF POSSIBLE GAS AND POWER SHOULD OCCUPY OPPOSITE SIDES OF THE TRENCH WITH TELEPHONE AND CABLE, ETC. IN THE CENTER.

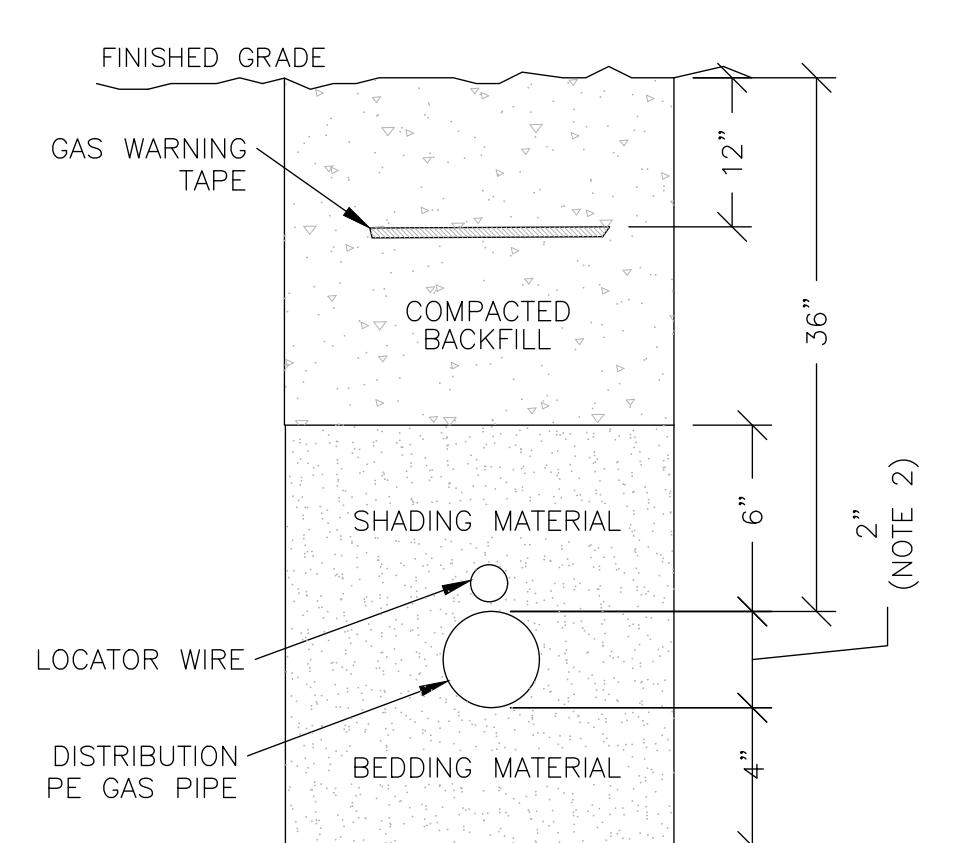
ELECTRICAL, GAS, CABLE T.V., TEL. UTILITY TRENCH DETAIL
NOT TO SCALE



NOTES:

1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR GAS PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
2. CONSUMER INSTALLED CONDUIT MUST BE INSPECTED BY LV ENERGY PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
3. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
4. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAN RECOMMENDED).

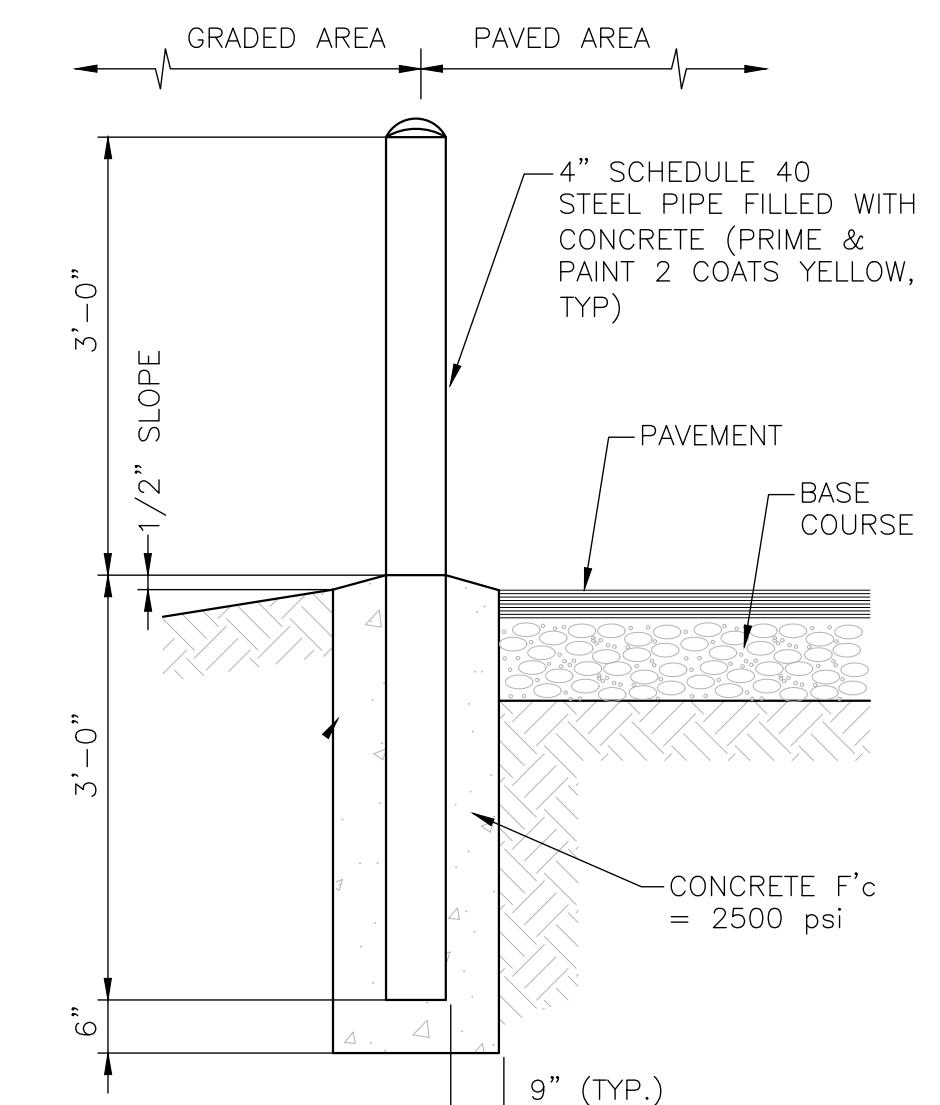
ELECTRIC TRENCH DETAIL W/O NATURAL GAS
NOT TO SCALE



NOTES:

1. BEDDING & SHADING MATERIAL SHALL BE SMOOTH, FREE OF ROCKS AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAN RECOMMENDED).
2. GAS PIPE DIA WILL VARY DEPENDING ON APPLICATION

NATURAL GAS / PROPANE TRENCH DETAIL
NOT TO SCALE

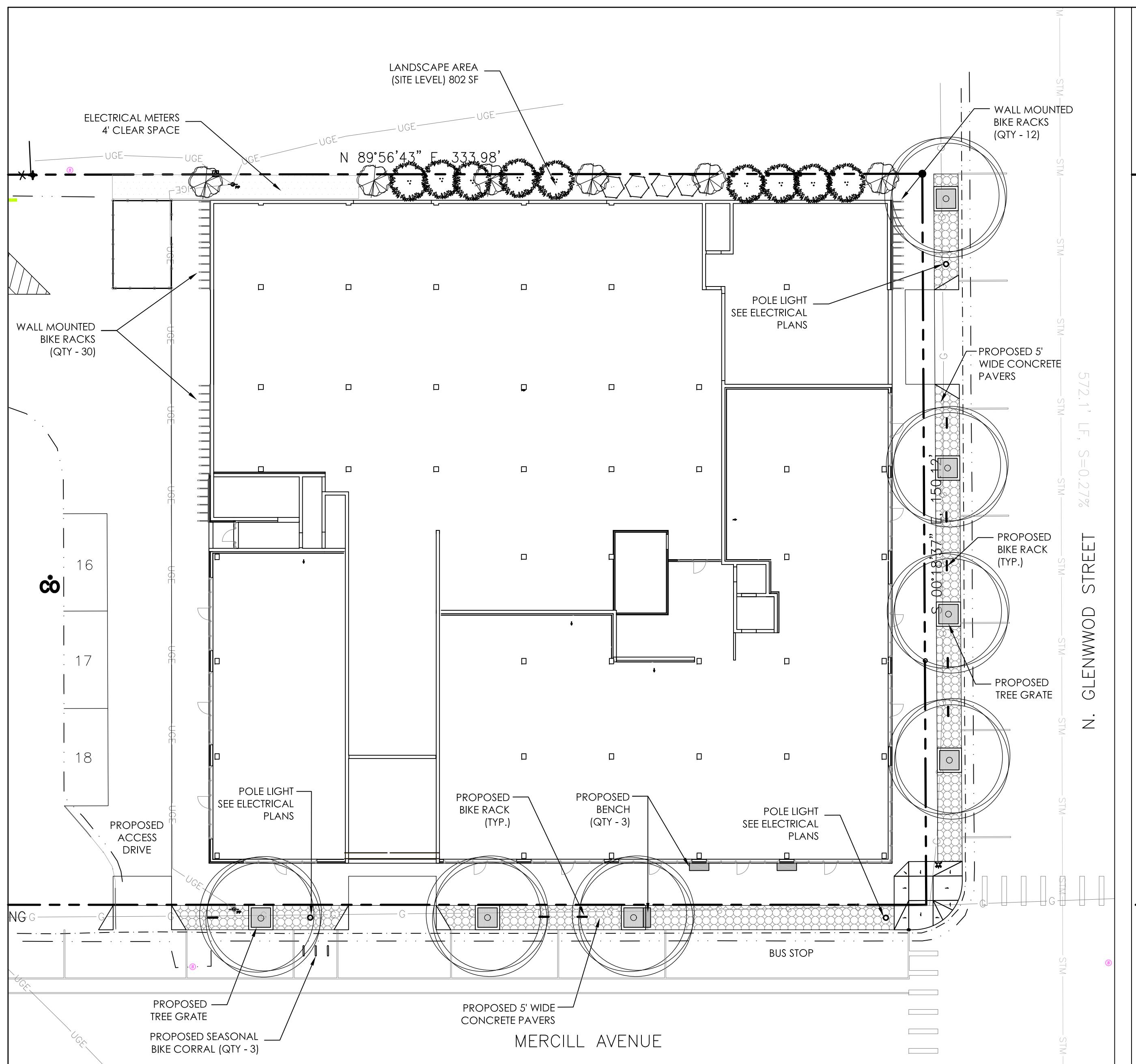


BOLLARD DETAIL
NOT TO SCALE

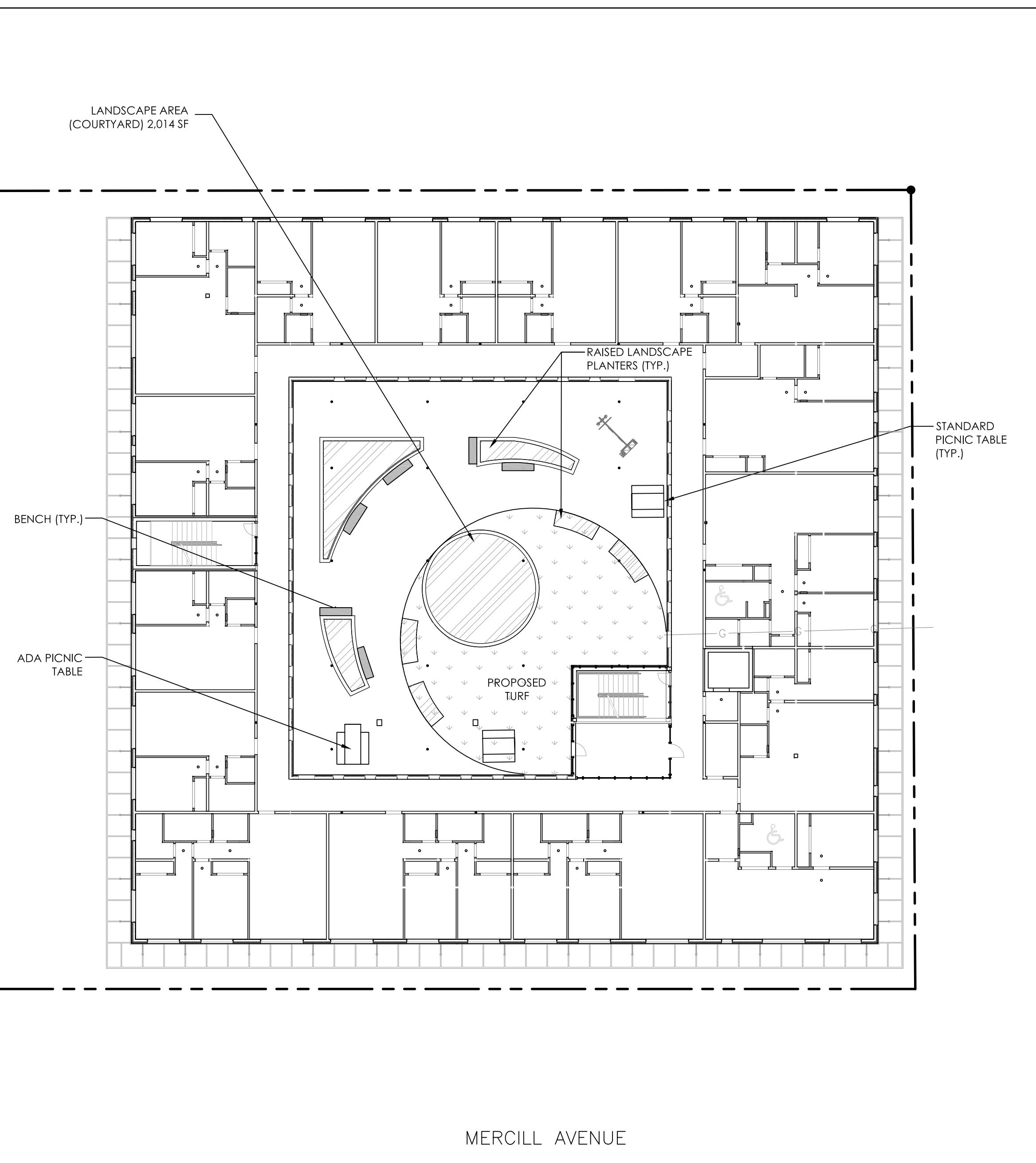
MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY

7-14-20

C14



SITE PLAN



SECOND FLOOR PLAN

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	NOTES
DECIDUOUS TREES					
○	Fraxinus pennsylvanica 'Patmore'	Patmore Ash	3" CAL	7	B&B
○	Populus tremula 'Erecta'	Columnar Aspen	3" CAL	6	B&B
SHRUBS					
○	Amelanchier alnifolia	Serviceberry	6' H	9	
○	Symporicarpos albus	Common snowberry	#5	4	
GROUNDCOVERS / GRASSES / PERENNIALS					
○	TBD - 712 SF (UPPER LEVEL)				
○	SYNTHETIC TURF TBD - 1,355 SF				
○	FESCUE SOD - 250 SF				

PLANTING NOTES

1. All landscaping shall be in place prior to occupancy or within one year of occupancy.
2. Confirm all plant counts and square footages; quantities shown are provided as owner information only. If quantities indicated in the plant list differ from symbols shown on the plans, then the plans shall govern the plant count.
3. The landscape architect shall review all plant materials at the source or nursery - or by photographs - prior to digging trees or shipping plant materials. The landscape architect reserves the right to reject any unacceptable plant material either at the source or when delivered to the project site.
4. Carefully align and space plant materials as indicated in these notes, drawings and details.
5. All plants shall be planted at the same level with relation to finish grade as they were grown in the field or nursery.
6. Obtain approval of finish grading from landscape architect prior to installing any plant material. The finish grades of planting areas and lawns shall be 1 1/2 inches below adjacent edging or paving.
7. The final location of plant materials is to be approved by the landscape architect on site prior to installation. The contractor is responsible for staking or marking the location of all plant materials on site for review by the landscape architect. The landscape architect reserves the right to adjust the exact locations of plants on site.
8. Refer to civil engineer's utility and grading plans. If site conditions vary from what is shown, contact the landscape architect and civil engineer for direction before proceeding.
9. Verify locations and timing of site improvements installed under other sections. If any part of the work cannot be completed due to site conditions, contact the landscape architect.
10. Excavation near underground utilities shall be done carefully and, if necessary, by hand. The contractor is fully responsible for this work and any disruption to utilities or damage to the site and/or improvements shall be repaired immediately at no expense to the owner.
11. Do not perform any pruning of existing or newly planted trees or shrubs without the direction and approval of the landscape architect.
12. For ball & burlap trees, remove burlap from top 1/3 of rootball once trees are fully planted, unless directed otherwise by nursery.
13. The landscape architect shall review and reserves the right to reject the method and/or installation of tree staking and guying systems prior to acceptance.
14. Seed shall be sown in the fall after October 15 or in the spring before May 15th. Uniformly distribute seed at the rate indicated. Thoroughly rake seed to incorporate seed into topsoil. All seed shall be certified and comply with the Wyoming Seed Law. See revegetation specification.
15. The irrigation system shall be operational prior to plant installation, or temporary irrigation measures shall be provided in the interim. The method of temporary irrigation shall be approved by the landscape architect prior to installing any plant material.
16. All trees and shrubs shall be drip irrigated. All disturbed areas shall be spray irrigated including lawn, native grass areas, and perennial beds.
17. All plant material shall be irrigated for a minimum of 2 years until establishment.
18. All plant material shall be irrigated for a minimum of 2 years until establishment.
19. All landscaping shall be regularly maintained by the landowner including the control of noxious weeds.

LEGEND

PROPERTY LINE
FLOWLINE
EDGE OF PAVEMENT
EXISTING BIKE LANE
PROPOSED CONCRETE PAVERS
PROPOSED BENCH
PROPOSED BIKE RACK
PROPOSED TREE GRATE
PROPOSED PICNIC TABLE

GENERAL NOTES

Zoning: CR-2
Base Site Area: 0.574 AC (25.005 SF)
LSR Required 0.10: 2,501 SF
LSR Proposed: 2,816 SF

1. Existing trees on site to be removed for development.

PLANT UNIT CALCULATION

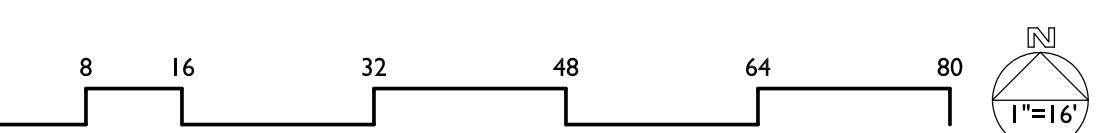
Summary of plant unit (PU) requirements:
1 PU per 12 parking spaces: N/A
1 PU per 1000 SF of required LSR: 2,501/1,000 = 2.5 PU
Total required plant units: 3 PLANT UNITS
Average value of one (1) plant unit: \$2,400 x 3 = \$7,200
Average cost to irrigate one (1) plant unit: \$2,100 x 3 = \$6,350
Total cost of three (3) plant unit w irrigation: \$13,500
Total cost x 125% Bond: \$16,875

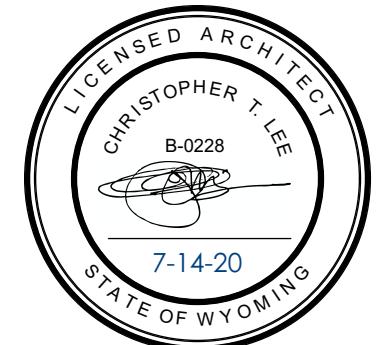
1. The objective of the proposed landscape plan is to soften the architectural elevations from the surrounding neighborhood where possible. Proposed plantings along the north property line are located to screen and soften the elevation.
2. The proposed plant material on site with the addition street trees, benches, and bike racks in the ROW will exceed the monetary equivalent of the three (3) plant unit requirement for the site. Wall mounted bike racks on the street level, as well as courtyard planters on the second level are additional plant unit substitutions for the site.
3. All landscaping will comply with Division 5.5 of Teton County LDR's.

ISSUE PERMIT	DATE 7/14/2020

LANDSCAPE PLAN

L1.0





REVISION HISTORY	SYMB	CHANGE	DATE
1	CONCEPTUAL		5-23-19
2	CONCEPTUAL UPDATE		6-21-19
3	CONCEPTUAL UPDATE		6-26-19
4	CONCEPTUAL UPDATE		7-8-19
5	CONCEPTUAL UPDATE		7-11-19
6	CONCEPTUAL UPDATE		7-22-19
7	CONCEPTUAL UPDATE		7-24-19
8	CONCEPTUAL UPDATE		8-25-19
9	DRC SUBMITTAL		11-6-19
10	PRE-APP SUBMITTAL		11-15-19
11	DRC SUBMITTAL		4-1-20
12	DRC RESUBMITTAL		6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT

105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

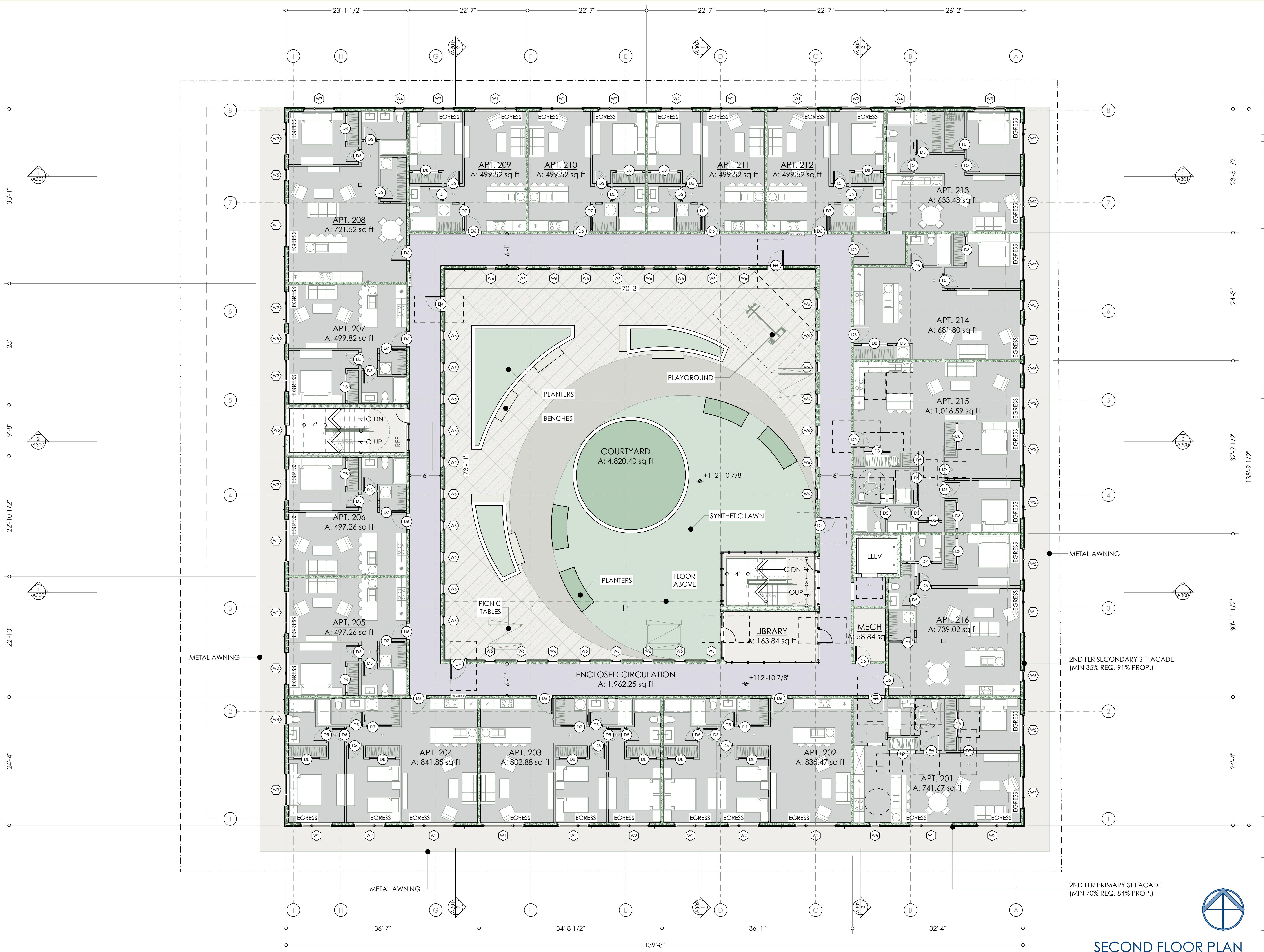
A202

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN





DESIGN ASSOCIATES ARCHITECTS
105 KING ST, STE 201 JACKSON WY
(307) 733-3600

www.dajh.co
PROJECT NO.: 19-08 ARCHITECT: CTL
2019 DESIGN ASSOCIATES ARCHITECTS

ED ARD

WHITE CENSUS

CHRISTIAN T. LEE

A circular Wyoming state seal. The outer ring contains the words "THE GREAT SEAL OF THE STATE OF WYOMING". Inside, there is a shield with a bison, a plow, and a sheaf of wheat, surrounded by a border of stars. A signature is written across the center of the seal.

VISION HISTORY		
MB	CHANGE	DATE
	CONCEPTUAL	5-23-19
	CONCEPTUAL UPDATE	6-21-19
	CONCEPTUAL UPDATE	6-26-19
	CONCEPTUAL UPDATE	7-8-19
	CONCEPTUAL UPDATE	7-11-19
	CONCEPTUAL UPDATE	7-22-19
	CONCEPTUAL UPDATE	7-24-19
	CONCEPTUAL UPDATE	9-25-19
	DRC SUBMITTAL	11-6-19
0	PRE-APP SUBMITTAL	11-15-19
1	DRC SUBMITTAL	4-1-20
2	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT

PERMIT SET
7-14-20

A250C



LOWER PARKING FRAMING PLAN

SCALE: 1/4" = 1'-0"

LOWER PARKING FRAMING PLAN

REVISION HISTORY		
SYMB	CHANGE	DATE
1	CONCEPTUAL	5-23-19
2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
4	CONCEPTUAL UPDATE	7-8-19
5	CONCEPTUAL UPDATE	7-11-19
6	CONCEPTUAL UPDATE	7-22-19
7	CONCEPTUAL UPDATE	7-24-19
8	CONCEPTUAL UPDATE	9-25-19
9	DRC SUBMITTAL	11-6-19
10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

A251C

FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR FRAMING PLAN



REVISION HISTORY	SYMB	CHANGE	DATE
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2	CONCEPTUAL UPDATE		6-21-19
3	CONCEPTUAL UPDATE		6-26-19
4	CONCEPTUAL UPDATE		7-8-19
5	CONCEPTUAL UPDATE		7-11-19
6	CONCEPTUAL UPDATE		7-22-19
7	CONCEPTUAL UPDATE		7-24-19
8	CONCEPTUAL UPDATE		9-25-19
9	DRC SUBMITTAL		11-6-19
10	PRE-APP SUBMITTAL		11-15-19
11	DRC SUBMITTAL		4-1-20
12	DRC RESUBMITTAL		6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

A252A

SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

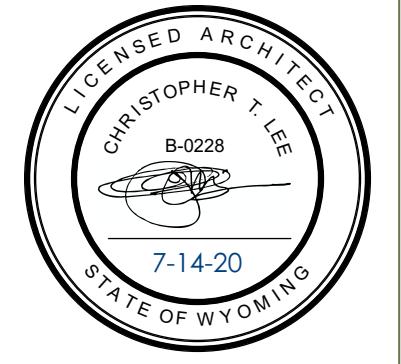
SECOND FLOOR
FRAMING PLAN





DESIGN ASSOCIATES ARCHITECTS
50 S KING ST, STE 201 JACKSON WY
(O) 307 733 3600

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PROJECT NO: 19-08 ARCHITECT: CIL
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REVISION HISTORY		
SYMB	CHANGE	DATE
1	CONCEPTUAL	5-23-19
2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
4	CONCEPTUAL UPDATE	7-8-19
5	CONCEPTUAL UPDATE	7-11-19
6	CONCEPTUAL UPDATE	7-22-19
7	CONCEPTUAL UPDATE	7-24-19
8	CONCEPTUAL UPDATE	7-25-19
9	DRC SUBMITTAL	11-6-19
10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

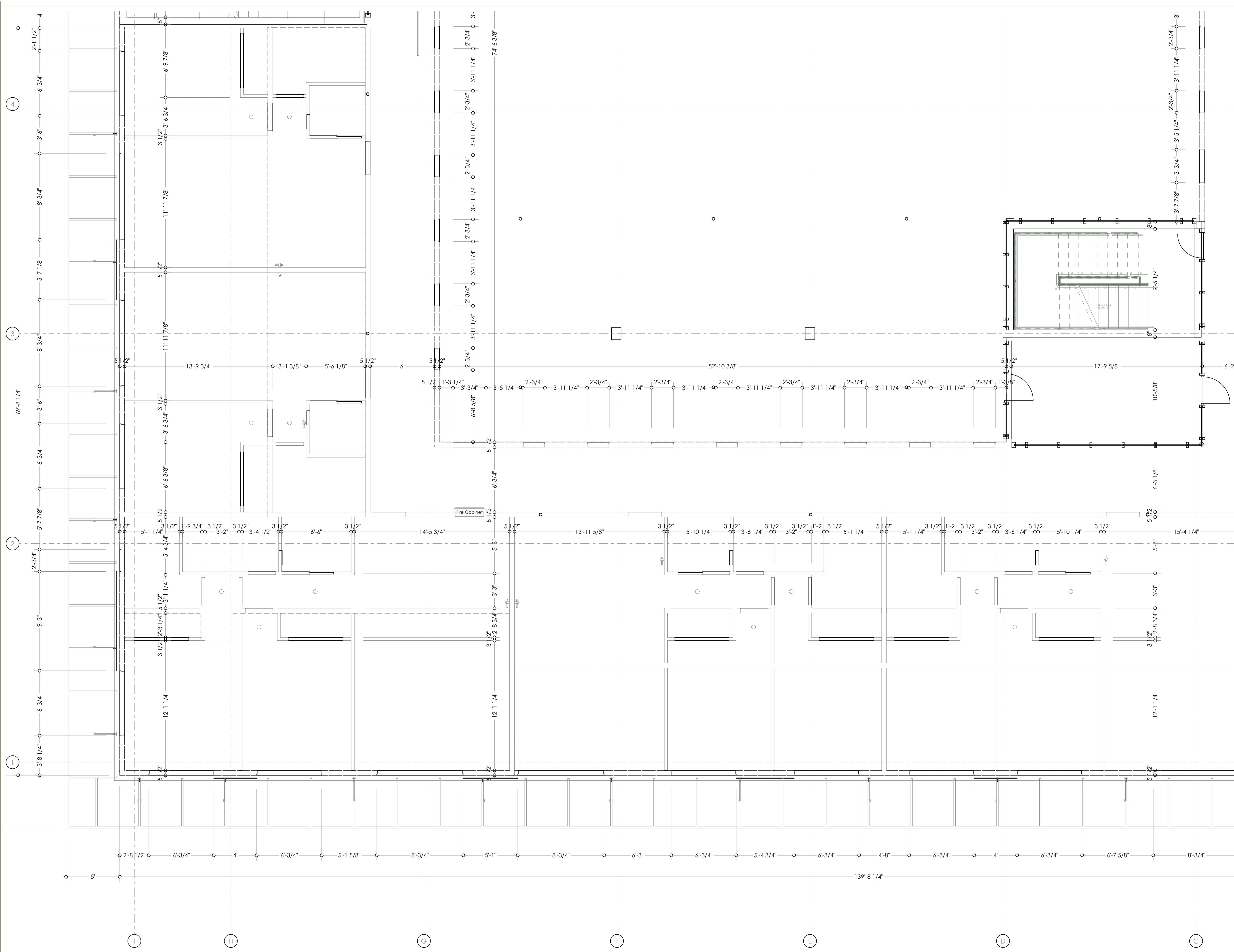
MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

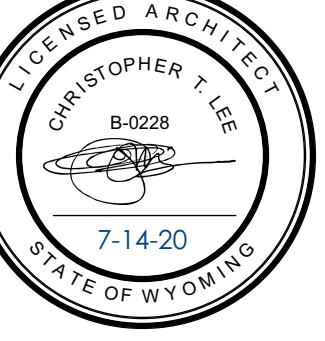
A252C

SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN



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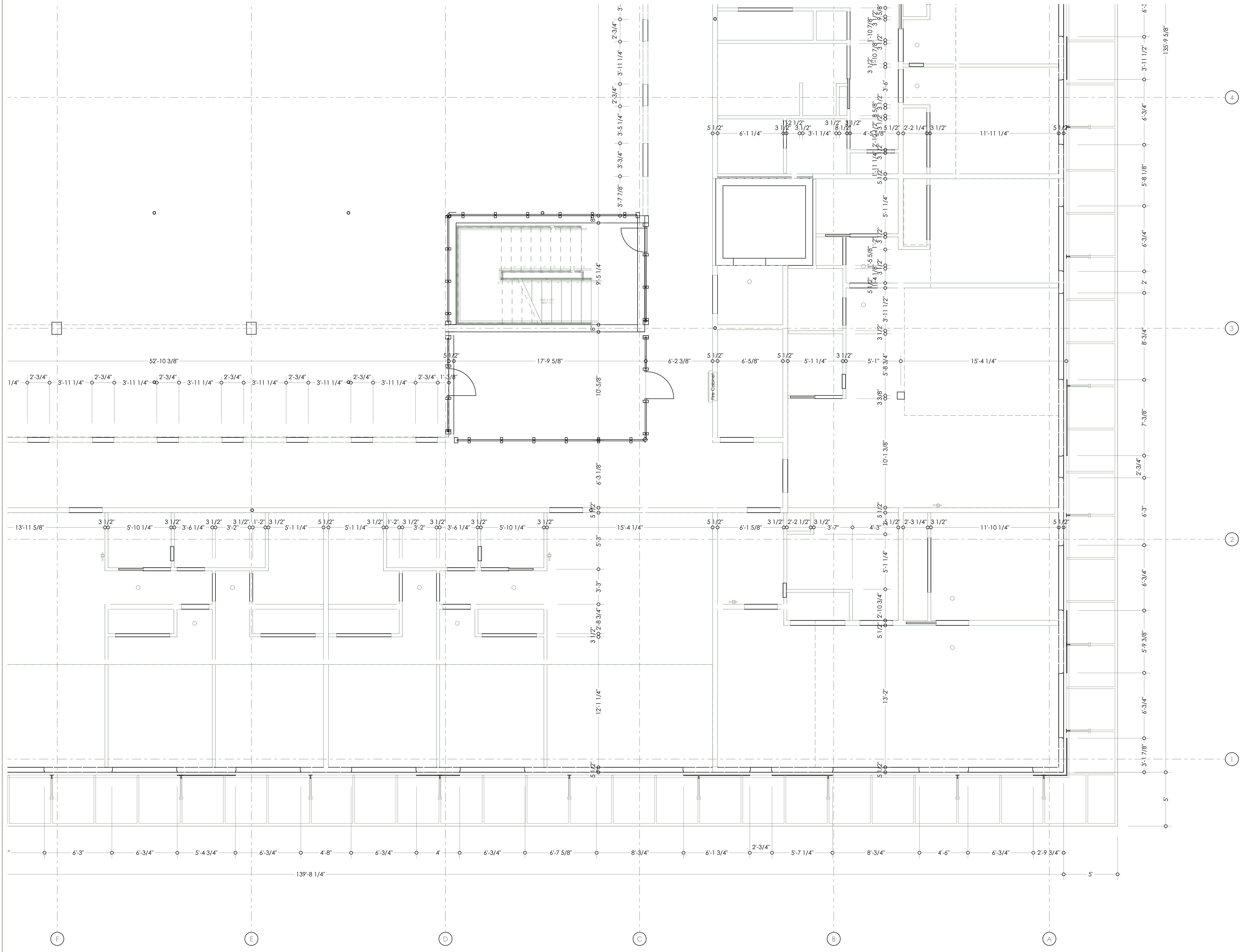
PERMIT SET
7-14-20

A252D

SECOND FLOOR
FRAMING PLAN

SCALE: 1/4" = 1'-0"

SECOND FLOOR
FRAMING PLAN



REVISION HISTORY		
SYMB	CHANGE	DATE
1	CONCEPTUAL	5-23-19
2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
4	CONCEPTUAL UPDATE	7-8-19
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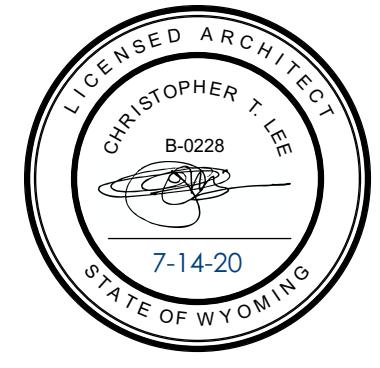
MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

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7-14-20

A253A

THIRD FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

THIRD FLOOR
FRAMING PLAN



REVISION HISTORY		
SYMB	CHANGE	DATE
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2	CONCEPTUAL UPDATE	6-21-19
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11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
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7-14-20

A253B

THIRD FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

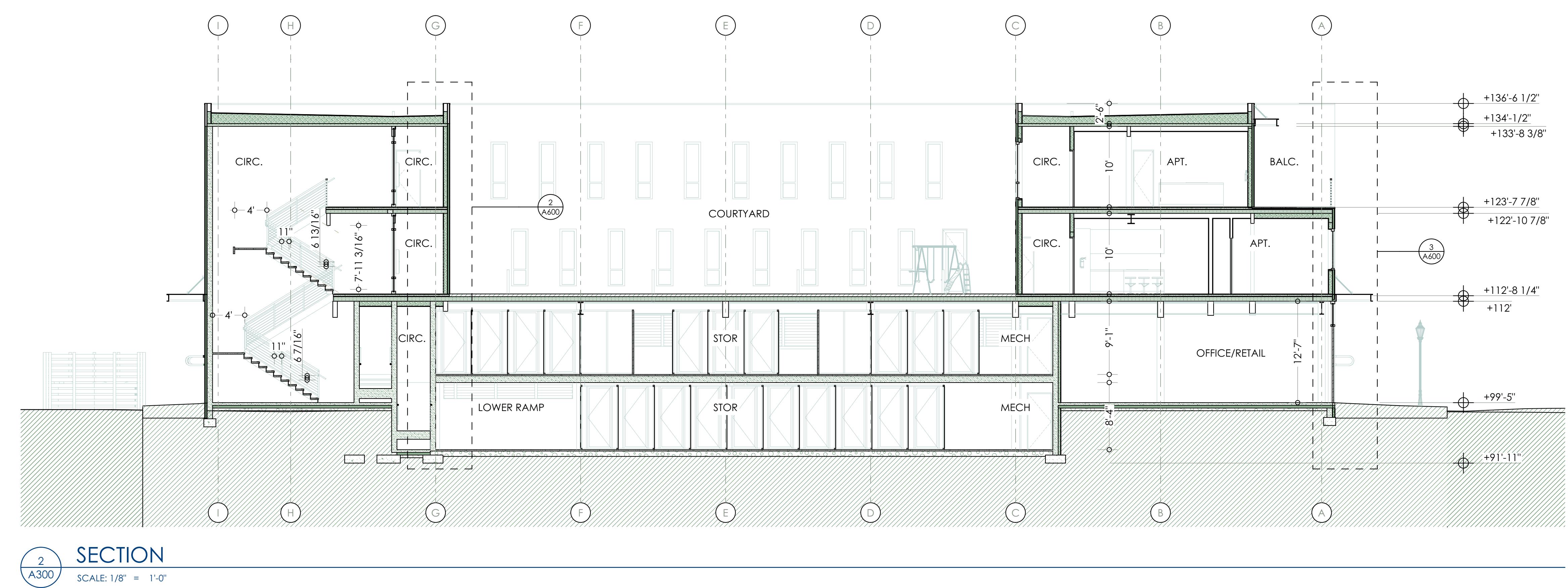
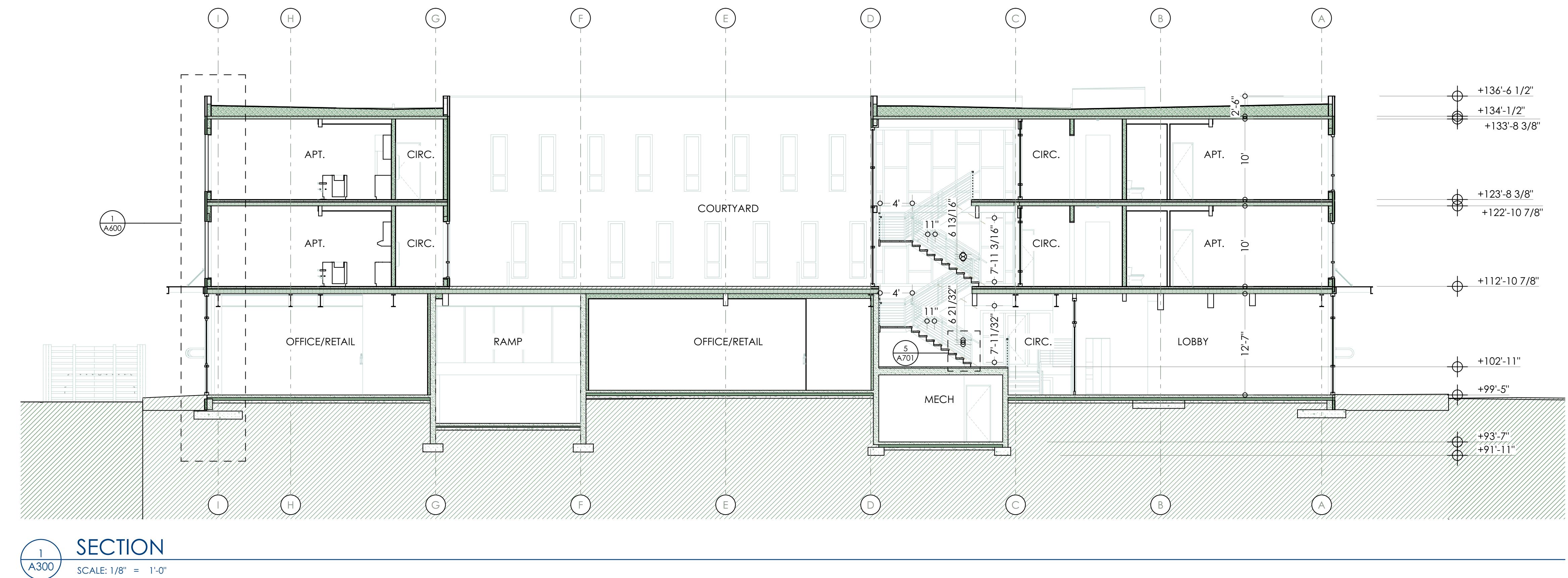
THIRD FLOOR FRAMING PLAN

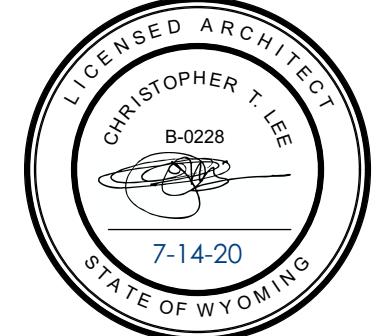




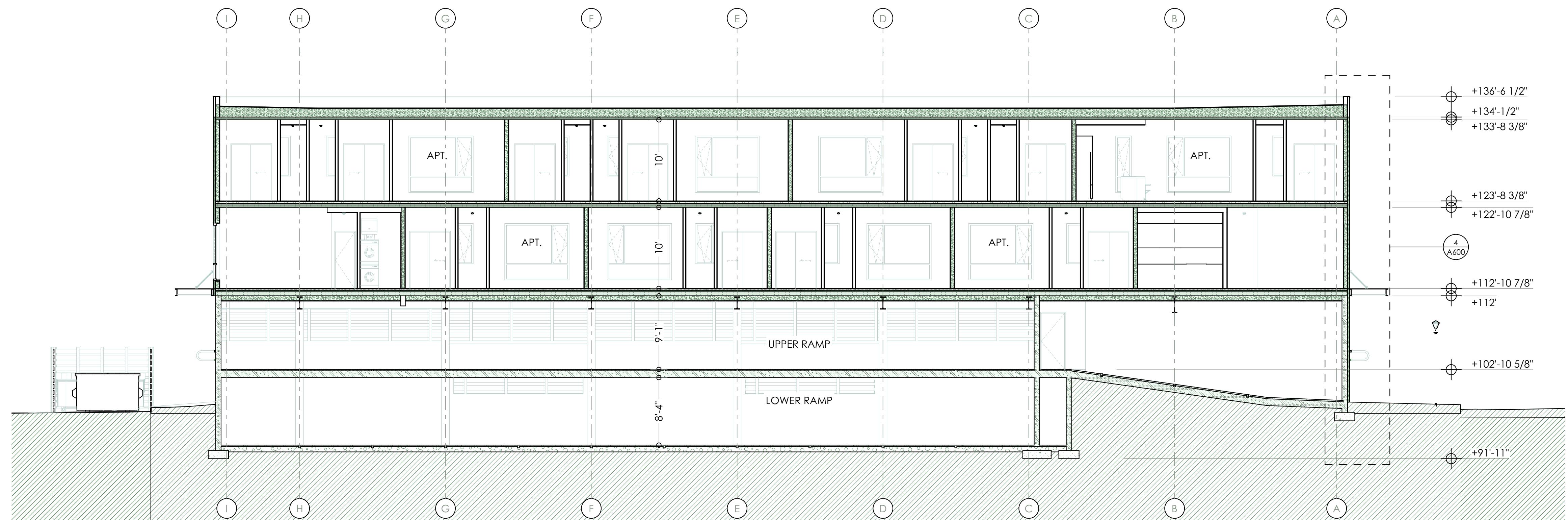
THIRD FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



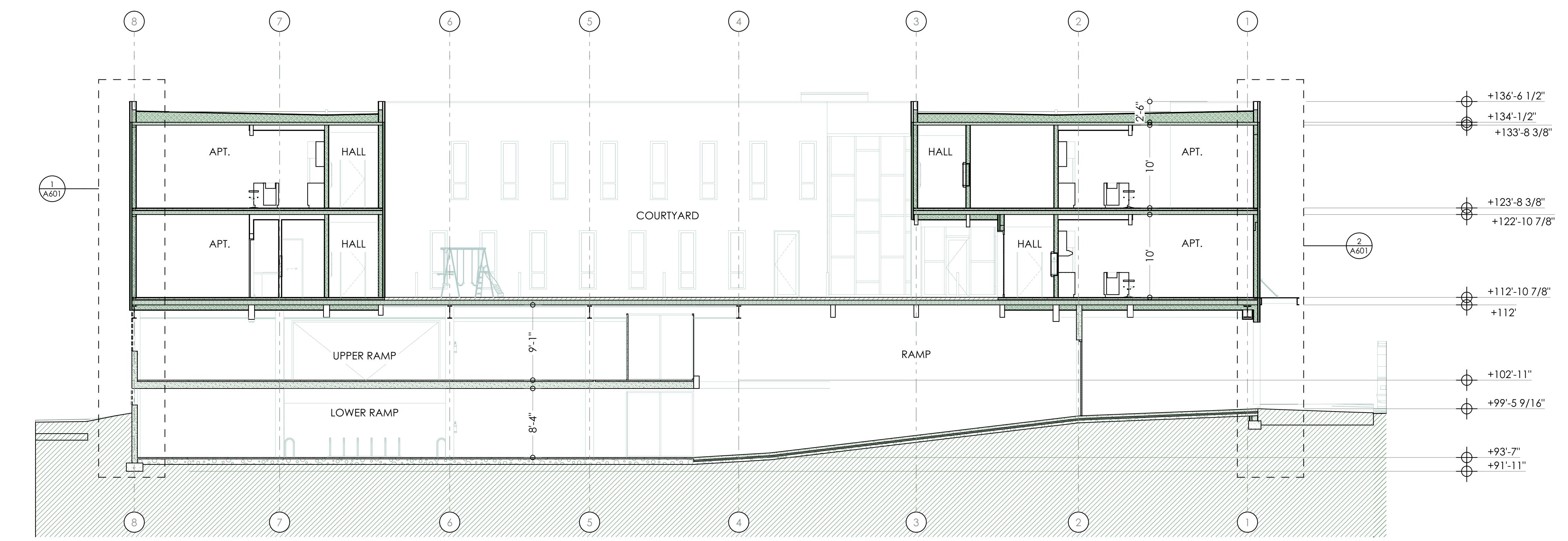


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11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20



SECTION
A301

SCALE: 1/8" = 1'-0"



SECTION
A301

SCALE: 1/8" = 1'-0"

MERCILL PARTNERS LLC
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105 MERCILL AVE JACKSON, WY

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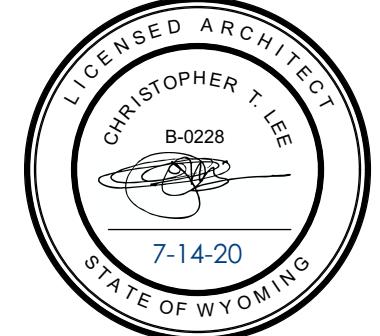
A301

SECTIONS

da

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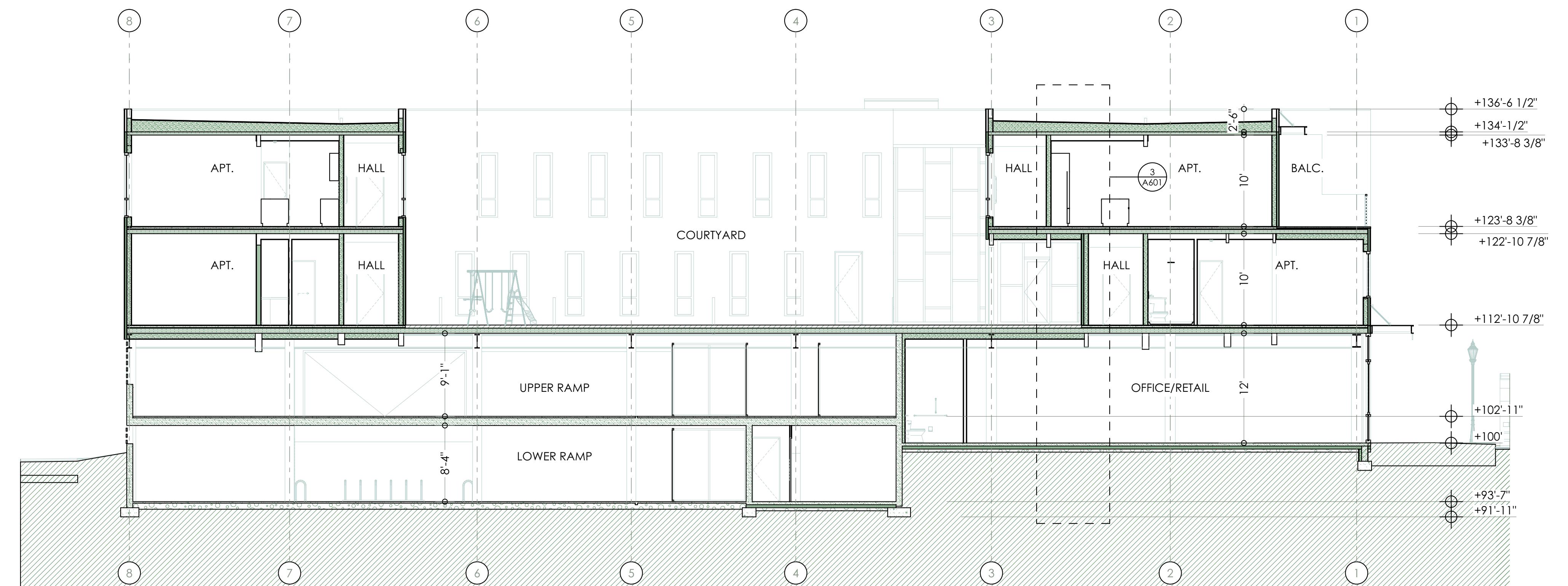
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MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

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7-14-20

A302

SECTIONS



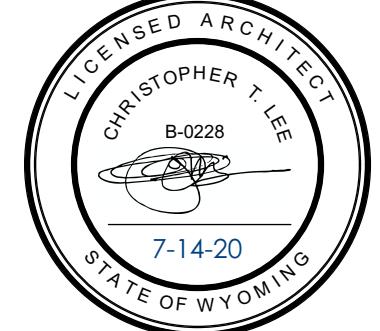
SECTION
1
A302

SCALE: 1/8" = 1'-0"



SECTION
2
A302

SCALE: 1/8" = 1'-0"

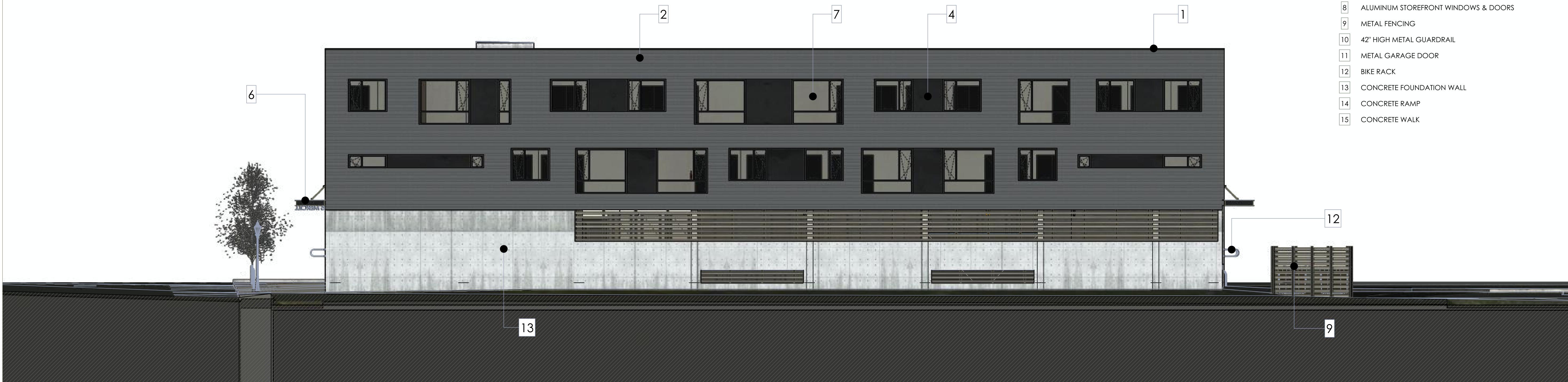


ELEVATION NOTES

- 1 METAL FLASHING
- 2 METAL SIDING
- 3 FIBER CEMENT SIDING
- 4 SHEET METAL SIDING
- 5 CONCRETE SIDING
- 6 METAL AWNING
- 7 ALUMINUM CLAD WOOD WINDOWS & DOORS
- 8 ALUMINUM STOREFRONT WINDOWS & DOORS
- 9 METAL FENCING
- 10 42" HIGH METAL GUARDRAIL
- 11 METAL GARAGE DOOR
- 12 BIKE RACK
- 13 CONCRETE FOUNDATION WALL
- 14 CONCRETE RAMP
- 15 CONCRETE WALK

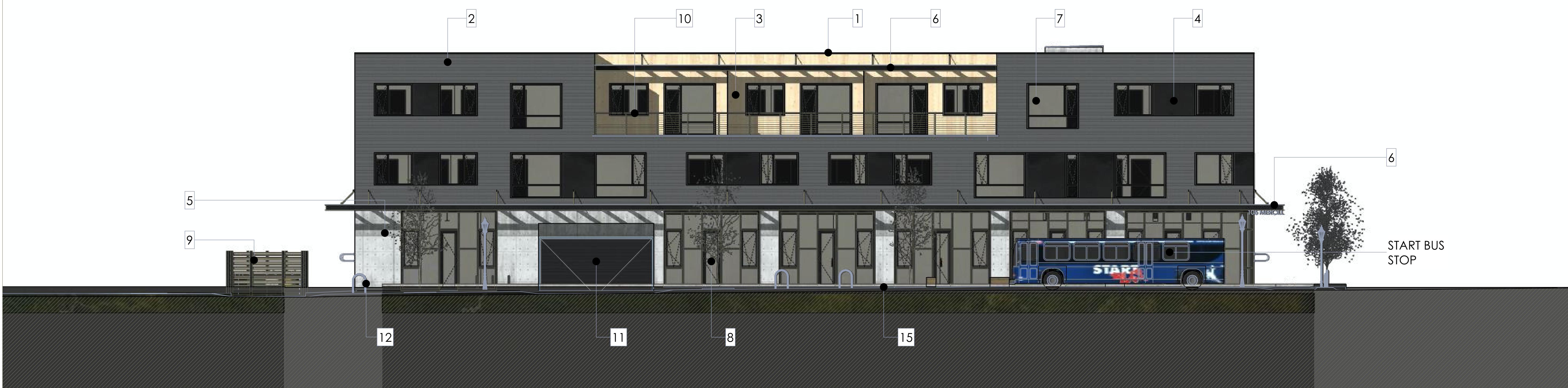
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12	DRC RESUBMITTAL	6-3-20



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

MERCILL PARTNERS LLC
MIXED-USE PROJECT

105 MERCILL AVE JACKSON, WY

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7-14-20

A400

ELEVATIONS



ELEVATION NOTES

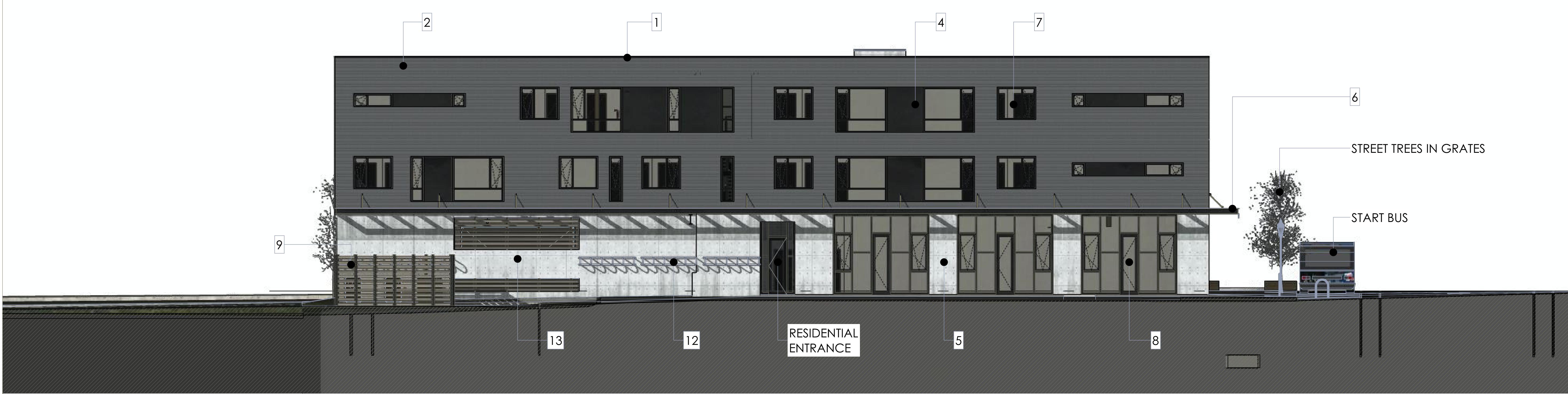
- 1 METAL FLASHING
- 2 METAL SIDING
- 3 FIBER CEMENT SIDING
- 4 SHEET METAL SIDING
- 5 CONCRETE SIDING
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- 15 CONCRETE WALK

REVISION HISTORY		
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12	DRC RESUBMITTAL	6-3-20



EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

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7-14-20

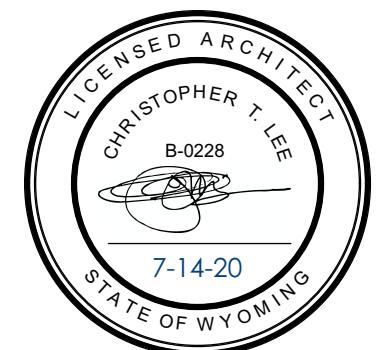
A401

ELEVATIONS

da

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ELEVATION NOTES

- 1 METAL FLASHING
- 2 METAL SIDING
- 3 FIBER CEMENT SIDING
- 4 SHEET METAL SIDING
- 5 CONCRETE SIDING
- 6 METAL AWNING
- 7 ALUMINUM CLAD WOOD WINDOWS & DOORS
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MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

A402

ELEVATIONS



NORTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



EAST COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



WEST COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



MERCILL PARTNERS LLC
 MIXED-USE PROJECT
 105 MERCILL AVE JACKSON, WY

PERMIT SET
 7-14-20

A500

SCHEDULES

WINDOW SCHEDULE								
UNIT	QTY	TYPE	UNIT SIZE	R.O. (W x H)	PLAN	ELEVATION	NOTES	SURFACE AREA
W1	22	TI LT TURN	7'-9 1/4" x 6'-11"	8'-3/4" x 7'-3/4"			TEMPERED	56.94
W2	46	TI LT TURN	5'-9 1/4" x 4'-11"	6'-3/4" x 5'-3/4"			EGRESS	30.69
W3	7	TI LT TURN	5'-9 1/4" x 1'-11"	6'-3/4" x 2'-3/4"				12.50
W4	9	TI LT TURN	1'-9 1/4" x 1'-11"	2'-3/4" x 2'-3/4"				4.25
W5	10	TI LT TURN	1'-9 1/4" x 6'-11"	2'-3/4" x 7'-3/4"			TEMPERED	14.57
W6	71	FIXED	1'-9 1/4" x 6'-11"	2'-3/4" x 7'-3/4"			TEMPERED	14.57
W7	4	TI LT TURN	7'-9 1/4" x 7'-11"	8'-3/4" x 8'-3/4"			TEMPERED	65.00
4,230.34 sq ft								
169								

DOOR SCHEDULE									
UNIT	QTY	DOOR TYPE	UNIT SIZE	R.O. (W x H)	PLAN	ELEVATION	FIRE RATING	NOTES	
D1	1	INSWING	17'-10" x 9'-2"	17'-6" x 9'			N/A	157.50	
D2	1	INSWING	17'-10" x 7'-2"	17'-6" x 7'			N/A	122.50	
D3	2	OUTSWING	3' x 7'	3'-3/4" x 7'-3/4"			45 MIN	21.63	
D3	5	OUTSWING	3' x 7'	3'-3/4" x 7'-3/4"			90 MIN	21.63	
D3	5	OUTSWING	3' x 7'	3'-3/4" x 7'-3/4"			N/A	21.63	
D3	8	INSWING	3' x 7'	3'-3/4" x 7'-3/4"			N/A	21.63	
D4	4	OUTSWING	3' x 8'	3'-3/4" x 8'-3/4"			45 MIN	TEMPERED	24.69
D5	89	INSWING	2'-6" x 7'	2'-6 3/4" x 7'-3/4"			N/A	18.10	
D6	5	INSWING	3' x 7'	3'-3/4" x 7'-3/4"			N/A	21.63	
D6	30	INSWING	3' x 7'	3'-3/4" x 7'-3/4"			45 MIN	21.63	
D7	25	SLIDING	2'-6" x 7'	2'-6 3/4" x 7'-3/4"			N/A	18.10	
D8	40	SLIDING	5' x 7'	5'-3/4" x 7'-3/4"			N/A	35.75	
D9	3	SLIDING	3' x 7'	3'-3/4" x 7'-3/4"			N/A	21.63	
5,126.70 sq ft									
218									

CURTAIN WALL SCHEDULE								
UNIT	TYPE	LENGTH	# PANELS	FIRE RATING	NOTES	SURFACE AREA		
CW-00	INSWING; FIXED	6'	5	90 MIN	TEMPERED	44.50		
CW-01	OUTSWING; TI LT TURN	15'	12	N/A	TEMPERED	188.75		
CW-02	OUTSWING; TI LT TURN	15'	12	N/A	TEMPERED	188.75		
CW-03	OUTSWING; FIXED	15'	12	N/A	TEMPERED	188.75		
CW-04	OUTSWING; TI LT TURN	15'	12	N/A	TEMPERED	180.00		
CW-05	OUTSWING; TI LT TURN	40'	37	N/A	TEMPERED	475.24		
CW-06	OUTSWING; TI LT TURN	15'	12	N/A	TEMPERED	180.00		
CW-07	OUTSWING; TI LT TURN	15'	12	N/A	TEMPERED	180.00		
CW-08	OUTSWING; TI LT TURN	15'	12	N/A	TEMPERED	180.00		
CW-09	OUTSWING; TI LT TURN	15'	12	N/A	TEMPERED	180.00		
CW-10	OUTSWING; TI LT TURN	15'	12	N/A	TEMPERED	188.75		
CW-11	OUTSWING; TI LT TURN	15'	12	N/A	TEMPERED	188.75		
CW-12	OUTSWING; TI LT TURN	15'	12	N/A	TEMPERED	188.75		
CW-13	OUTSWING; TI LT TURN	15'	12	N/A	TEMPERED	188.75		
CW-14	OUTSWING; FIXED	5'	6	N/A	TEMPERED	64.13		
CW-15	OUTSWING; FIXED	4'	4	90 MIN	TEMPERED	52.87		
CW-16	INSWING; FIXED	9'	5	90 MIN	TEMPERED	63.00		
CW-17	OUTSWING; FIXED	6'	6	90 MIN	TEMPERED	67.38		
CW-18	INSWING; FIXED	9'	9	45 MIN	TEMPERED	85.26		
CW-19	FIXED	28'	52	N/A	TEMPERED	558.81		
CW-20	INSWING; FIXED	9'	10	90 MIN	TEMPERED	94.38		
CW-21	OUTSWING; FIXED	27'	27	45 MIN	TEMPERED	278.74		
CW-22	INSWING; FIXED	8'	7	90 MIN	TEMPERED	83.33		
CW-23	INSWING; FIXED	9'	10	90 MIN	TEMPERED	94.38		
CW-24	INSWING; FIXED	8'	7	90 MIN	TEMPERED	83.33		

4,266.60 sq ft

PERMIT SET
 7-14-20

A500

SCHEDULES

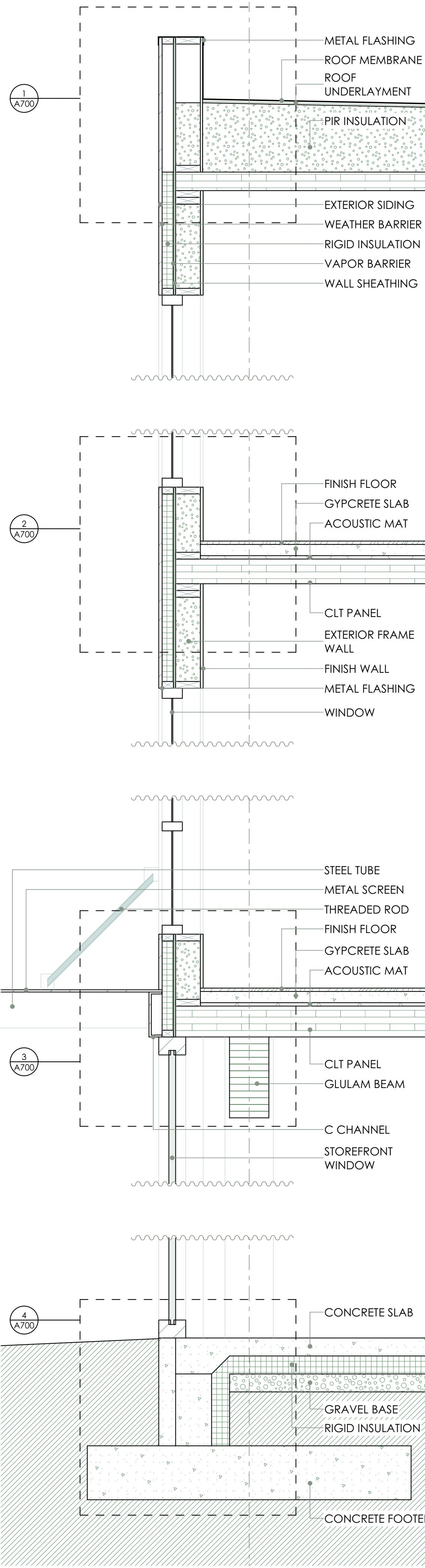
MERCILL PARTNERS LLC
MIXED-USE PROJECT

105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

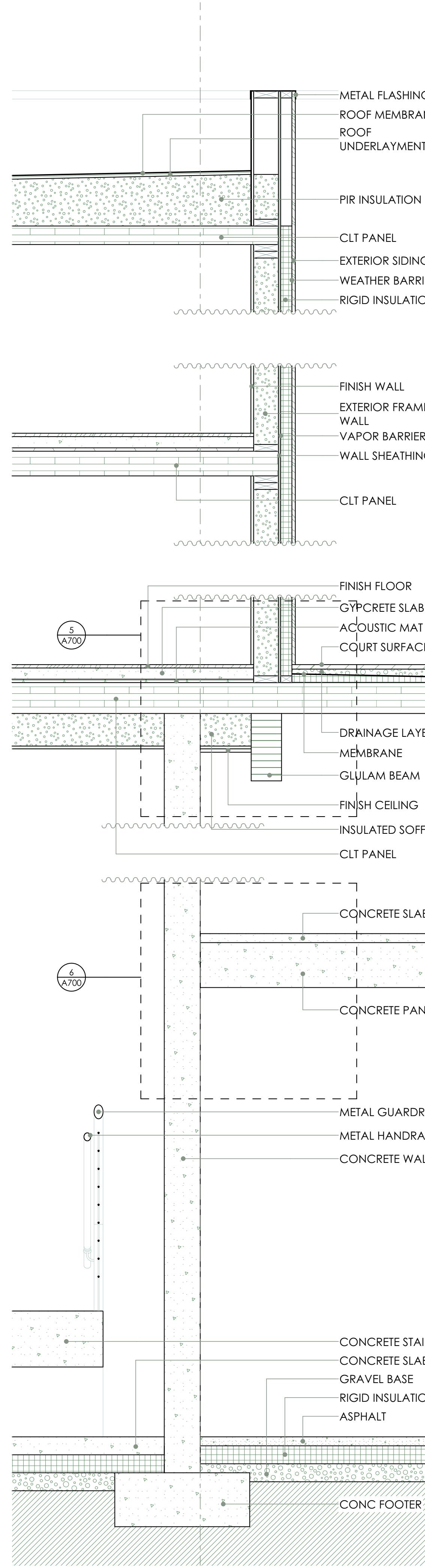
A600

WALL SECTIONS



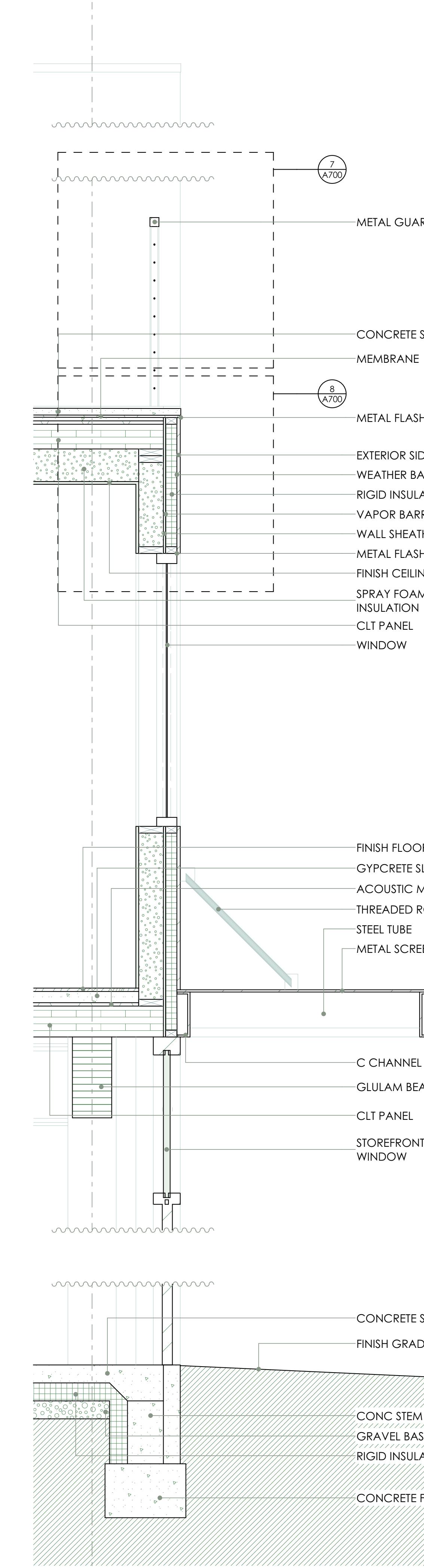
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A600

SCALE: 3/4" = 1'-0"



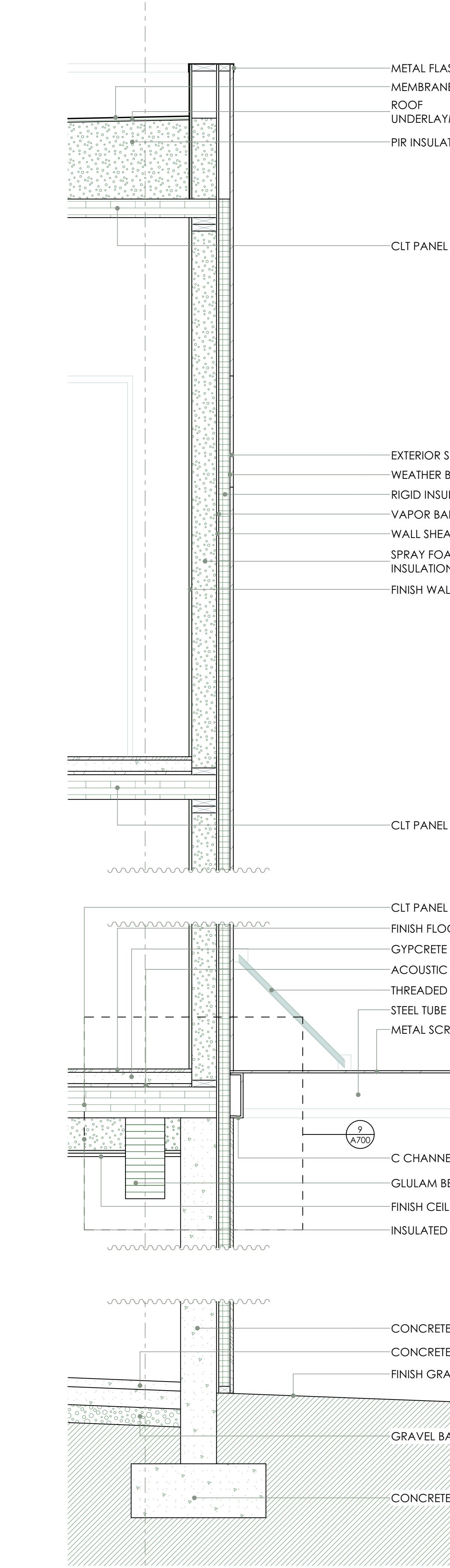
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SCALE: 3/4" = 1'-0"



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WALL SECTION
A600

SCALE: 3/4" = 1'-0"



4
WALL SECTION
A600

SCALE: 3/4" = 1'-0"

WALL SECTIONS

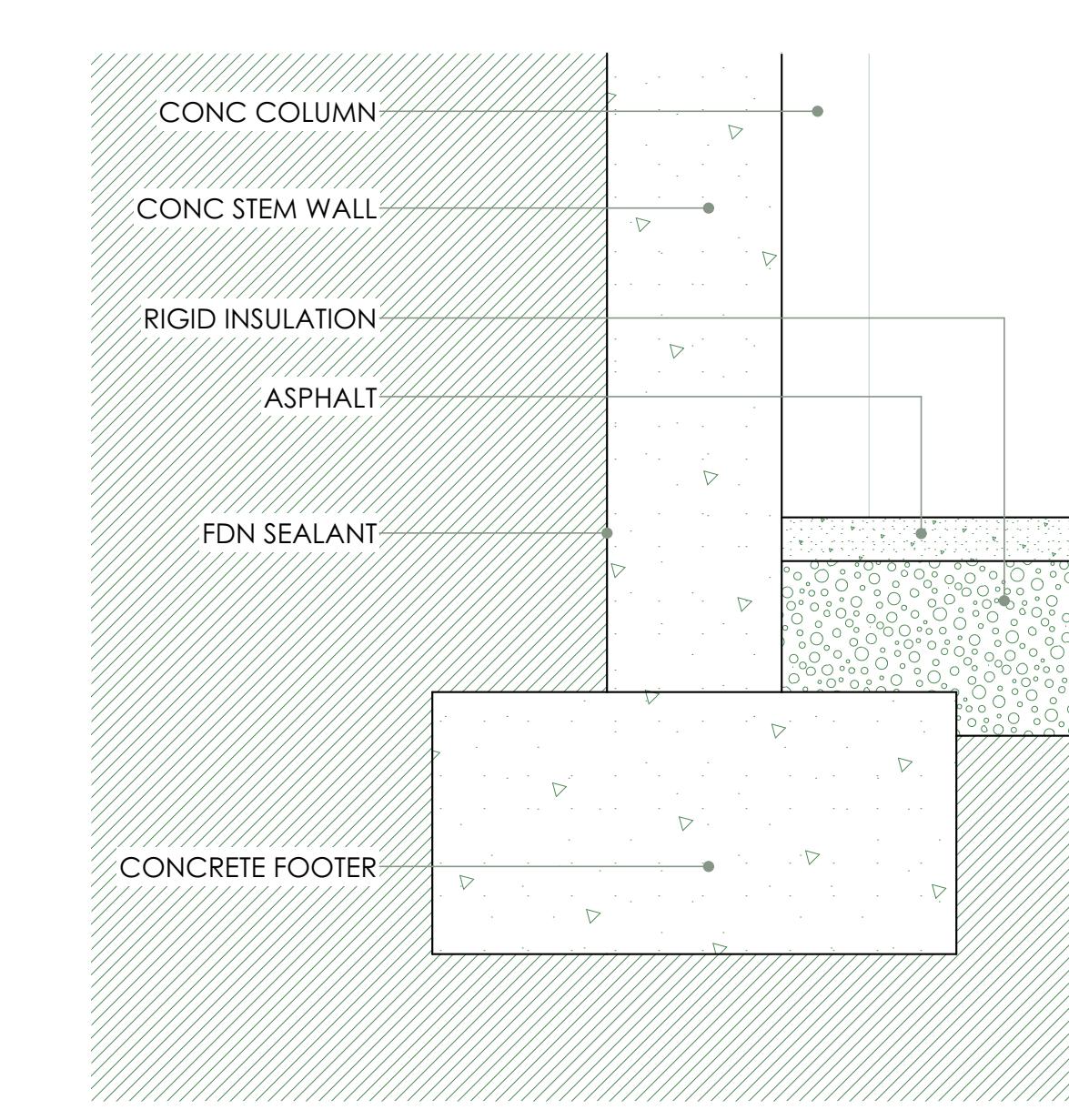
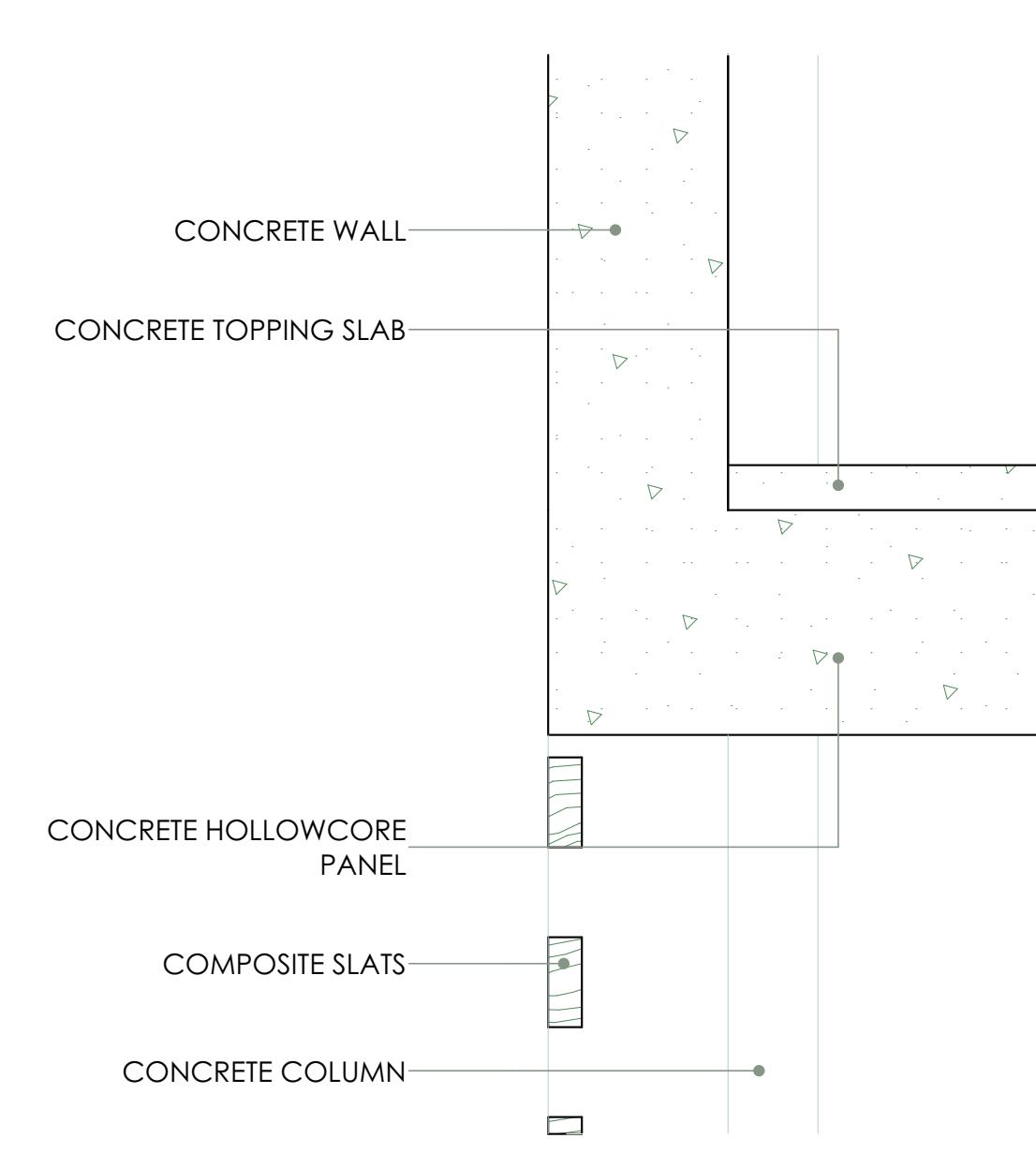
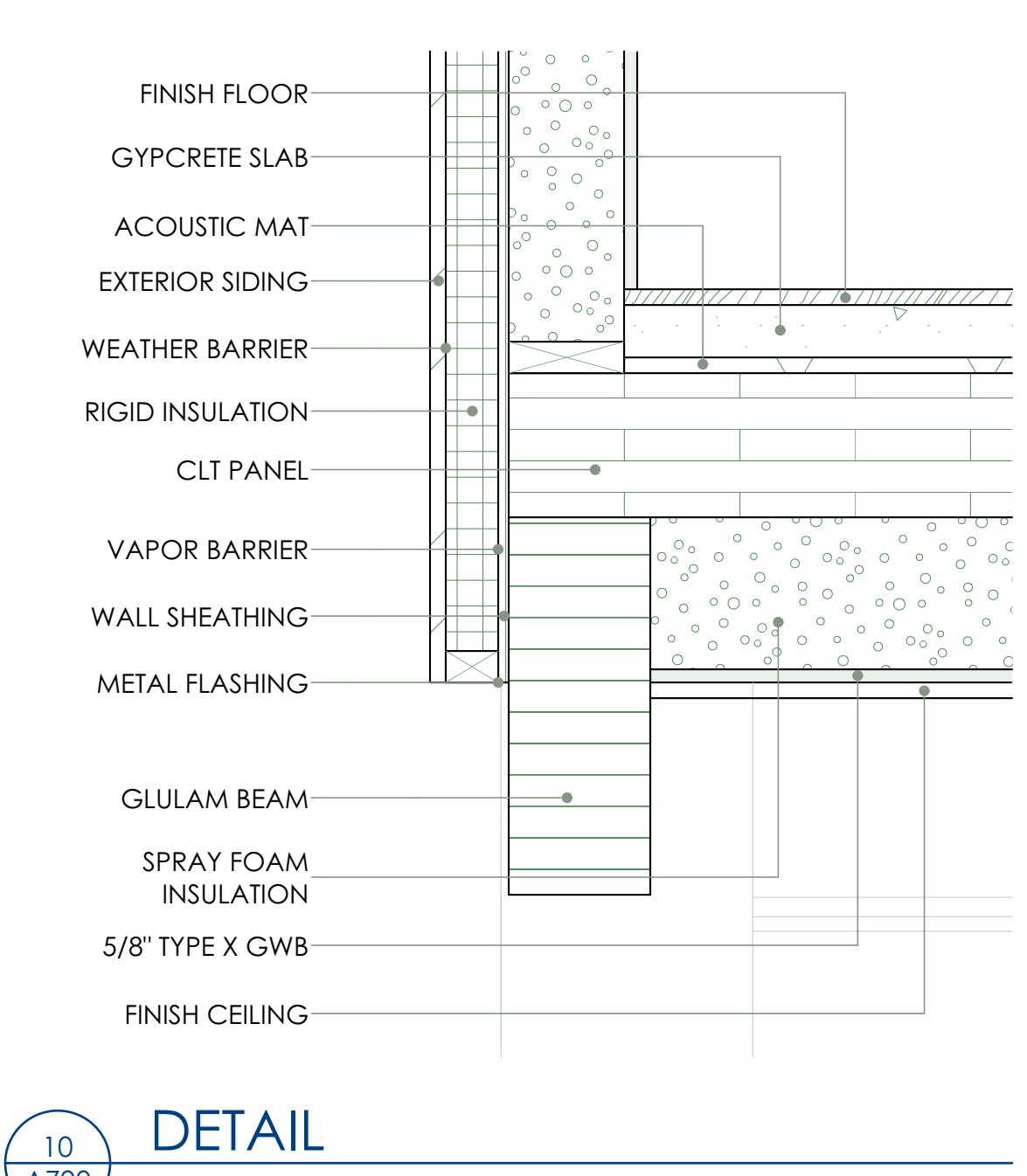
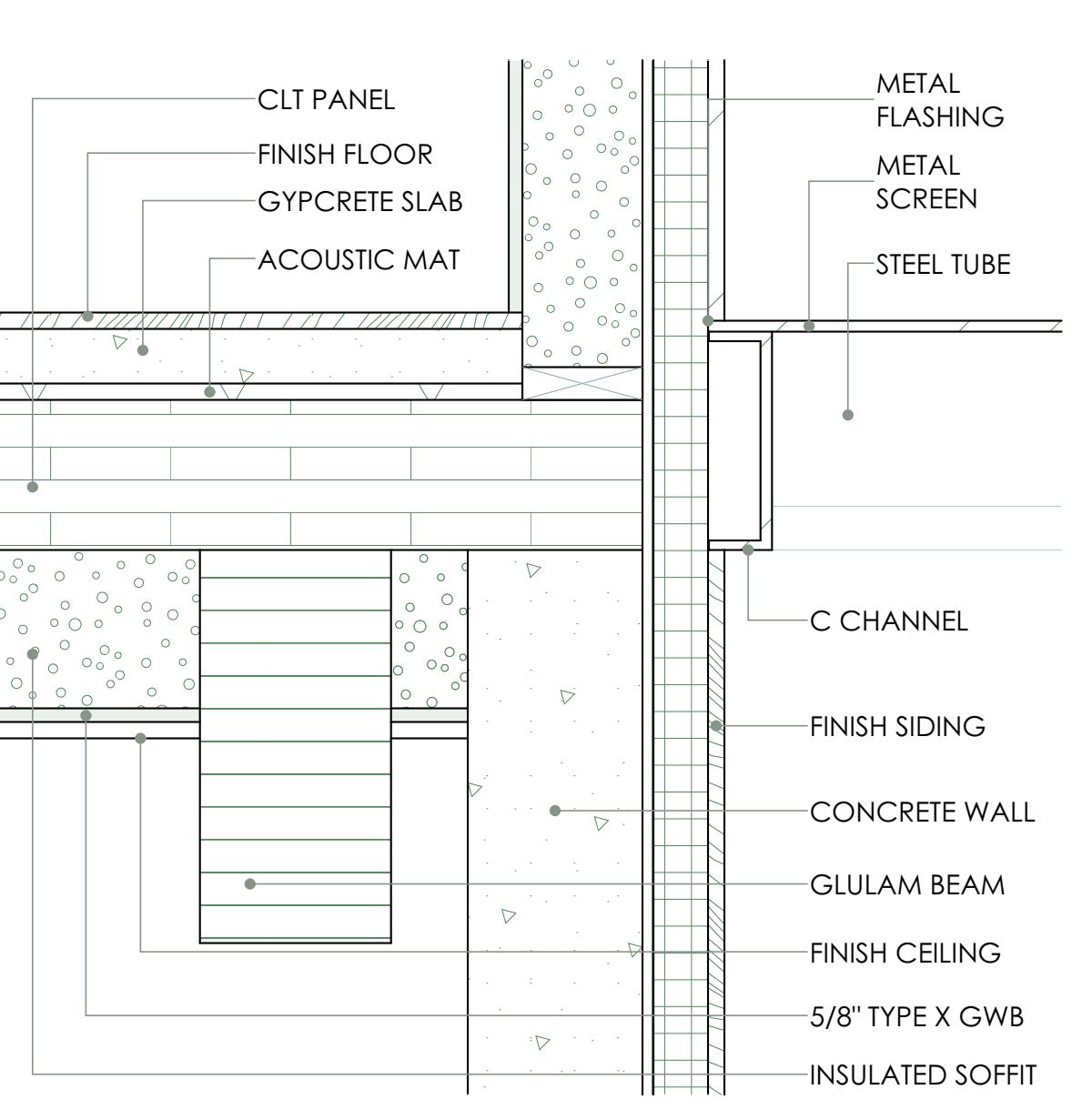
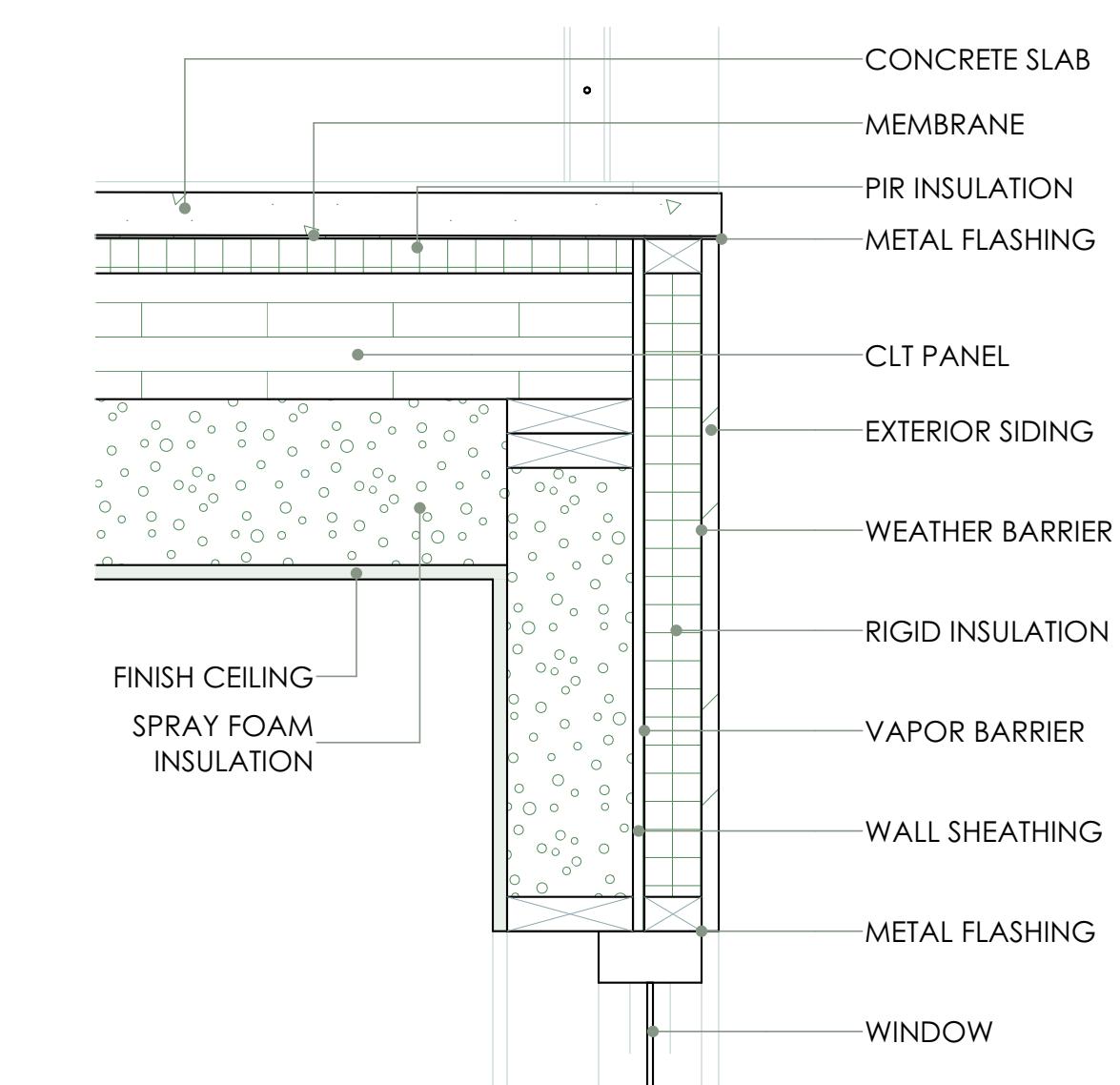
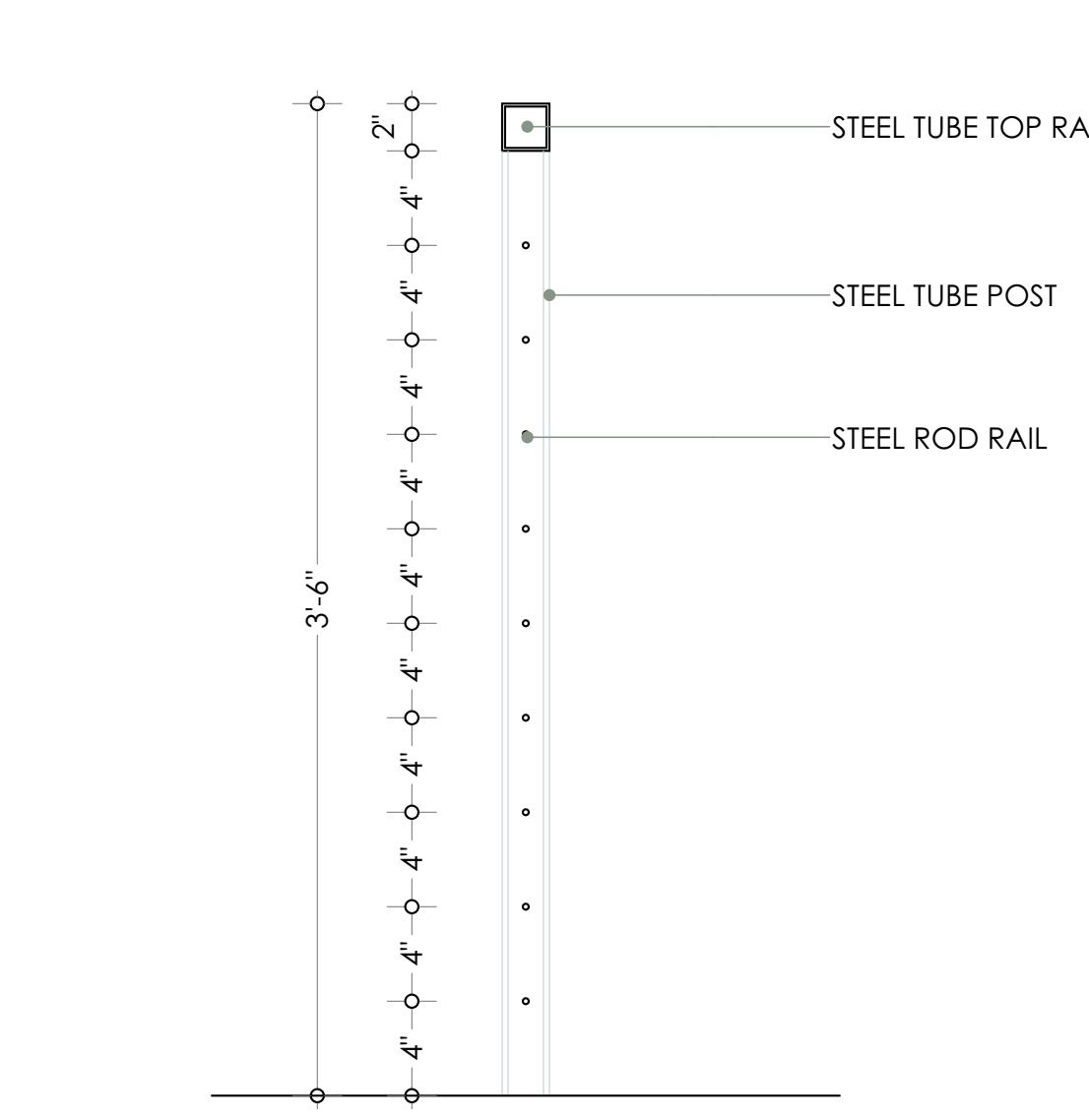
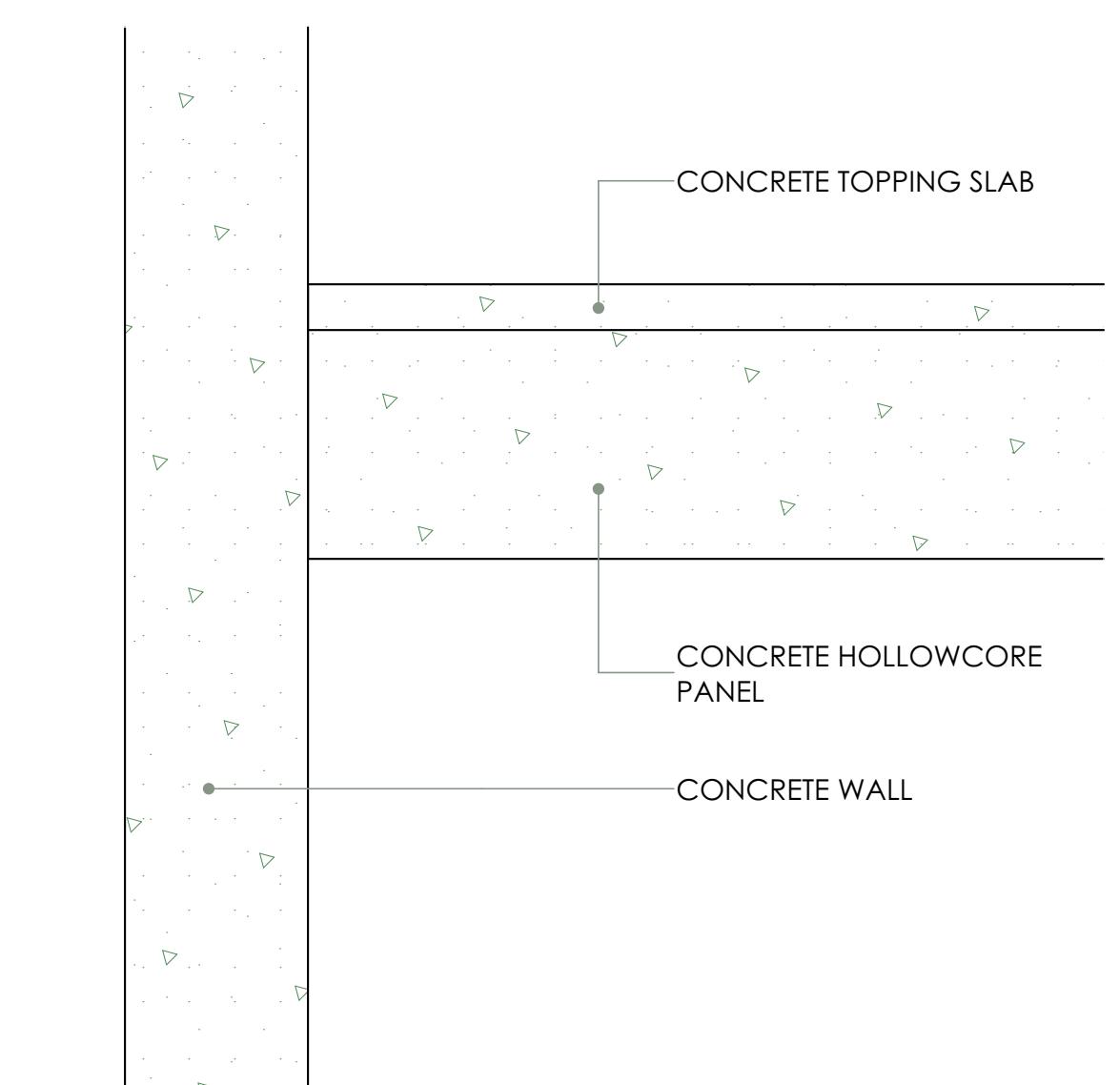
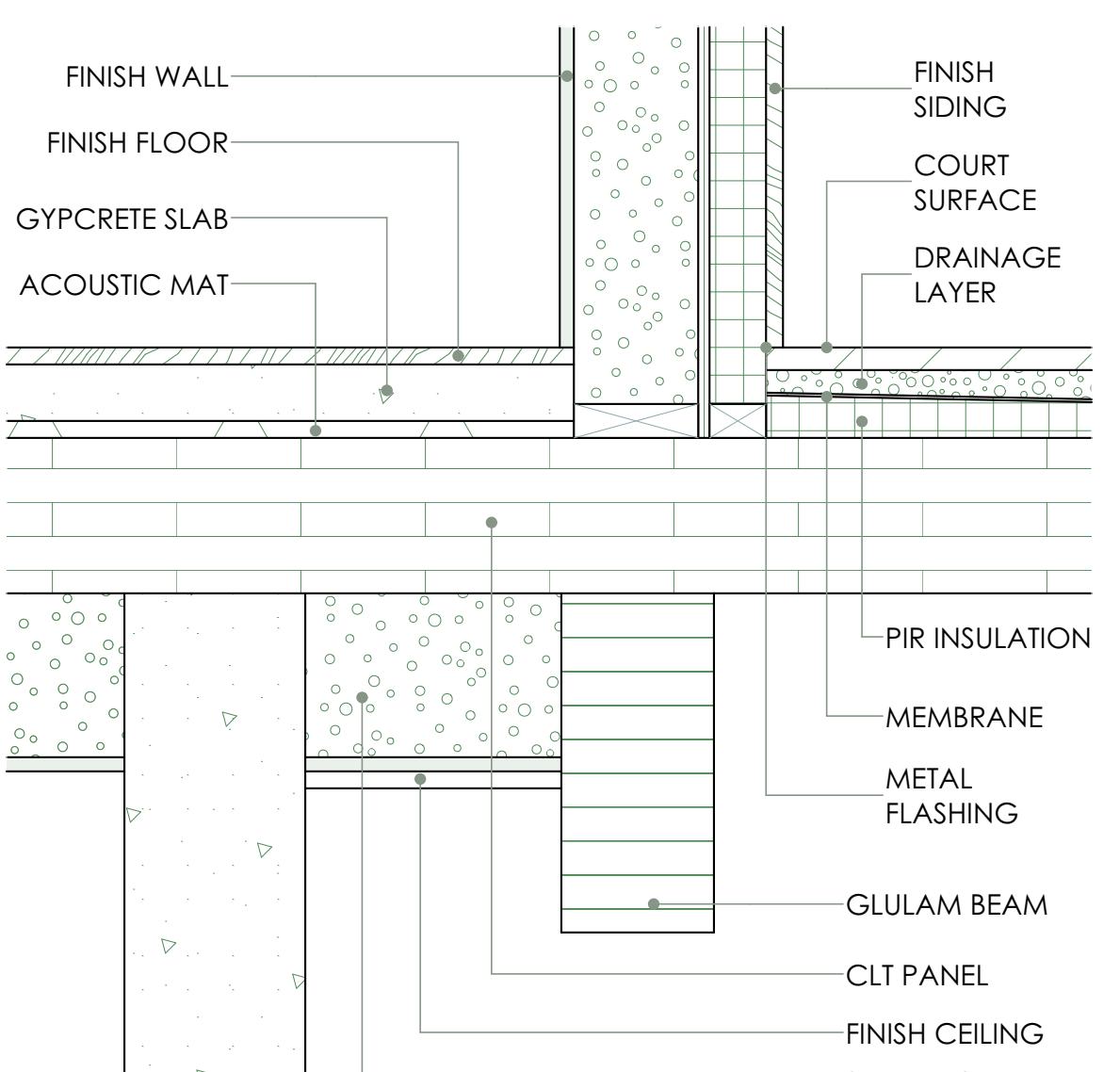
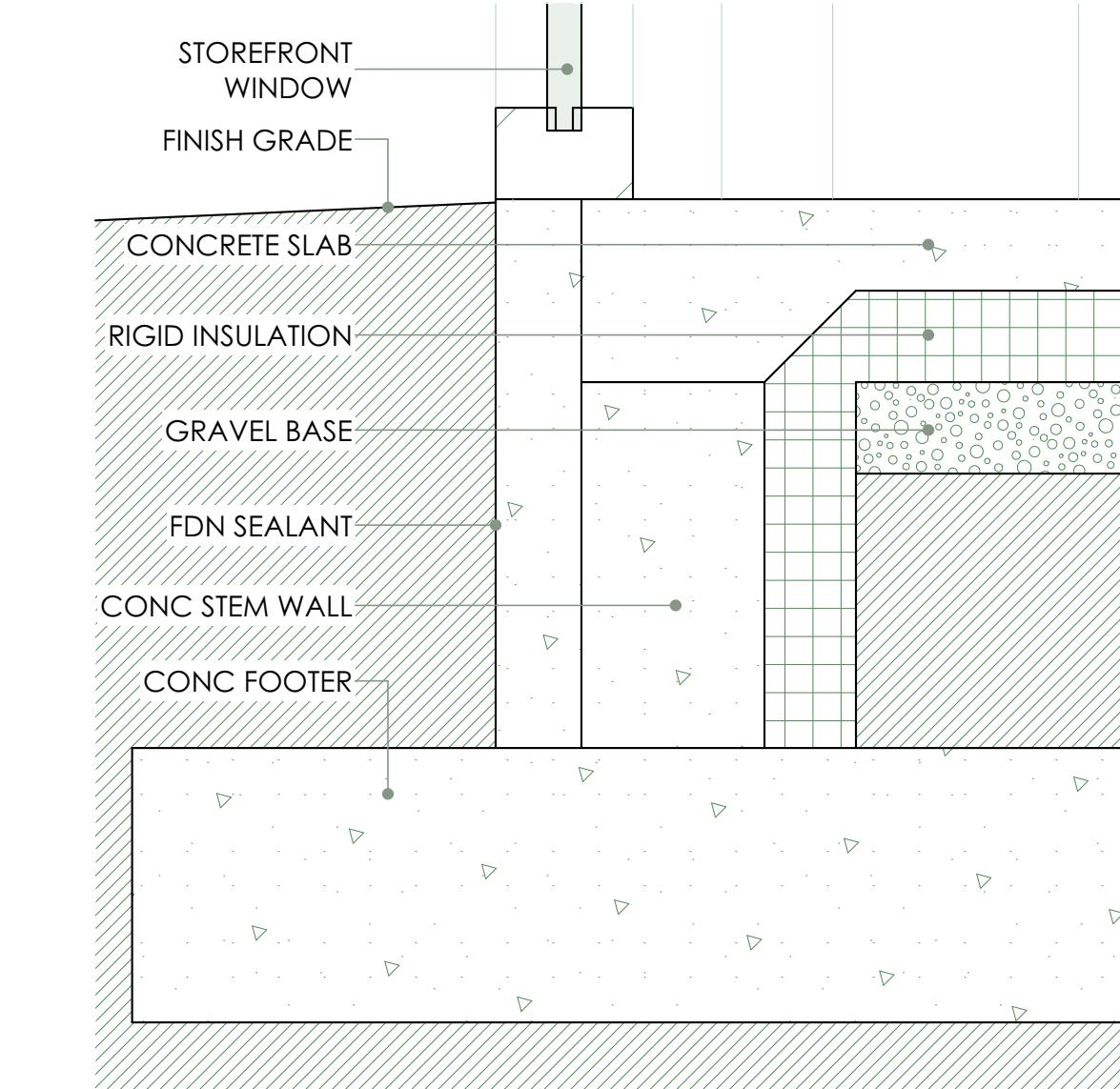
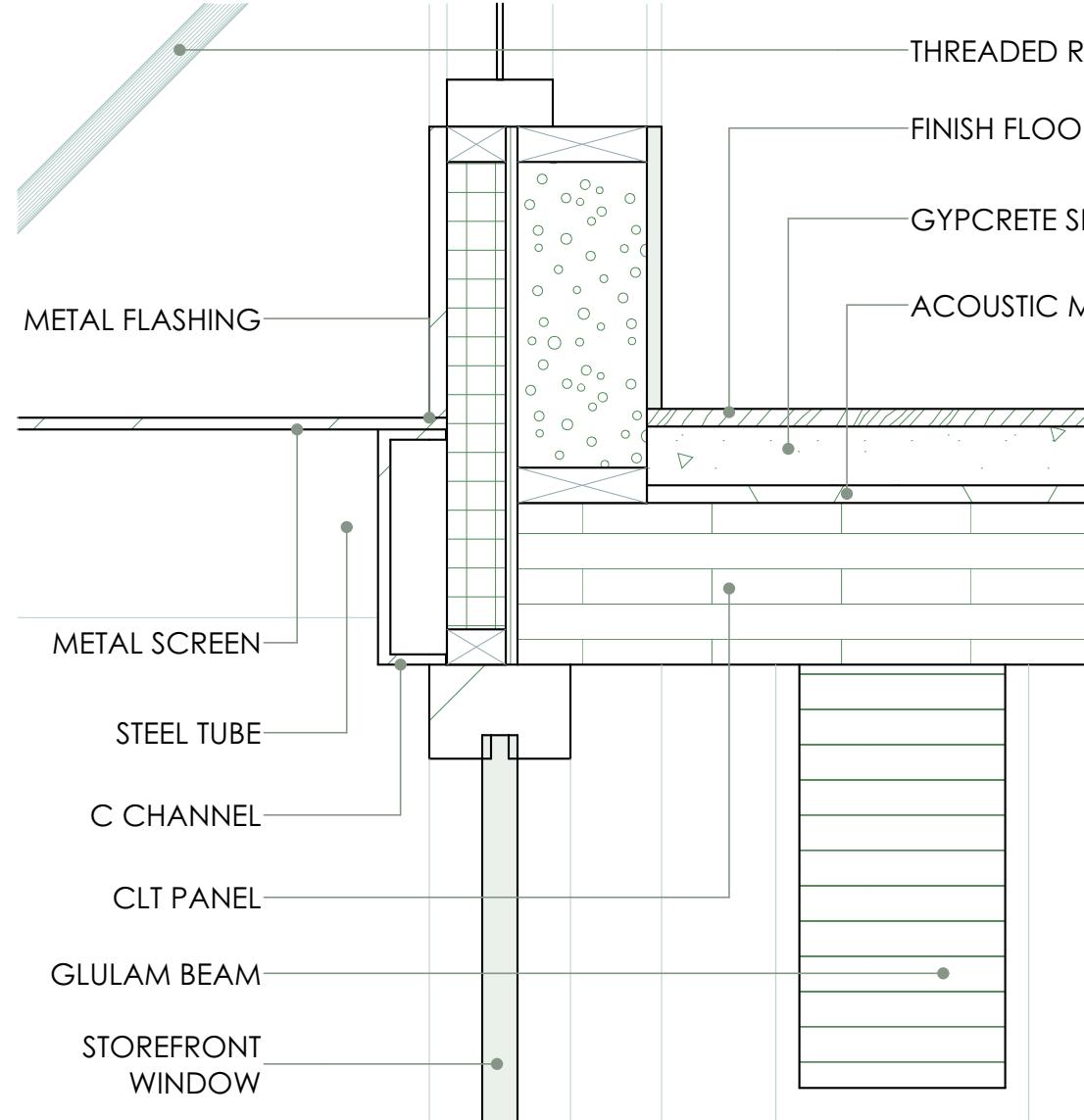
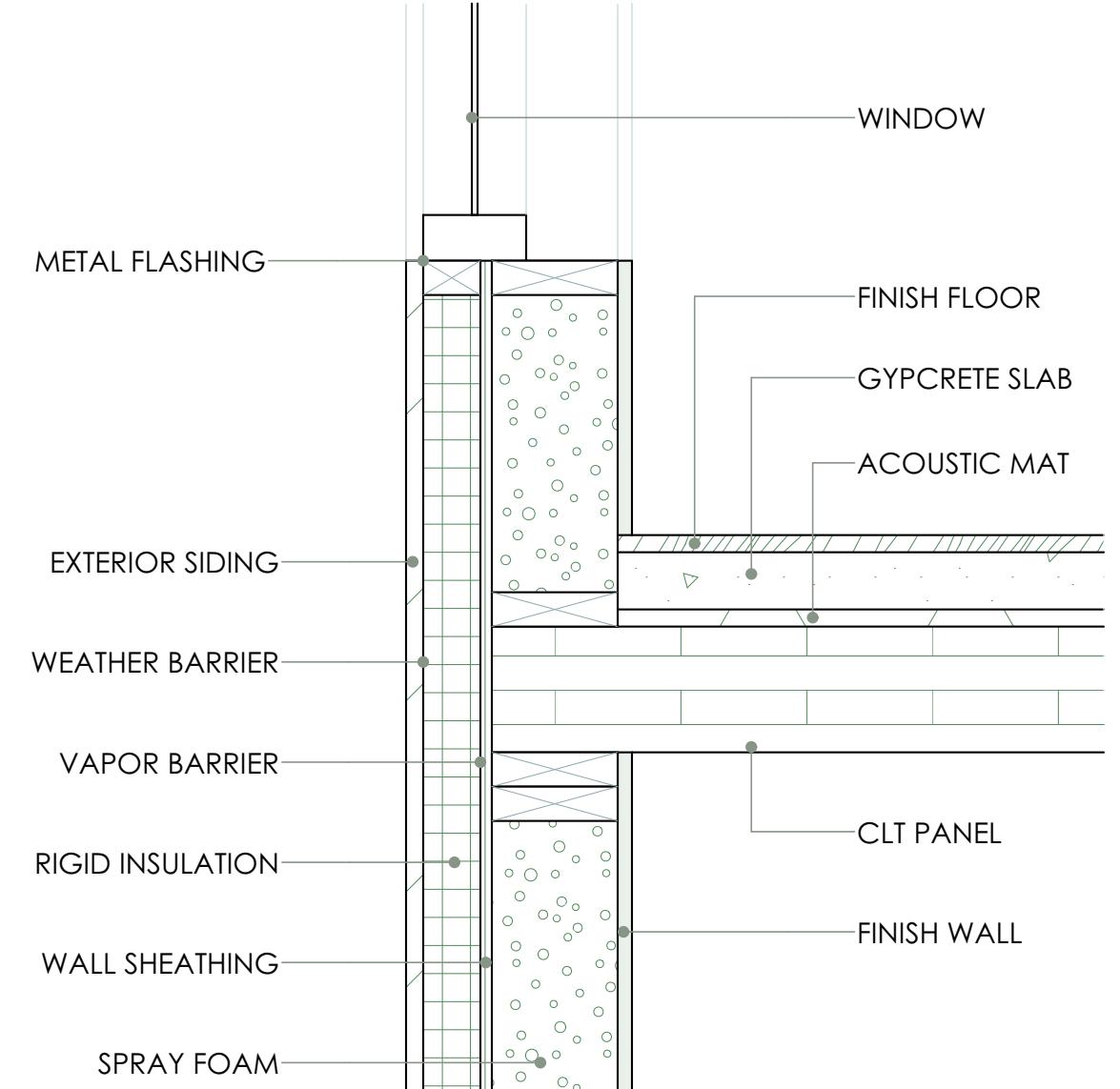
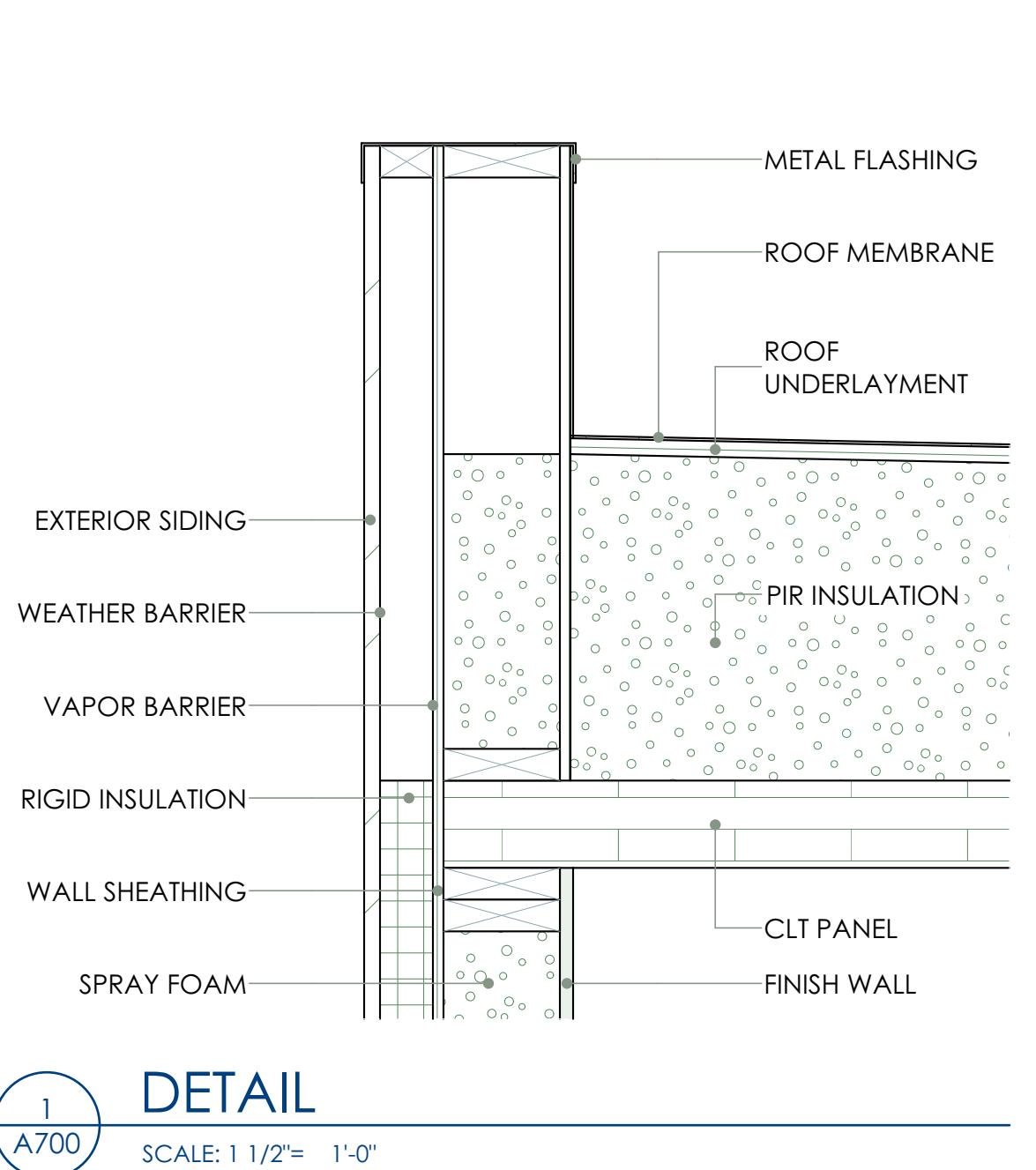
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MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

A700

DETAILS



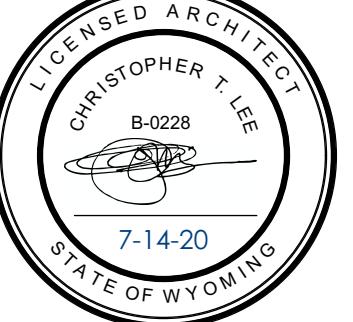


IGN ASSOCIATES ARCHITECTS
KING ST, STE 201 JACKSON WY
307 733 3600

w.dajh.co

ECT NO.: 19-08 ARCHITECT: CTL
9 DESIGN ASSOCIATES ARCHITECTS

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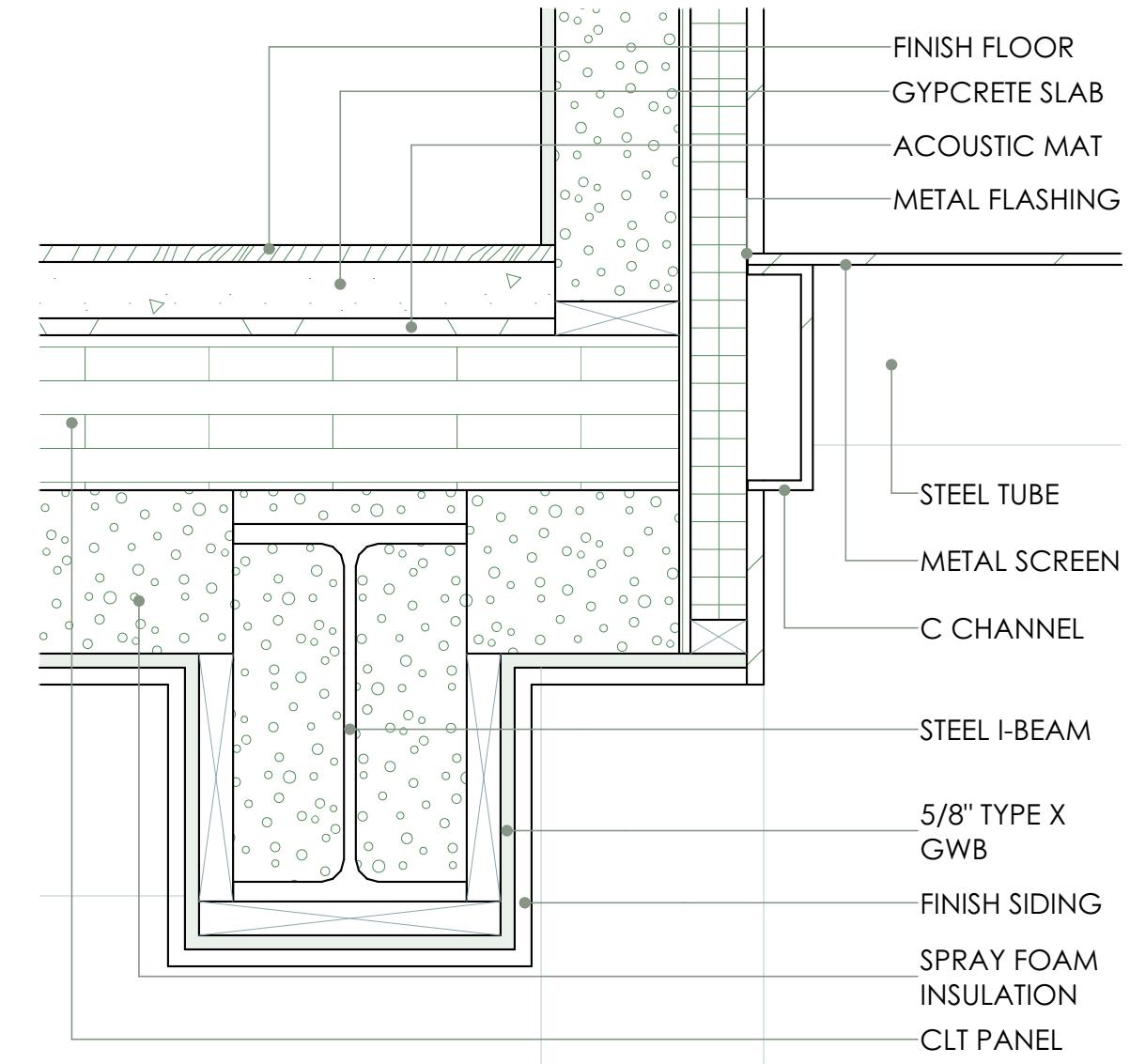


MERCILL PARTNERS LLC
MIXED-USE PROJECT

PERMIT SET

A701

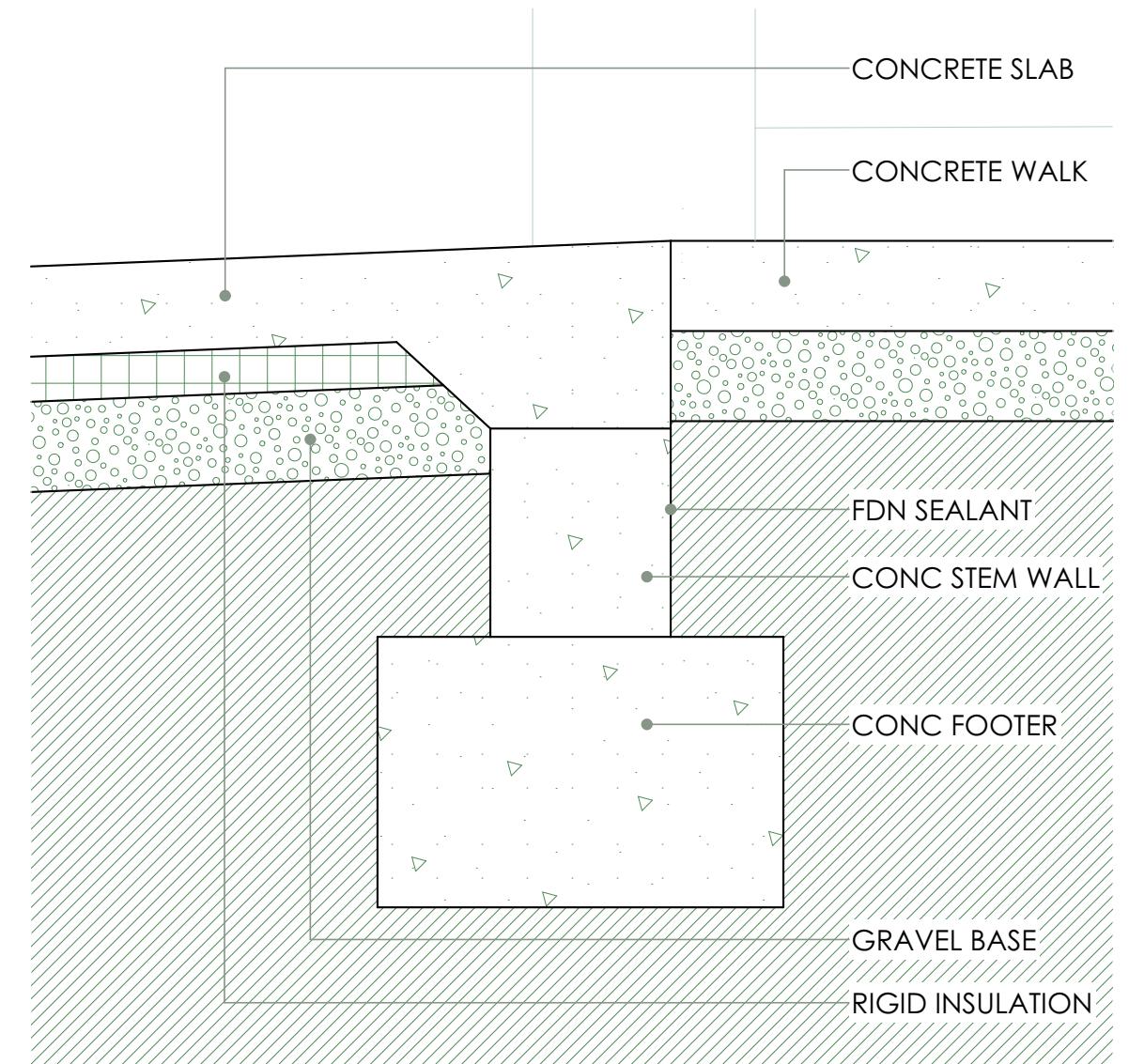
DETAILS



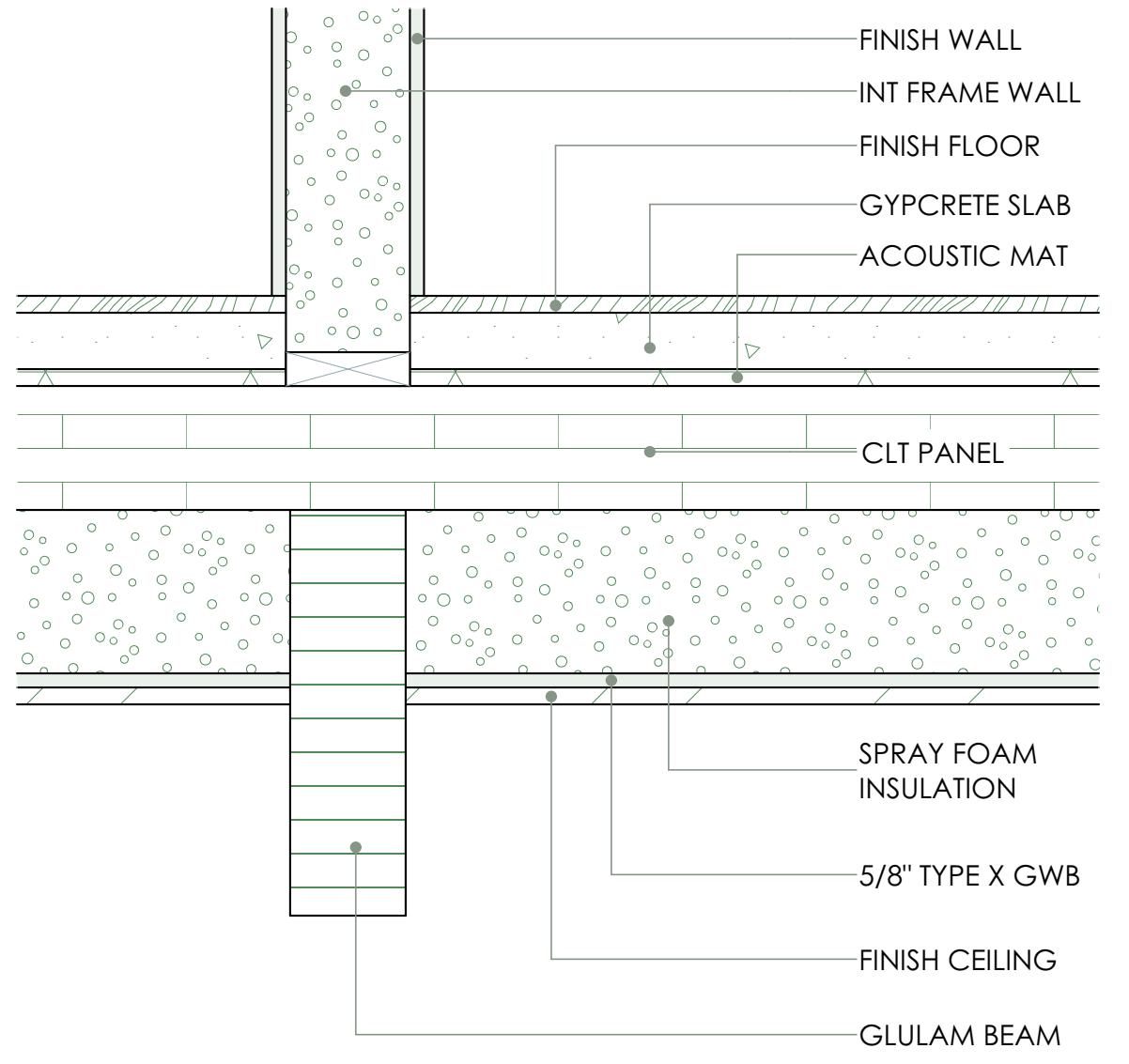


DETAIL

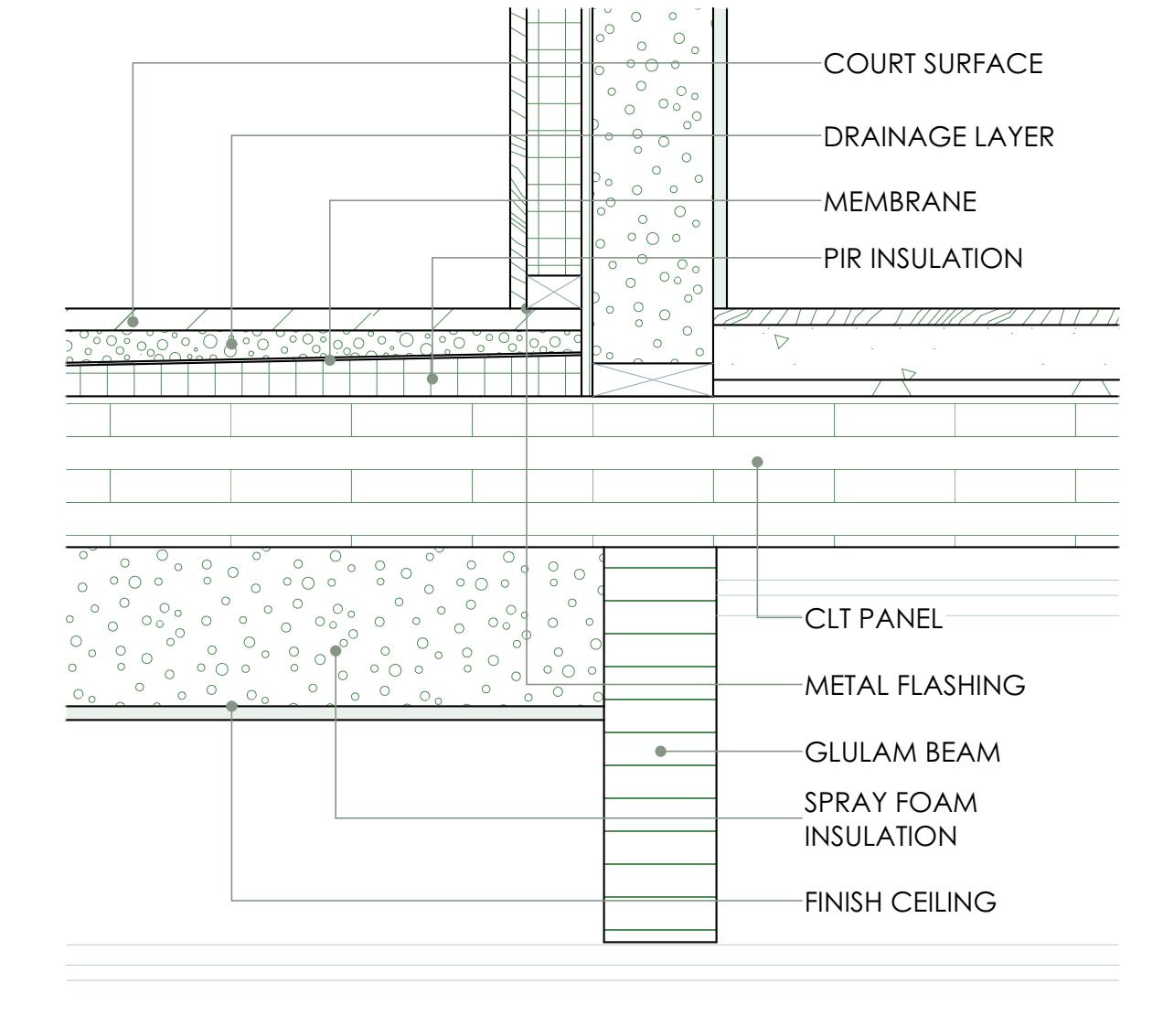
SCALE: 1 1/2" = 1'-0"



2
A701 DETAIL SCALE: 1 1/2" = 1'-0"



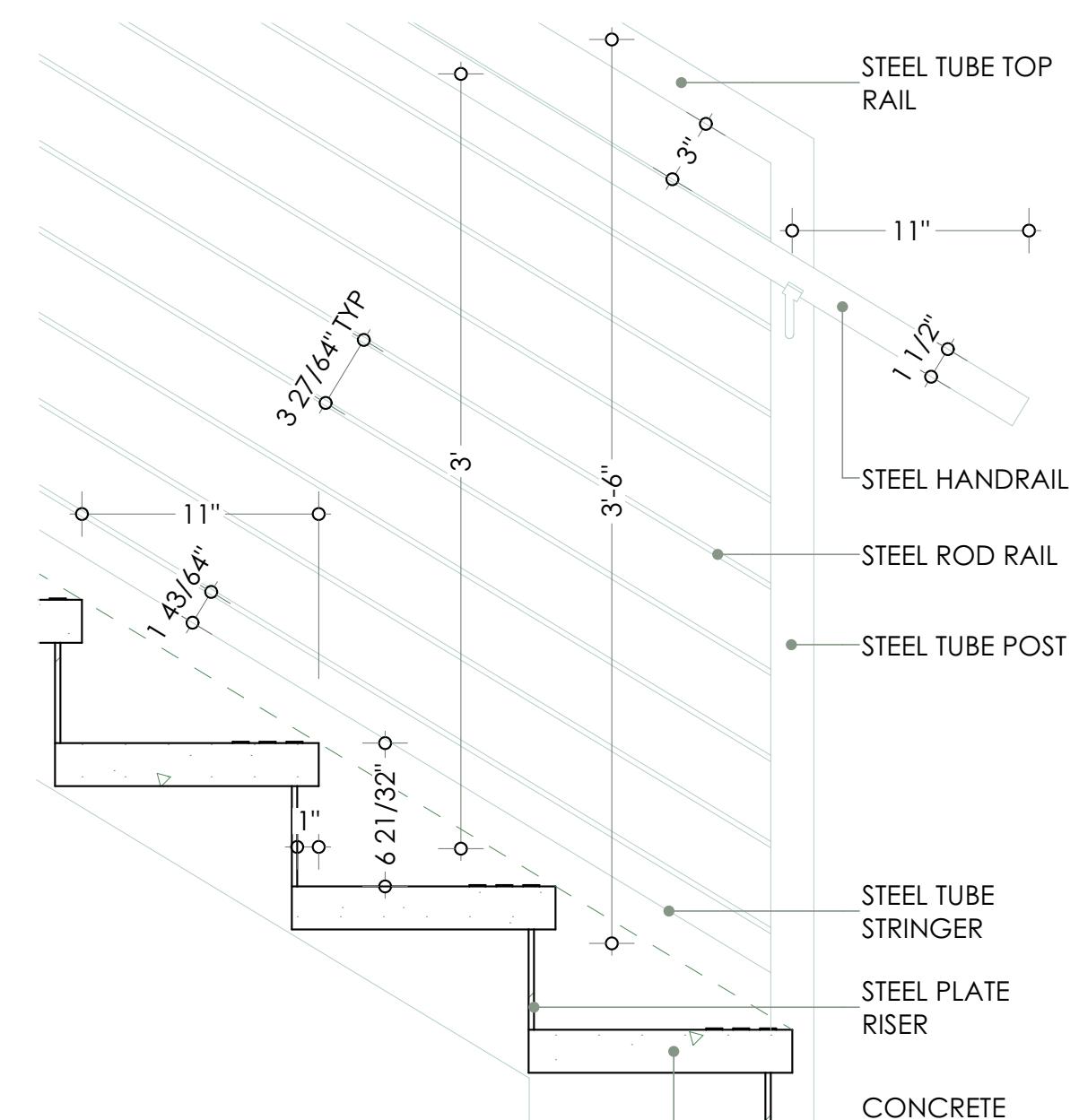
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A701 DETAIL
SCALE: 1 1/2" = 1'-0"



4
A701

DETAIL

SCALE: 1 1/2" = 1'-0"

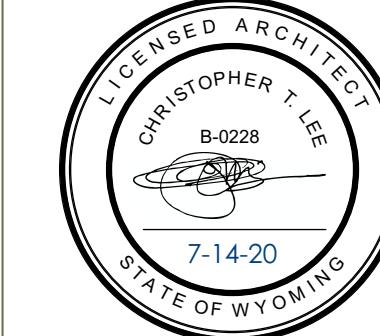




DETAIL

SCALE: 1 1/2" = 1'-0"





SYMB	CHANGE	DATE
1	CONCEPTUAL	5-23-19
2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
4	CONCEPTUAL UPDATE	7-8-19
5	CONCEPTUAL UPDATE	7-11-19
6	CONCEPTUAL UPDATE	7-22-19
7	CONCEPTUAL UPDATE	7-24-19
8	CONCEPTUAL UPDATE	9-25-19
9	DRC SUBMITTAL	11-6-19
10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20



