



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☐ Building
- ☐ Title Company
- ☐ Town Attorney
- ☐ Police

Joint Town/County

- ☐ Parks and Recreation
- ☐ Pathways
- ☐ Housing Department

Teton County

- ☐ Planning Division

- ☐ Engineer
- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☐ START
- ☐ Jackson Hole Fire/EMS
- ☐ Irrigation Company

Date: September 16, 2020	REQUESTS: The applicant is submitting a request for a Grading Pre-Application for the property located at 105 Mercill Ave, legally known as, PT. LOTS 15-17, BLK.2 J.R. JONES (CHILDREN'S CENTER). For questions, please call Brian Lenz at 307-733-0440 x1410, or email to the address shown to the left. Thank you.
Item #: P20-178	
Planner: Tyler Valentine Phone: 733-0440 ext. 1305 Fax: 734-3563 Email: tvalentine@jacksonwy.gov	
Owner: Teton County PO Box 1727 Jackson, WY 83001 Applicant: DA Architecture - Chris Lee PO Box 4615 Jackson, WY 83001	
Please respond by:	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



PRE-APPLICATION CONFERENCE REQUEST (PAP)

Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440 fax:
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____

Time & Date Received _____

Application # _____

Please note: Applications received after 3 PM will be process the next business day.

APPLICABILITY. This application should be used when applying for a **Pre-application Conference**. The purpose of the pre-application conference is to identify the standards and procedures of these LDRs that would apply to a potential application prior to preparation of the final proposal and to identify the submittal requirements for the application.

For additional information go to www.townofjackson.com/204/Pre-Application

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name, Agency: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Property Owner

_____ Applicant/Agent

ENVIRONMENTAL PROFESSIONAL. For EA pre-application conferences, a qualified environmental consultant is required to attend the pre-application conference. Please see Subsection 8.2.2.C, Professional Preparation, of the Land Development Regulations, for more information on this requirement. Please provide contact information for the Environmental Consultant if different from Agent.

Name, Agency: _____ Phone: _____
Mailing Address: _____ ZIP: _____
E-mail: _____

TYPES OF PRE-APPLICATION NEEDED. Check all that apply; see Section 8.1.2 of the LDRs for a description of review process types.

_____ Physical Development Permit
_____ Use Permit
_____ Development Option or Subdivision Permit
_____ Interpretations of the LDRs
_____ Amendments to the LDRs
_____ Relief from the LDRs
_____ Environmental Analysis

This pre-application conference is:

_____ Required
_____ Optional
_____ For an Environmental Analysis
_____ For grading

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Provide **one electronic copy** (via email or thumb drive), and **two hard copies** of the submittal packet.

Have you attached the following?

_____ **Application Fee.** Go to www.townofjackson.com/204/Pre-Application.com for the fees.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.

_____ **Narrative Project Description.** Please attach a short narrative description of the project that addresses:

_____ Existing property conditions (buildings, uses, natural resources, etc)
_____ Character and magnitude of proposed physical development or use
_____ Intended development options or subdivision proposal (if applicable)
_____ Proposed amendments to the LDRs (if applicable)

_____ **Conceptual Site Plan.** For pre-application conferences for physical development, use or development option permits, a conceptual site plan is required. For pre-application conferences for interpretations of the LDRs, amendments to the LDRs, or relief from the LDRs, a site plan may or may not be necessary. Contact the Planning Department for assistance. If required, please attach a conceptual site plan that depicts:

_____ Property boundaries
_____ Existing and proposed physical development and the location of any uses not requiring physical development
_____ Proposed parcel or lot lines (if applicable)
_____ Locations of any natural resources, access, utilities, etc that may be discussed during the pre-application conference

_____ **Grading Information (REQUIRED ONLY FOR GRADING PRE-APPS).** Please include a site survey with topography at 2-foot contour intervals and indicate any areas with slopes greater than 25% (or 30% if in the NC Zoning District), as well as proposed finished grade. If any areas of steep slopes are man-made, please identify these areas on the site plan.

_____ **Other Pertinent Information.** Attach any additional information that may help Staff in preparing for the pre-app or identifying possible key issues.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title



105 MERCILL

9-15-20

GRADING PRE-APP CONFERENCE REQUEST - PROJECT NARRATIVE

Lot Info

Address:	105 Mercill Ave
PIDN:	22-41-16-28-4-02-012
Area:	Full Site 1.15 acres (50,086 s.f.), Project Site .575 acres (25,005 s.f.)
Zoning:	CR-2
Overlays:	Lodging Overlay

Scale of Development

FAR:	1.41 (35,184 s.f.) (6,862 s.f. office/retail)
Allowed:	.46 (11,502 s.f.)
2:1 Bonus:	1.13 (28,322 s.f.) - all deed restricted housing

Site Development:	.88 (22,074 s.f.)
Allowed:	.90 (22,505 s.f.)
Parking Spots:	52 (20 office/retail + 39 residential - 9 shared = 50 total req)

Existing Property Conditions

- 1 historic log cabin to be moved off property, misc outbuildings to be moved or demoed
- Existing drive across N side of property to access to Children's Learning Center on W half of property to be demoed
- Some trees on the property - to be removed
- Existing utilities/pedestals at NW corner of the property - overhead powerline to be buried

Character & Size of Development

- 30 deed-restricted apartments including 2 ADA units on upper two floors with common courtyard above ground floor commercial spaces (office & retail)
- 35,184 total habitable s.f. on three levels with two-level parking ramp (44 parking spots) and at grade (8 parking spots)
- 22,074 total s.f. of impervious surface
- New concrete ramp access off of Mercill along S side of property as well as off of Glenwood along E side of property
- New utility connections (location to be determined), existing overhead powerline to be buried
- New sidewalk and trees in grates to meet Town streetscape standards along Mercill and Glenwood, sidewalk on W side of property adjacent to the Children's Learning Center

Children's Learning Center Site Modifications

- Proposed one-way drive access off Mercill Ave with new exit onto N Millward Alley - existing retention basin to be modified
- Revised Parking layout from 90° to 45° spaces along N side of property and additional parallel parking along sidewalk on N side of building - this makes for an increase from a total of 18 to 19 off street parking spaces and allows for better traffic flow with the new one-way access
- New trash enclosure to replace existing that will be shared by both buildings

LETTER OF AUTHORIZATION

TETON COUNTY

, "Owner" whose address is: _____

POB 1727 JACKSON, WY 83001-1727

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

_____, as the owner of property

more specifically legally described as: 105 MERCILL AVE. JACKSON, WY 83001

PARCEL 22-41-16-28-4-02-012

(If too lengthy, attach description)

HEREBY AUTHORIZES DESIGN ASSOCIATES ARCHITECTS _____ as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

April Norton
(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Jackson/Teton County Housing Director
(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

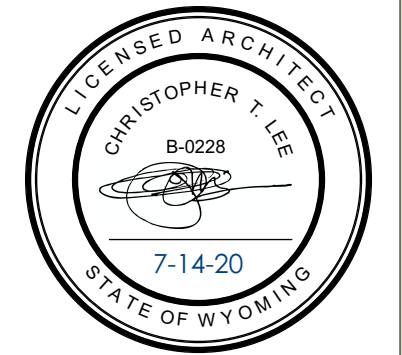
STATE OF Wyoming)
COUNTY OF Teton)SS.

The foregoing instrument was acknowledged before me by April Norton this 6th day of November, 2019.

WITNESS my hand and official seal.

[Signature] (Seal)
(Notary Public)
My commission expires:





VISION HISTORY

#	CHANGE	DATE
	CONCEPTUAL	5-23-19
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0	PRE-APP SUBMITTAL	11-15-19
1	DRC SUBMITTAL	4-1-20
2	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

A000

COVER



MERCILL PARTNERS LLC MIXED-USE PROJECT

105 MERCILL AVE - JACKSON, WY
PERMIT SET
7-14-20

PLANNING NOTES

PROPERTY DESCRIPTION/NAME	105 MERCILL A MIXED-USE PROJECT WITH 30 APARTMENTS, 4 COMMERCIAL SPACES & TWO-LEVEL PARKING RAMP
PROPERTY ADDRESS	105 MERCILL AVENUE JACKSON, WY
PROPERTY OWNER	TETON COUNTY POB 1727 JACKSON, WY 83001
APPLICANT'S NAME	DESIGN ASSOCIATES ARCHITECTS 50 S KING ST, STE 201 JACKSON, WY 83001
ZONING	CR-2
RESOURCE OVERLAYS	LODGING OVERLAY
IMPERVIOUS COVERAGE	
EXISTING	0 SF
ROOFED	13,431 SF
DRIVEWAYS & PARKING AREAS	1,749 SF
SOLID TERRACES & WALKWAYS	3,288 SF
OTHER (COURTYARD TERRACE)	3,606 SF
TOTAL	22,074 SF
ALLOWED	.90 (22,905 SF)
GROSS SITE AREA	1.15 ACRES 50,086 SF
BASE SITE AREA	0.574 ACRES 25,005 SF
FAR	TOTAL HABITABLE 1.41 (35,184 SF) ALLOWED .46 (11,502 SF) BASE FAR (COMMERCIAL SPACE) .27 (6,862 SF) 2:1 BONUS (ALL WORKFORCE HOUSING) 1.13 (28,322 SF)
SITE DEVELOPMENT	.88 (22,074 SF)
ALLOWED	.90 (22,505 SF)
LANDSCAPE RATIO	.11 (2,816 SF)
MINIMUM	.10 (2,501 SF)
PLANT UNITS	3+
MINIMUM	3
SLOPES TO BE DEVELOPED	
PARKING	0 - 2%
GARAGE RAMP	4 - 12%
SIDEWALKS	0 - 2%
SETBACKS	
PRIMARY STREET RANGE	0-10'
SECONDARY STREET RANGE	0-10'
SIDES	5'
PEDESTRIAN FRONTAGE	
TOTAL WIDTH FROM BACK OF CURB (MIN)	13.5'
FURNISHING/PLANTING AREA (MIN)	5'
CLEAR SIDEWALK WIDTH (MIN)	6'
PLANTING TYPE & SPACING	TREE GRATE, 30'
BUILDING FRONTAGE	
SHOPFRONT HEIGHT (MIN)	12'
PRIMARY STREET TRANSPARENCY (MIN)	60%
SECONDARY STREET TRANSPARENCY (MIN)	30%
PRIMARY STREET BLANK WALL AREA (MAX)	15'
SECONDARY STREET BLANK WALL AREA (MAX)	30'
ENTRANCE SPACING ALONG PRIMARY STREET (MAX)	50'
HEIGHT OF STRUCTURE	<39'
ALLOWED	42'
STORIES	3
ALLOWED	3
PARKING	52
MINIMUM	50
EXTERIOR LIGHTING	54,000 LUMENS
ALLOWED	66,222 LUMENS
GROSS SQUARE FOOTAGE	
EXISTING	0 SF
LOWER LEVEL HABITABLE	225 SF
FIRST FLOOR HABITABLE	8,548 SF
SECOND FLOOR HABITABLE	13,672 SF
THIRD FLOOR HABITABLE	12,964 SF
TOTAL HABITABLE	35,184 SF
LOWER LEVEL NON-HABITABLE	9,647 SF
FIRST FLOOR NON-HABITABLE	7,847 SF
SECOND FLOOR NON-HABITABLE	59 SF
THIRD FLOOR NON-HABITABLE	129 SF
TOTAL NON-HABITABLE	8,035 SF
BUILDING TOTAL	53,091 SF
COURTYARD	4,820 SF
DECKS	1,200 SF
FENESTRATION CALCULATION	
GROSS SQUARE FOOTAGE	43,219 SF
FENESTRATION - WINDOWS	4,230 SF
FENESTRATION - DOORS	444 SF
FENESTRATION - CURTAIN WALLS	2,953 SF
TOTAL FENESTRATION	7,627 SF
FENESTRATION ALLOWED (30%)	12,966 SF
APARTMENT COUNT	
1 BEDROOMS	20
2 BEDROOMS	10
TOTAL	30
ICE MELT (EXTERIOR HYDRONIC HEAT)	0 SF

FINISH FLOOR AREAS

APARTMENTS				
NO.	UNIT	BEDROOMS	PARKING REQ	AREA
201	APT. 201	1BR	1.5	741.67
202	APT. 202	2BR	1.5	835.47
203	APT. 203	2BR	1.5	802.88
204	APT. 204	2BR	1.5	841.85
205	APT. 205	1BR	1	497.26
206	APT. 206	1BR	1	497.26
207	APT. 207	1BR	1	499.82
208	APT. 208	1BR	1.5	721.52
209	APT. 209	1BR	1	499.52
210	APT. 210	1BR	1	499.52
211	APT. 211	1BR	1	499.52
212	APT. 212	1BR	1	499.52
213	APT. 213	1BR	1.5	633.48
214	APT. 214	1BR	1.5	681.80
215	APT. 215	2BR	1.5	1,016.59
216	APT. 216	1BR	1.5	739.02
301	APT. 301	2BR	1.5	940.76
302	APT. 302	1BR	1	499.97
303	APT. 303	1BR	1	499.97
304	APT. 304	1BR	1	499.97
305	APT. 305	2BR	1.5	883.12
306	APT. 306	1BR	1	497.29
307	APT. 307	1BR	1	497.30
308	APT. 308	1BR	1.5	715.17
309	APT. 309	2BR	1.5	795.73
310	APT. 310	2BR	1.5	781.09
311	APT. 311	2BR	1.5	781.09
312	APT. 312	1BR	1.5	789.33
313	APT. 313	2BR	1.5	1,170.53
314	APT. 314	1BR	1.5	739.03
30				20,597.05 sq ft

OFFICE/RETAIL		
NO.	ZONE	AREA
101	OFFICE/RETAIL 101	1,153.29
102	OFFICE/RETAIL 102	2,268.98
103	OFFICE/RETAIL 103	1,753.13
104	OFFICE/RETAIL 104	1,686.30
4		6,861.70 sq ft

ACCESSORY FLOOR AREA		
STORY	ZONE	AREA
BASEMENT PLAN		
	CIRCULATION	176.01
	LOWER RAMP	7,788.26
	MECH	287.21
	STOR	360.00
	STORAGE	728.77
FIRST FLOOR PLAN		
	CIRCULATION	1,307.23
	FIRE	50.00
	MECH	174.20
	STOR	881.51
	UPPER RAMP	7,710.17
SECOND FLOOR PLAN		
	COURTYARD	4,820.40
	ENCLOSED CIRCULATION	1,962.25
	LIBRARY	163.84
	MECH	58.84
THIRD FLOOR PLAN		
	ENCLOSED CIRCULATION	1,874.02
	MECH	128.90
		28,471.61 sq ft

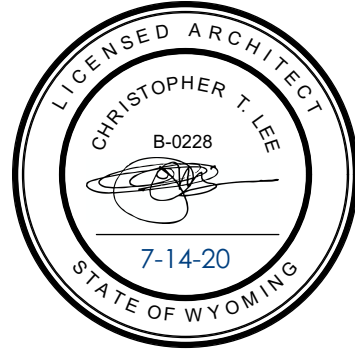


DESIGN ASSOCIATES ARCHITECTS
50 S KING ST, STE 201 JACKSON WY
(O) 307 733 3600

www.dajh.co

PROJECT NO.: 19-08 ARCHITECT: CTL

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REVISION HISTORY		
SYMB	CHANGE	DATE
1	CONCEPTUAL	5-23-19
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12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET

7-14-20

A002

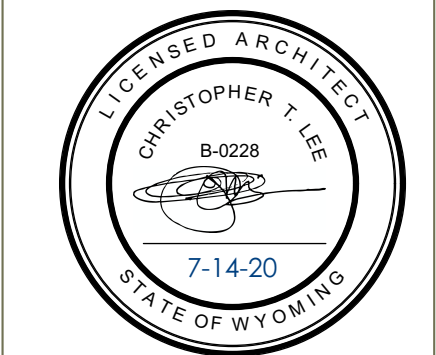
PLANNING NOTES



DESIGN ASSOCIATES ARCHITECTS
50 S KING ST, STE 201 JACKSON WY
(307) 307 7333 3600

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PROJECT NO.: 19-08 ARCHITECT: CTL
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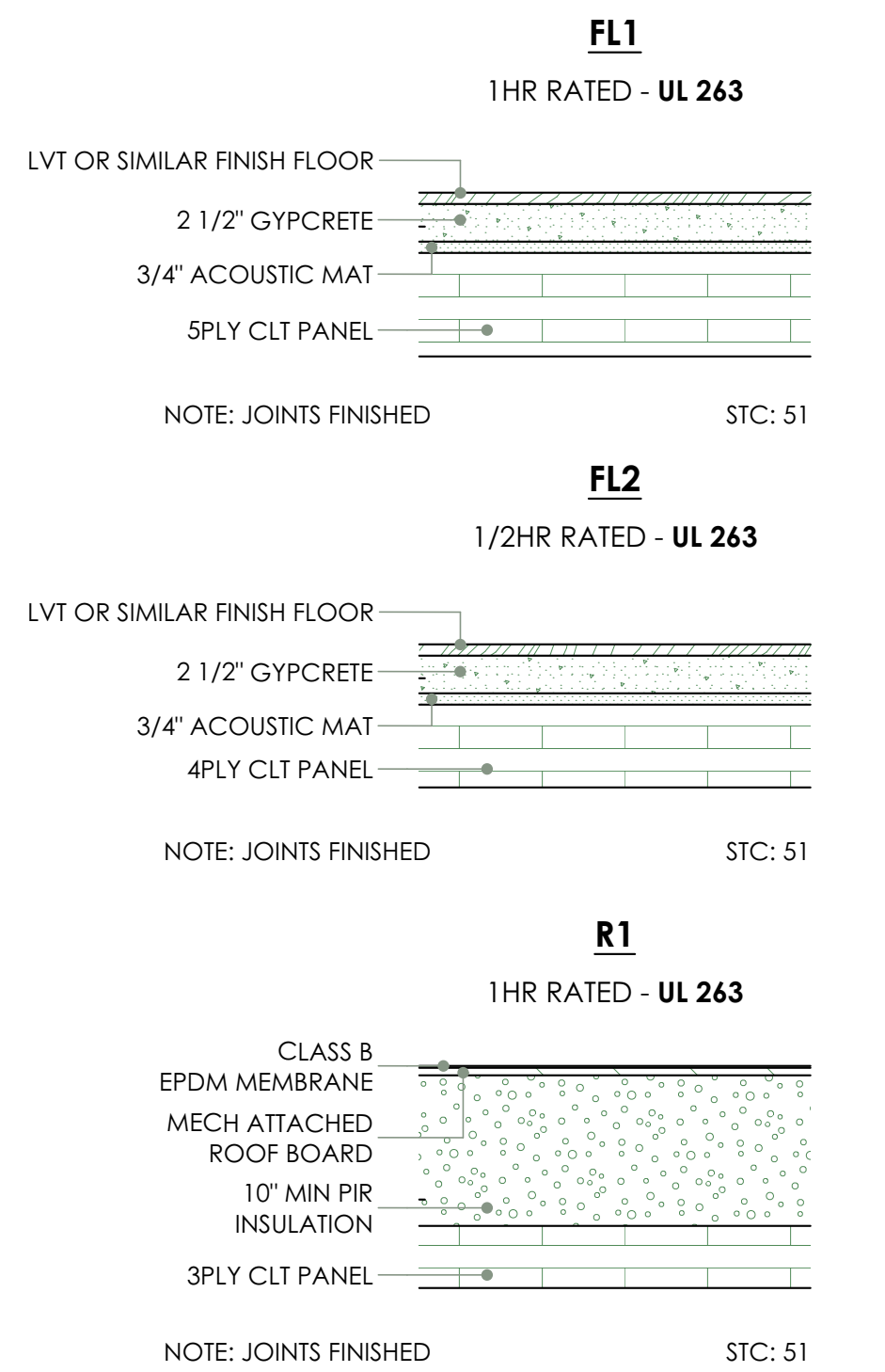
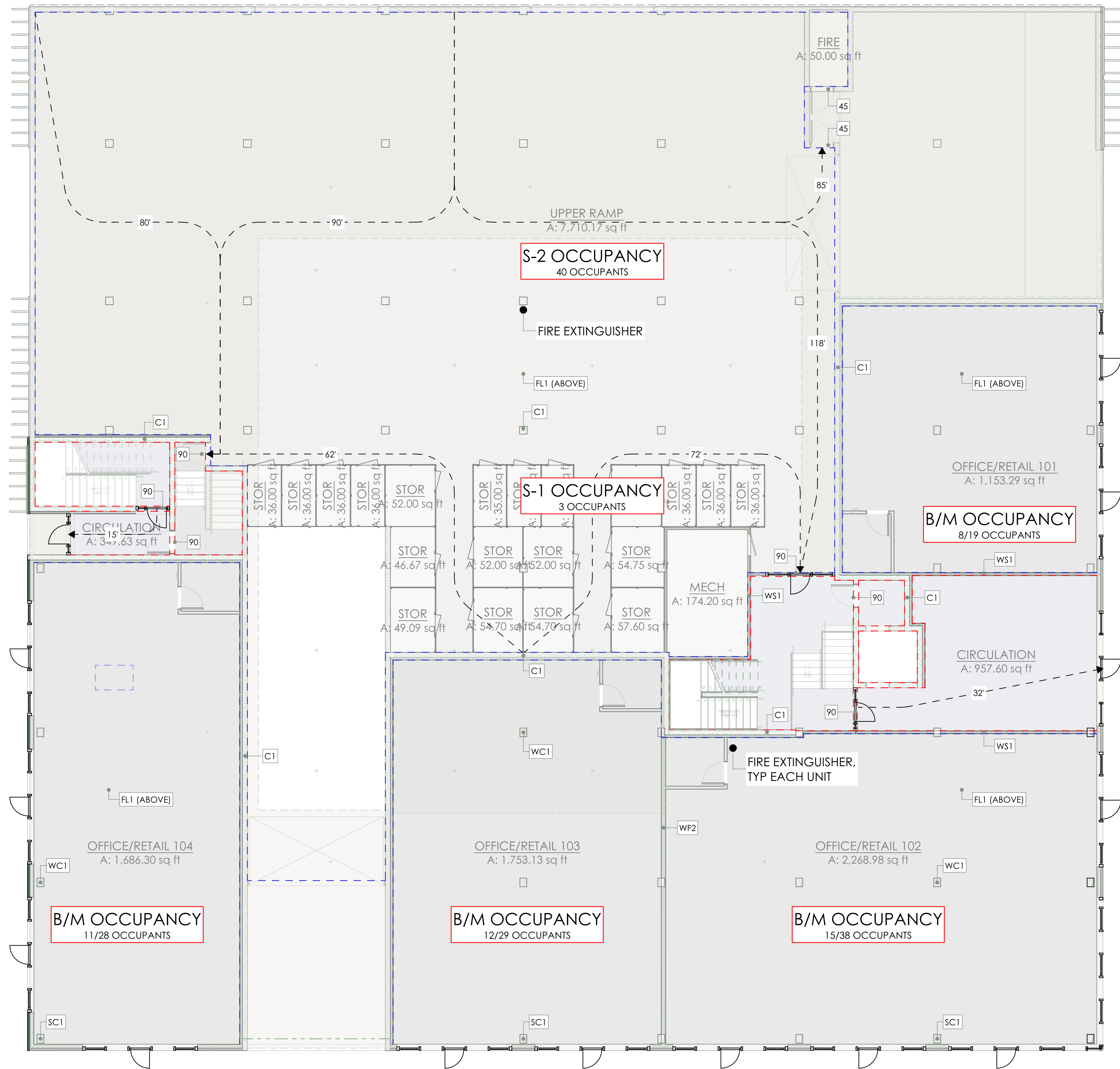
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MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

A005

FIRST FLOOR LIFE
SAFETY PLAN



FIRE RATED ASSEMBLIES
SCALE: 1" = 1'-0"

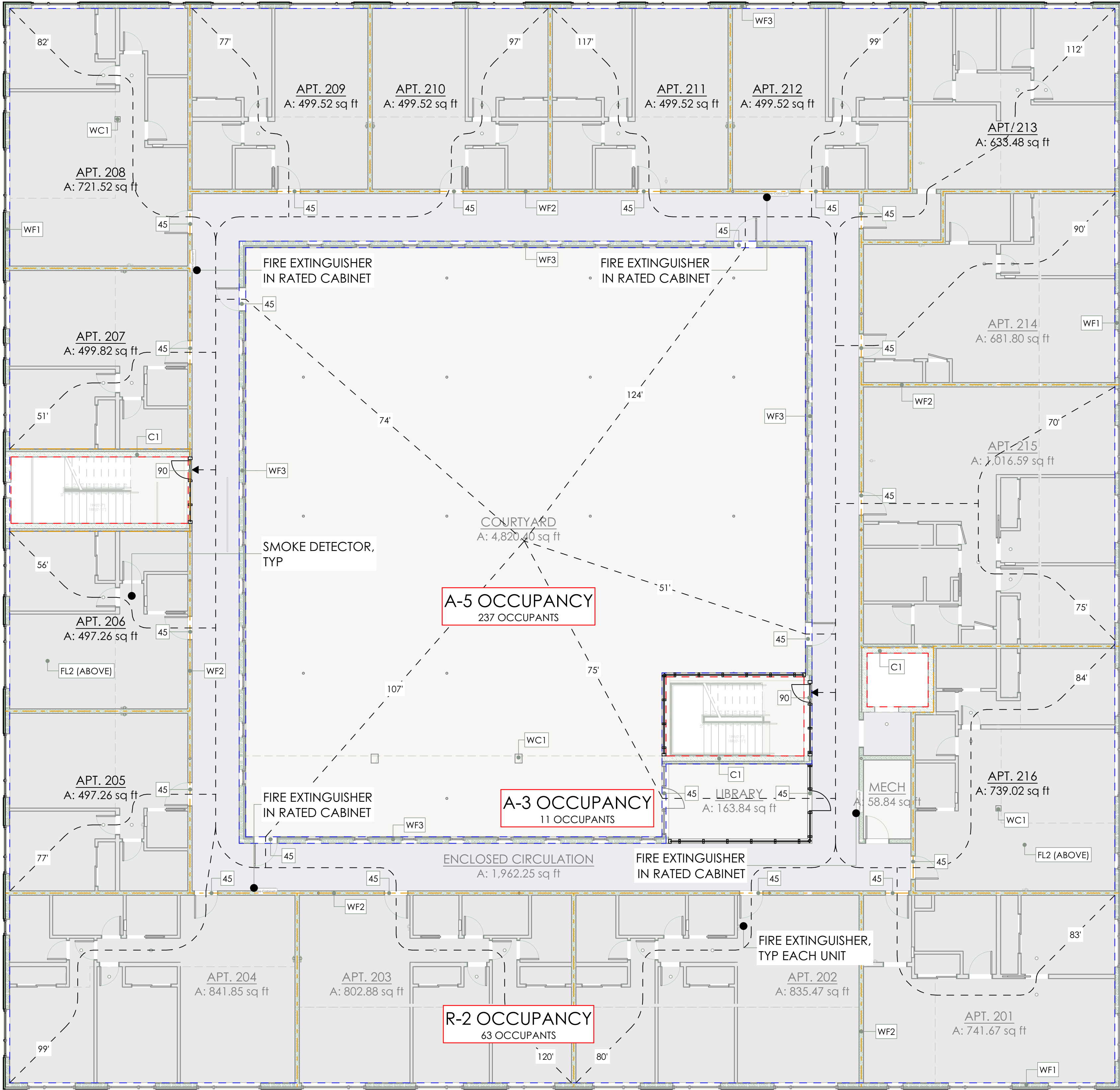
FIRE SEPARATION KEY

- 2HR FIRE SHAFT
- 1HR FIRE WALL
- 1HR PARTITION

FIRST FLOOR LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"

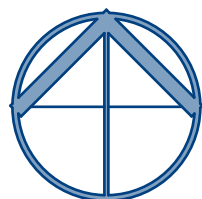
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8	CONCEPTUAL UPDATE	9-25-
9	DRC SUBMITTAL	11-6-
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11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20



FIRE SEPARATION KEY

- 2HR FIRE SHAFT - - - - -
- 1HR FIRE WALL - - - - -
- 1HR PARTITION - - - - -



SECOND FLOOR LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

REVISION HISTORY

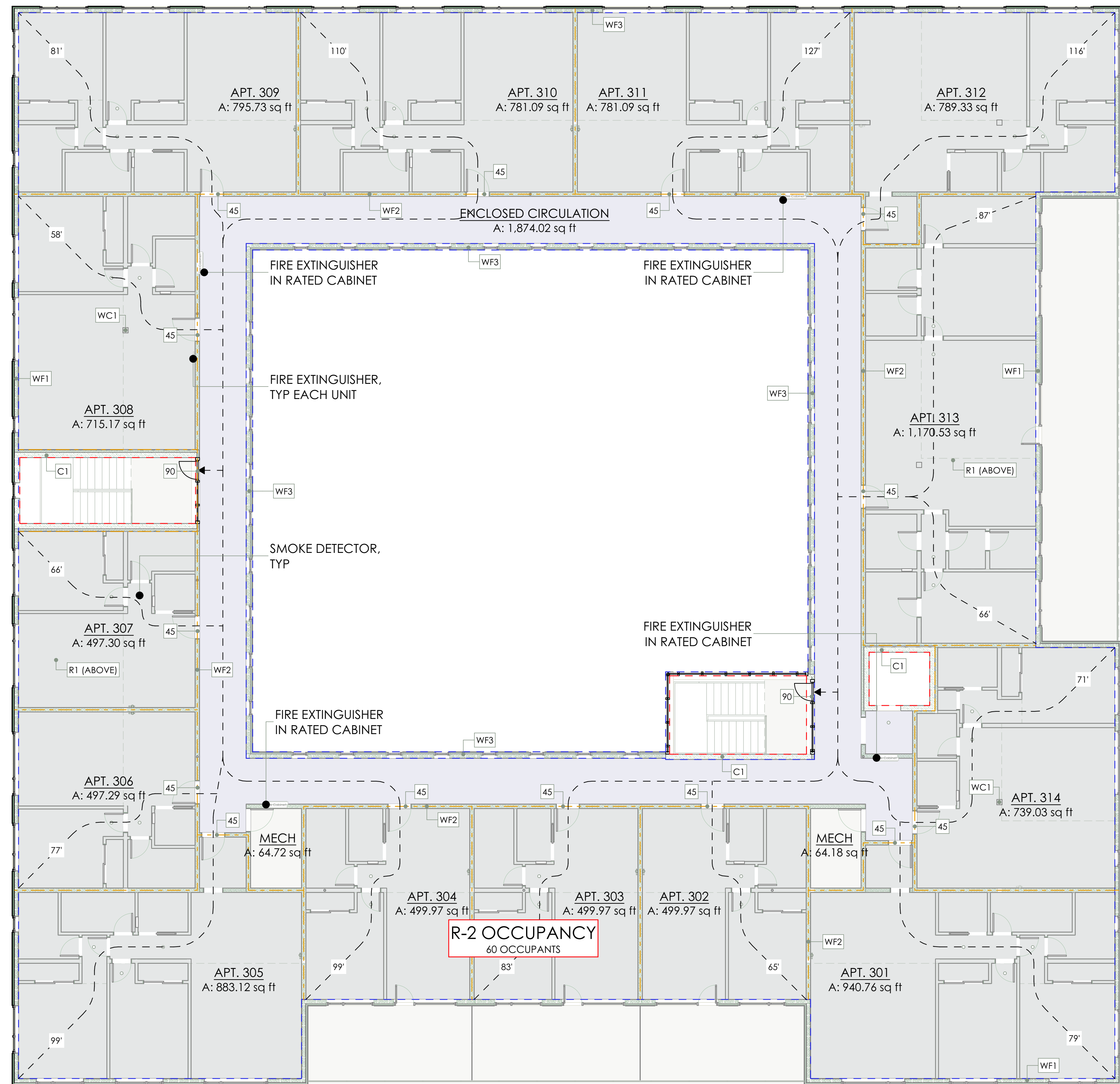
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6	CONCEPTUAL UPDATE	7-22-
7	CONCEPTUAL UPDATE	7-24-
8	CONCEPTUAL UPDATE	9-25-
9	DRC SUBMITTAL	11-6-
10	PRE-APP SUBMITTAL	11-15-
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

PERMIT SET

14-20

A007

THIRD FLOOR LIFE SAFETY PLAN

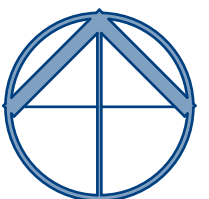


FIRE SEPARATION KEY

2HR FIRE SHAFT

1 HR FIRE WALL

1 HR PARTITION



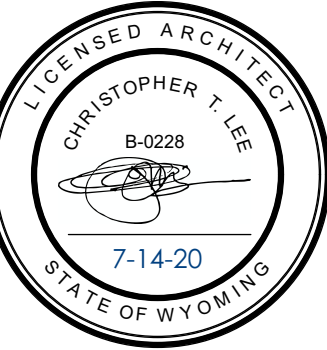
THIRD FLOOR LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

CODE COMPLIANCE	
2018 IBC 2009 ICC A117.1	CHAPTER 11 ACCESSIBLE & USABLE BUILDINGS & FACILITIES
<u>ACCESSIBLE ROUTE (IBC SECTION 1104)</u>	
SITE ARRIVAL POINTS	MULTIPLE ACCESSIBLE ROUTES CONNECT THE STREETS, SIDEWALKS, BUS STOP, & PARKING
CONNECTED SPACES	ALL COMMERCIAL UNITS ARE ACCESSIBLE FROM SIDEWALKS MAIN RESIDENTIAL ENTRANCE IS ACCESSIBLE FROM SIDEWALK
<u>ACCESSIBLE ENTRANCE (IBC SECTION 1105)</u>	
PUBLIC ENTRANCES	ALL PUBLIC ENTRANCES ARE ACCESSIBLE
PARKING GARAGE	BOTH PARKING LEVELS ARE ACCESSIBLE
DWELLING UNITS	BOTH ADA UNITS ARE ACCESSIBLE
<u>PARKING (IBC SECTION 1106)</u>	
ADA PARKING SPOTS	3 REQUIRED INCLUDING 1 VAN SPOT & 1 ON-STREET SPOT
<u>DWELLING UNITS (IBC SECTION 1107)</u>	
ADA DWELLING UNITS	2 TYPE A UNITS REQUIRED (UNIT 201 & 215)
<u>TOILET & BATHING FACILITIES (IBC 1109.2)</u>	
ADA TOILETS	ALL COMMERCIAL UNITS PROVIDE 1 ADA WC BOTH DWELLING UNITS PROVIDE 1 ADA BATH
<u>PLAY AREAS (IBC 1110.4.3)</u>	
COURTYARD	ACCESSIBLE VIA SECOND FLOOR ACCESSES
<u>SIGNAGE (IBC SECTION 1111)</u>	
SIGNS	ACCESSIBLE ELEMENTS TO PROVIDE REQUIRED SIGNAGE AS IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY
DIRECTIONAL SIGNAGE	INACCESSIBLE SECONDARY WEST RESIDENTIAL ENTRANCE TO PROVIDE SIGN INDICATING ROUTE TO MAIN EAST RESIDENTIAL ENTRANCE
<u>BUILDING BLOCKS (ICC A117.1 CHAPTER 3)</u>	
FLOOR SURFACES	STABLE, FIRM, & SLIP RESISTANT FLOORS AS REQ. OPENINGS LESS THAN 1/2"
CHANGES IN LEVEL	1/4" MAX VERTICAL AND 1:2 MAX FOR BEVELED NO RAMPS REQUIRED, ALL SLOPES MAX 1:2
TURNING SPACE	CIRCULAR 60" MIN PROVIDED AT ALL ADA BATHS
CLEAR FLOOR SPACE	48" X 30" MIN
KNEE & TOE CLEARANCE	CLEARANCE PROVIDED AT ALL ADA VANITIES
PROTRUDING OBJECTS	OBJECTS PROTRUDE 4" MAX INTO CIRC PATH
REACH RANGES	UNOBSTRUCTED HEIGHT 48" MAX & 15" MIN OBSTRUCTED HEIGHT 48" MAX WITH 20" DEPTH OBSTRUCTED HEIGHT 44" MAX WITH 20-25" DEPTH
<u>ACCESSIBLE ROUTES (ICC A117.1 CHAPTER 4)</u>	
COMPONENTS & SLOPE	1:20 MAX RUNNING SLOPE WITH 1:48 CROSS SLOPE
CLEAR WIDTH	36" MIN WIDTH FOR ALL ACCESSIBLE ROUTES
DOORS & DOORWAYS	32" MIN CLEAR OPENING FOR ALL DOORS
MANEUVERING	CLEARANCES PROVIDED PER 404.2.3
DOOR HARDWARE	ALL HARDWARE TO BE EASY TO USE & ABLE TO GRASP WITH ONE HAND
CURB RAMPS	1:12 MAX SLOPE - SEE CIVIL DRAWINGS
ELEVATOR	TO COMPLY WITH SECTION 407 - SEE SPECS INT DIMS MIN 51"x68" WITH OFF-CENTER DOOR
<u>GENERAL SITE & BUILDING ELEMENTS (ICC A117.1 CHAPTER 5)</u>	
PARKING SPACES	96" WIDE WITH 60" ACCESS AISLE VAN SPACE IS 96" WIDE WITH 96" WIDE AISLE
FLOOR SURFACES	PARKING SPACES & ACCESS AISLES NOT SLOPED MORE THAN 1:48
VERTICAL CLEARANCE	98"+ PROVIDED ON LOWER LEVEL PARKING
IDENTIFICATION	ADA PARKING SPACES TO BE IDENTIFIED BY SIGNS VAN PARKING TO IDENTIFIED WITH VAN SIGN
STAIRWAYS	ALL STEPS UNIFORM IN RISER HEIGHT BETWEEN 6-7" AND TREAD DEPTH OF 11"
TREAD SURFACE	NOT SLOPED MORE THAN 1:48
VISUAL CONTRAST	LEADING 2" TO HAVE DARK-ON-LIGHT CONTRAST
LIGHTING	ADEQUATE LIGHTING PROVIDED - SEE ELECTRICAL
HANDRAILS	MEETS REQ OF SECTION 505 - 36" IN HEIGHT ON BOTH SIDES OF STAIRS & CONTINUOUS WITH MIN 1.5" CLEARANCE FROM WALL
HANDRAIL EXTENSIONS	HANDRAILS EXTEND AT TOP OF STAIRS 12" AND BOTTOM OF STAIRS ONE TREAD DEPTH

PLUMBING ELEMENTS & FACILITIES (ICC A117.1 CHAPTER 6)	
TOILET & BATHING ROOMS	REQ CLEARANCES INDICATED ON PLAN
MIRRORS	ALL LAVATORIES MAX 35" ABOVE FLOOR
TOILETS	CENTERLINE 17" FROM WALL WITH 60" CLEAR W/D SEAT HEIGHT 17-19" ABOVE FLOOR
GRAB BARS	INSTALLED AS REQ PER 604.5
LAVATORIES & SINKS	CLEAR FLOOR SPACE PROVIDED AS REQ PER 606.2 HEIGHT MAX 34" ABOVE FLOOR
SHOWER COMPARTMENTS	TRANSFER-TYPE SHOWER 36" X 36" CLEAR WITH MIN 36" X 48" CLEARANCE AS SHOWN ON PLAN SEAT PROVIDED ON WALL OPPOSITE CONTROLS STANDARD ROLL-IN SHOWER 60" X 30" CLEAR WITH MIN 60" X 30" CLEARANCE AS SHOWN ON PLAN SEAT PROVIDED ON WALL OPPOSITE CONTROLS
GRAB BARS	INSTALLED AS REQ PER 608.3
CONTROLS & HAND SH.	INSTALLED AS REQ PER 608.4
THRESHOLDS	HEIGHT 1/2" MAX & BEVELED OR ROUNDED
SHOWER ENCLOSURES	INSTALLED AS TO NOT OBSTRUCT CONTROLS OR TRANSFER FROM WHEELCHAIR TO SEAT
WATER TEMPERATURE	120 DEGREES MAX
GRAB BARS	CIRCULAR 1.5" DIA WITH 1.5" MIN CLEAR TO WALL 12" CLEAR TO OBJECTS ABOVE AND INSTALLED 33"-36" ABOVE FLOOR
SEATS	INSTALLED AS REQ PER 610.3
WASHERS & DRYERS	FRONT LOADING HT 15"-36", CLEARANCE ON PLAN
COMMUNICATION ELEMENTS & FEATURES (ICC A117.1 CHAPTER 7)	
ALARMS	INSTALLED AS REQ PER 702.1
SIGNS	INSTALLED AS REQ PER 703
DETECTABLE WARNINGS	INSTALLED AS REQ PER 705
TWO-WAY COMM	INSTALLED AS REQ PER 708
SPECIAL ROOMS & SPACES (ICC A117.1 CHAPTER 8)	
KITCHENS	PASS-THRU KITCHEN PROVIDE 40" MIN CLEARANCE U-SHAPED KITCHEN PROVIDE 60" MIN CLEARANCE
WORK SURFACE	AS SHOWN ON PLAN
SINKS	MAX 34" ABOVE FLOOR WITH PROPER CLEARANCE
APPLIANCES	INSTALLED AS REQ PER 804.5
BUS BOARDING AREA	FIRM, STABLE SURFACE 96" X 60" MIN CLEARANCE NOT SLOPED MORE THAN 1:48
BUILT-IN FURNISHINGS & EQUIPMENT (ICC A117.1 CHAPTER 9)	
DINING/WORK SURFACES	INSTALLED 28"-34" IN HT WITH PROPER CLEARANCE
STORAGE FACILITIES	INSTALLED AS REQ PER 905
DWELLING UNITS & SLEEPING UNITS (ICC A117.1 CHAPTER 10)	
TYPE A UNITS	COMPLY AS REQ PER 1003 ACCESSED VIA MAIN ACCESSIBLE CIRC PATH WITH COMPONENTS MAX 1:20 SLOPE AT LEAST ONE ADA BATH PER UNIT WORK SURFACE 30" WIDE MIN SINK 30" WIDE MIN
ACCESSIBLE COMM	INSTALLED AS REQ PER 1006
RECREATIONAL FACILITIES (ICC A117.1 CHAPTER 11)	
PLAY AREAS	SHALL COMPLY PER 1108 44" MIN CLEARANCE SURROUNDING PLAY EQUIP





REVISION HISTORY

MS	CHANGE	DATE
1	CONCEPTUAL	5-23-
2	CONCEPTUAL UPDATE	6-21-
3	CONCEPTUAL UPDATE	6-26-
4	CONCEPTUAL UPDATE	7-8-11
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9	DRC SUBMITTAL	11-6-
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12	DRC RESUBMITTAL	6-3-20

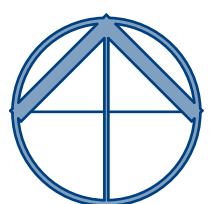
MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON WY

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7-14-20

A 100

EXISTING CONDITIONS



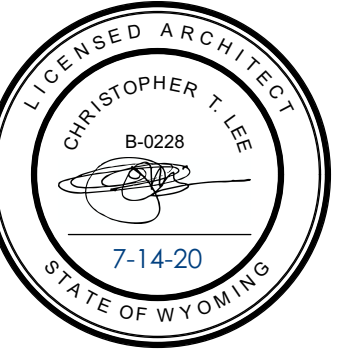
EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: 1" = 20'

SITE PLAN

SITE PLAN

SCALE: 1" = 10'



REVISION HISTORY

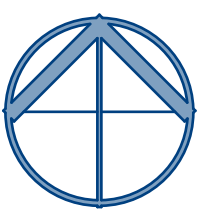
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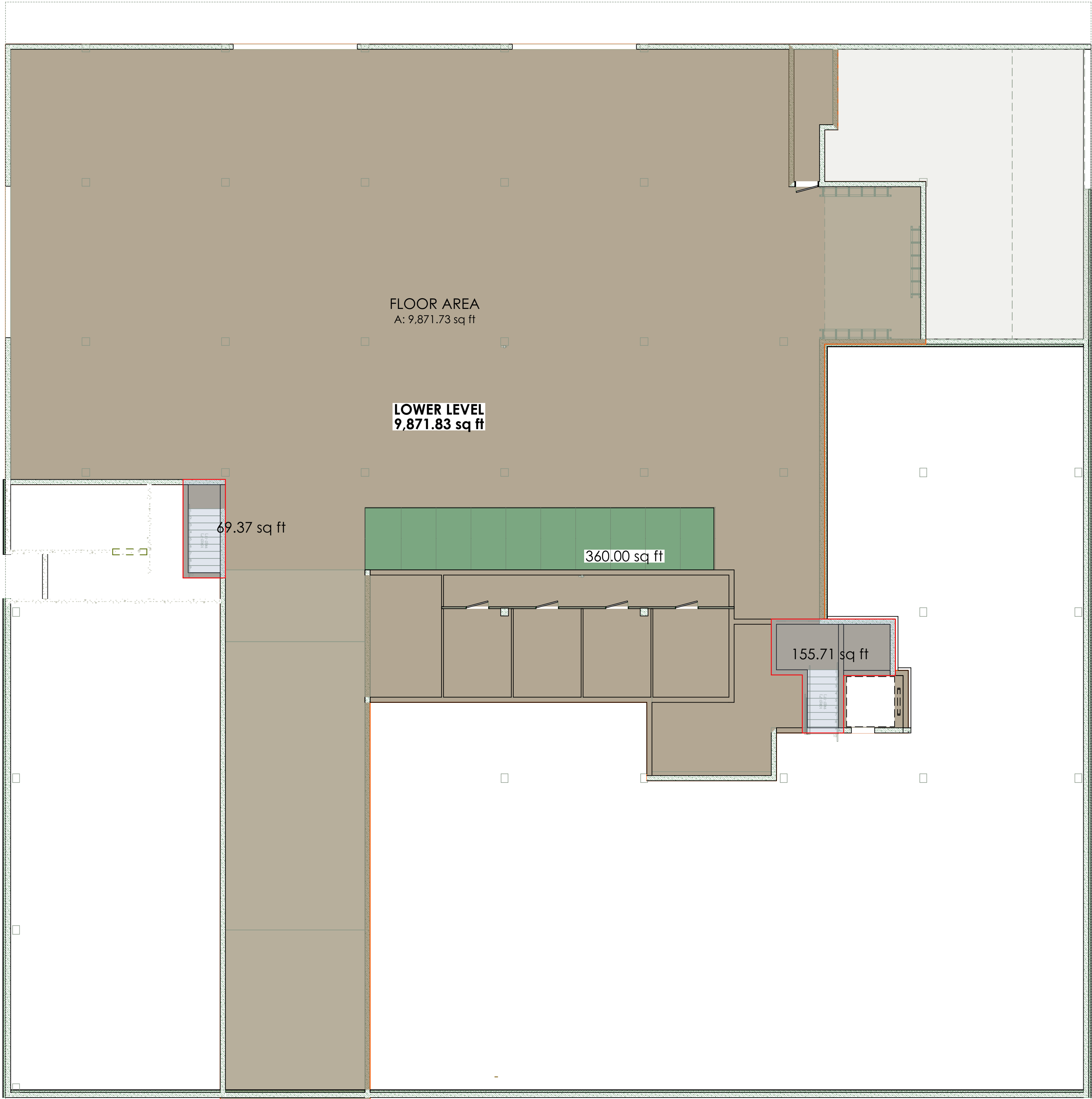
A102

CONSTRUCTION PLAN

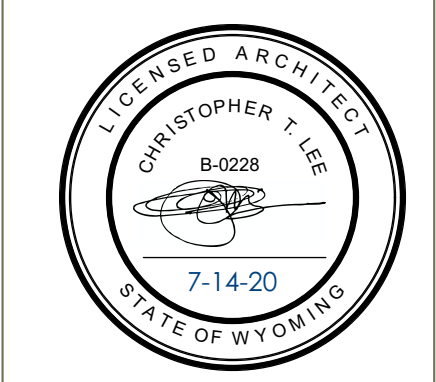


SITE CONSTRUCTION PLAN

SCALE: 1" = 20'



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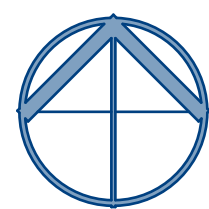
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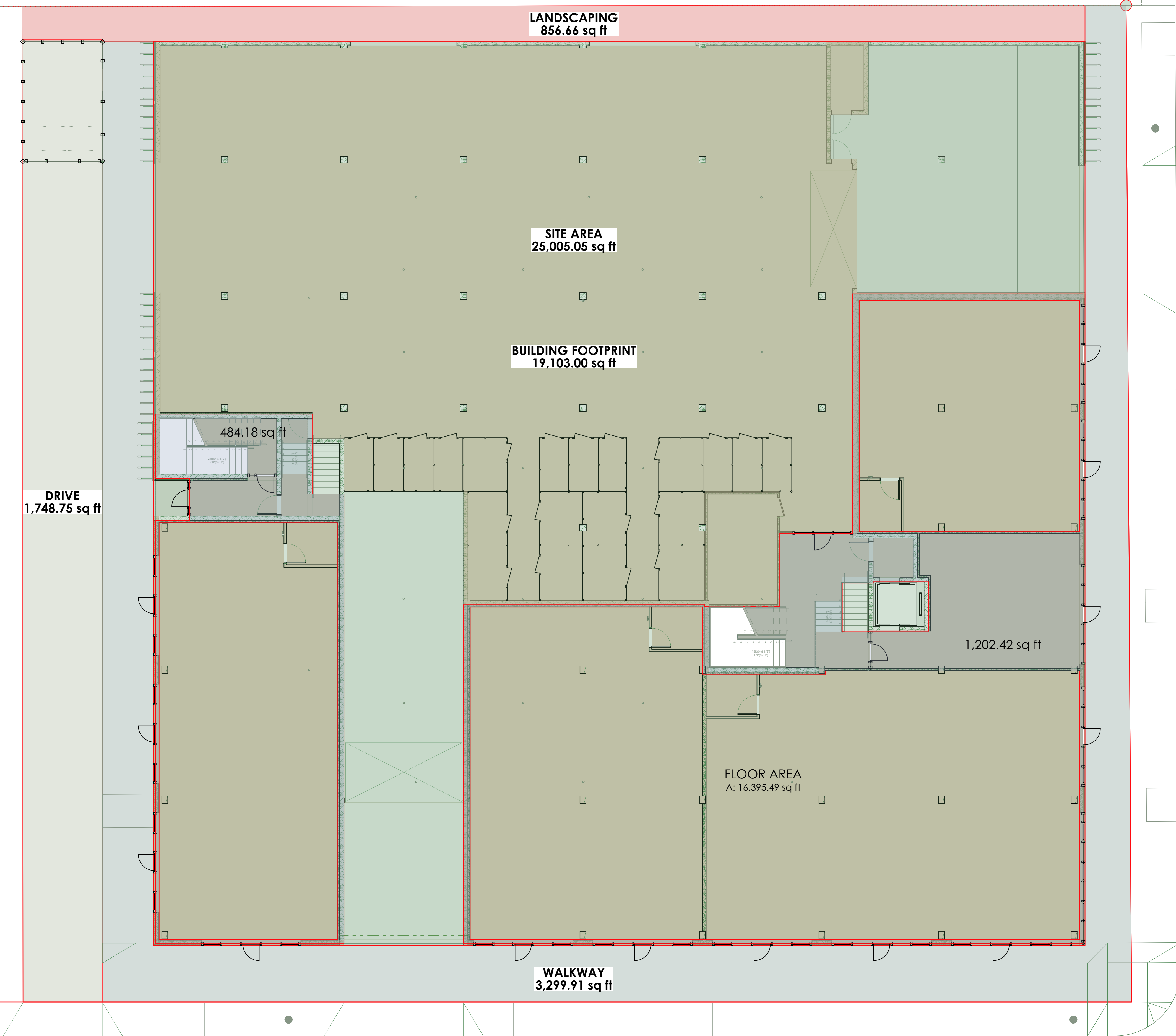
PERMIT SET
7-14-20

A103

LOWER PARKING
AREA PLAN



LOWER PARKING AREA PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR AREA PLAN

SCALE: 1/8" = 1'-0"

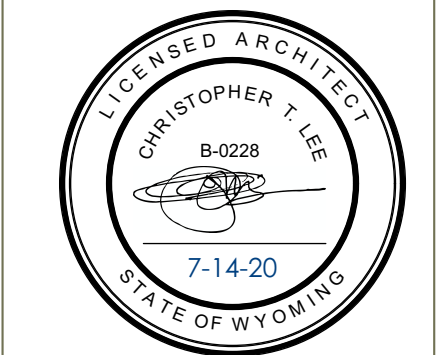


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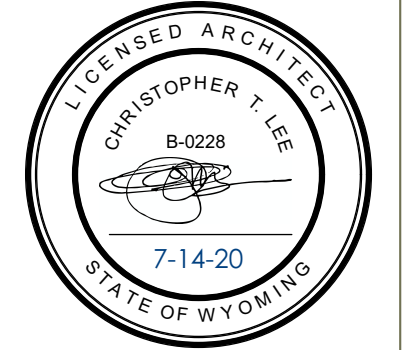
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7-14-20

A104

FIRST FLOOR AREA
PLAN

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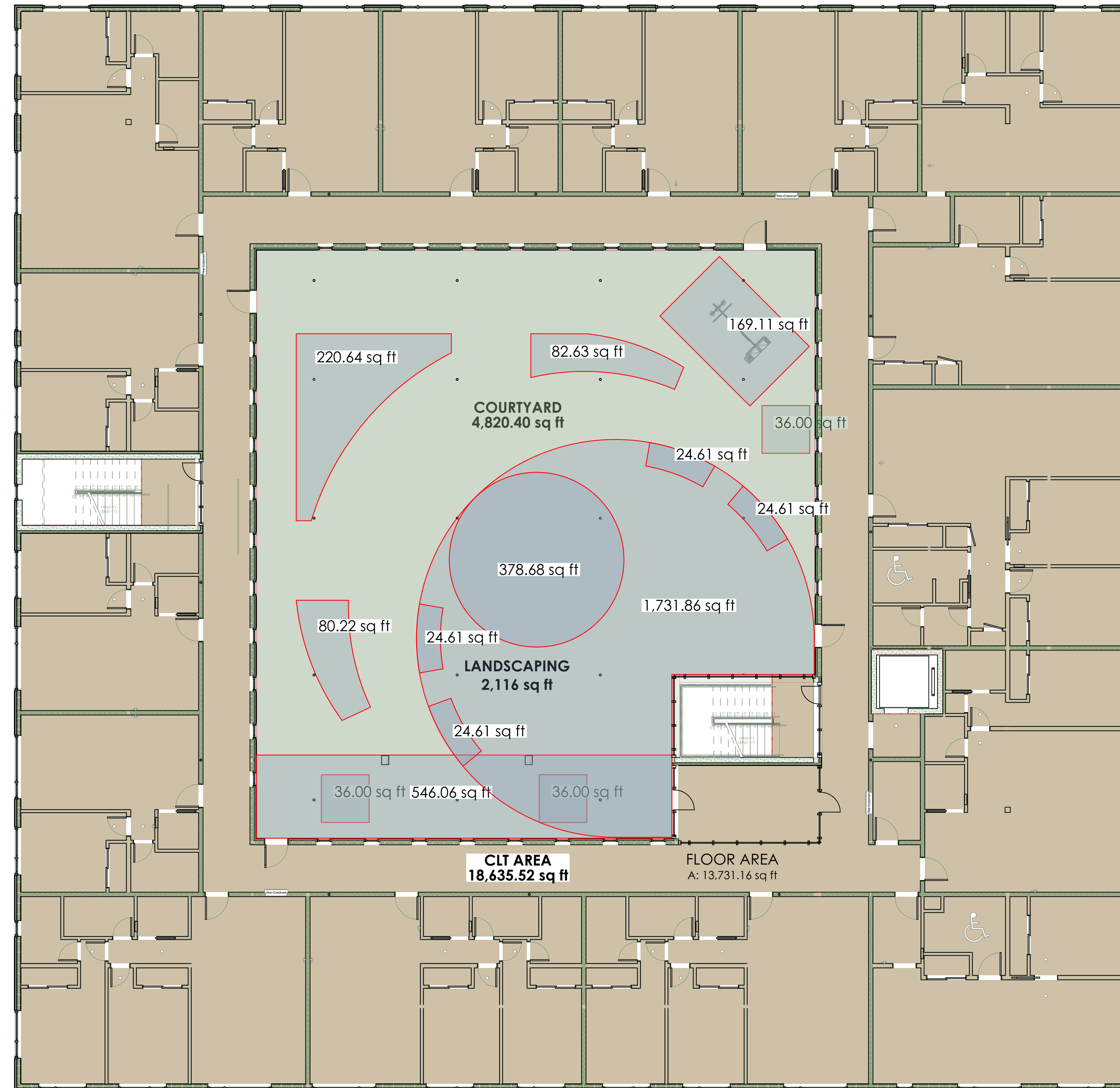
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7-14-20

A105

SECOND FLOOR AREA PLAN



SCALE: 1/8" = 1'-0"

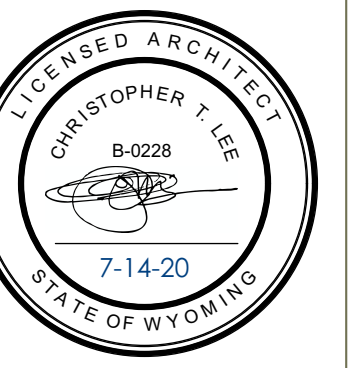




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10	PRE-APP SUBMITTAL	11-15-19
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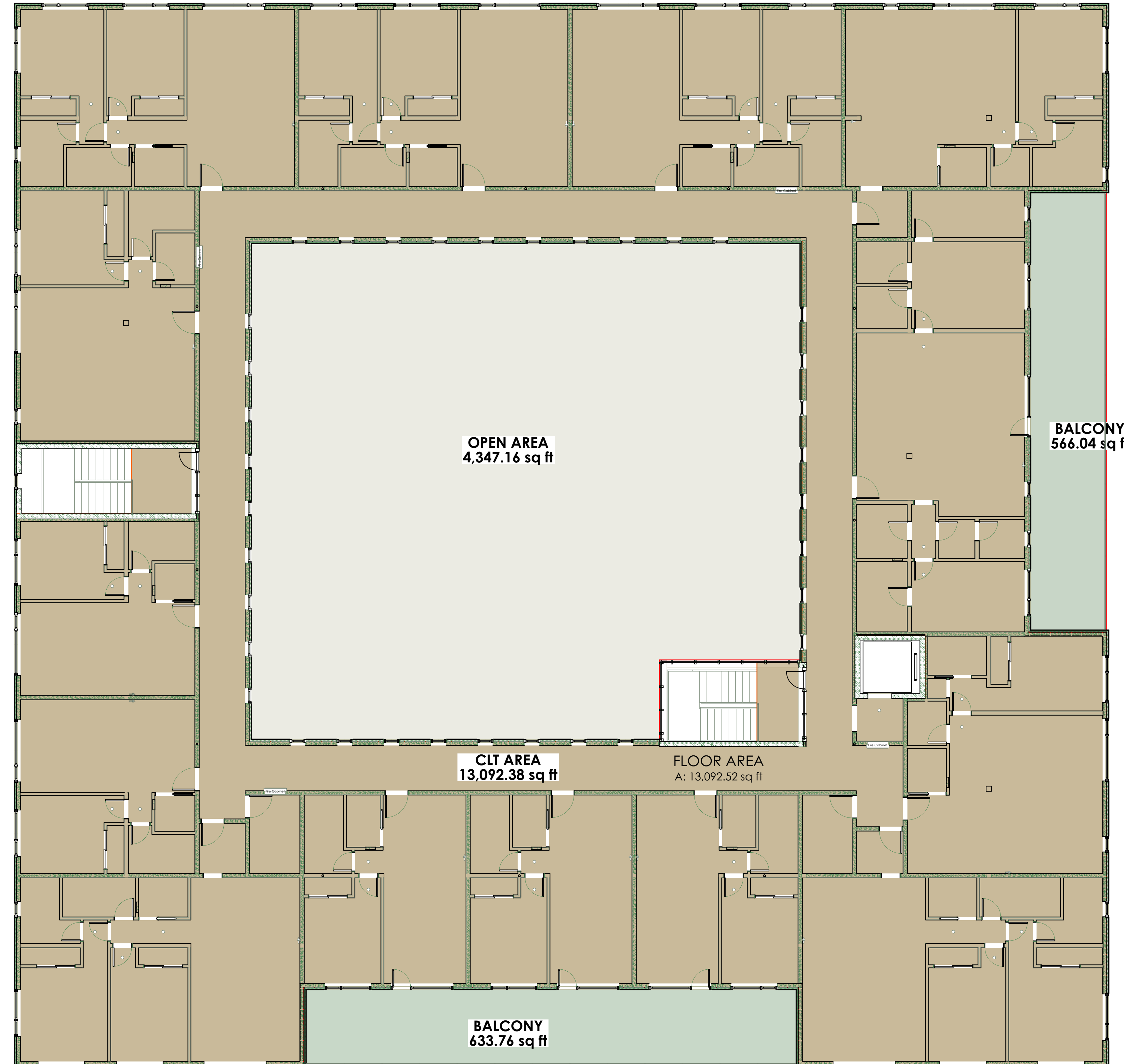
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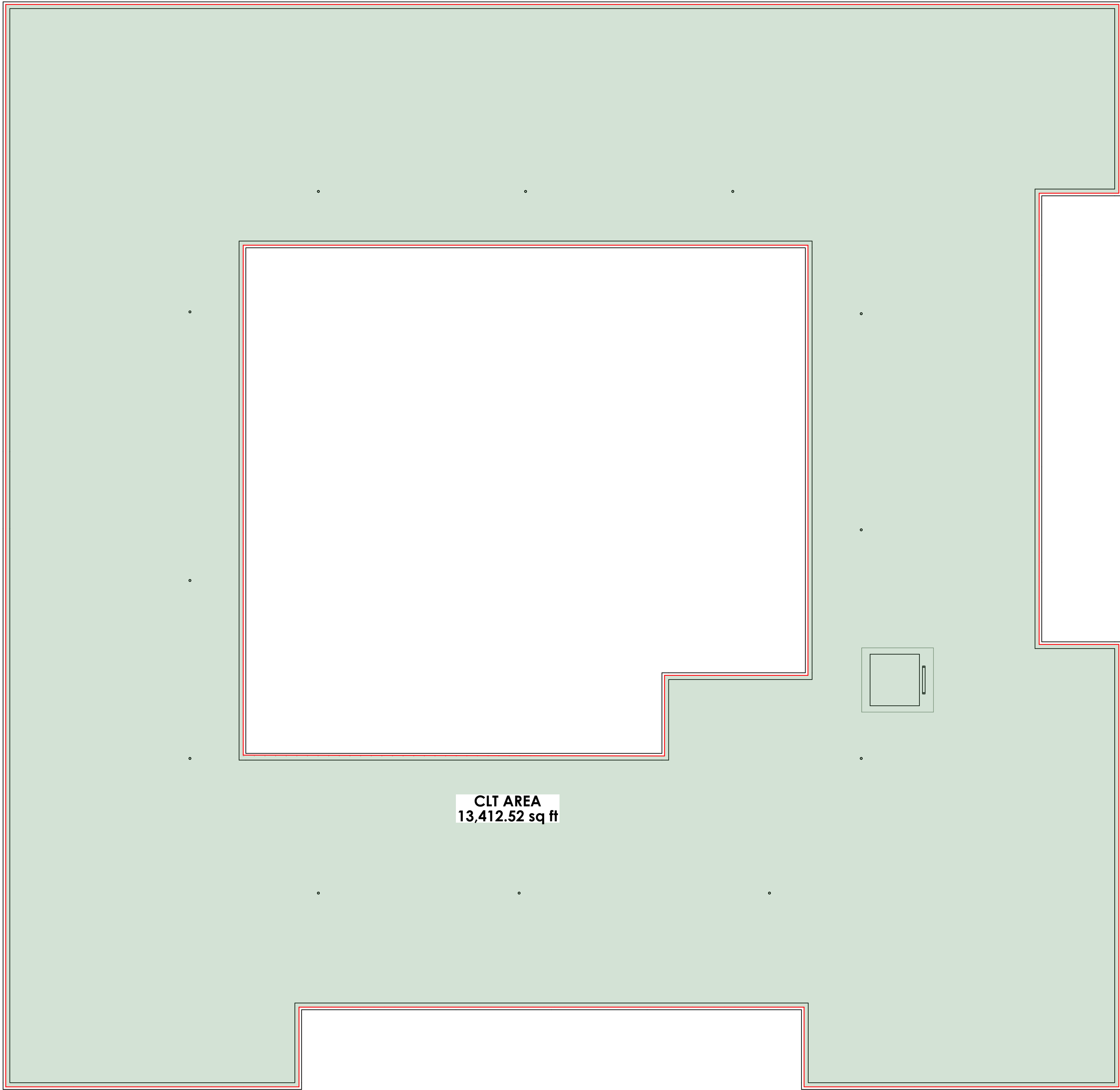
THIRD FLOOR AREA PLAN



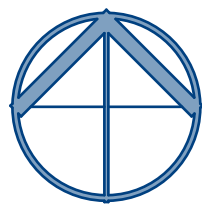
THIRD FLOOR AREA PLAN

SCALE: 1/8" = 1'-0"





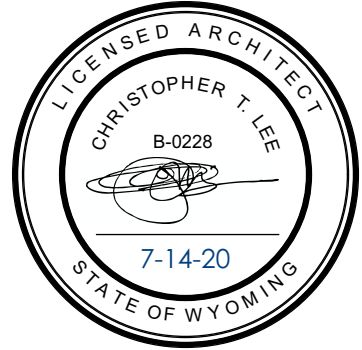
CLT AREA
13,412.52 sq ft



ROOF AREA PLAN
SCALE: 1/8" = 1'-0"



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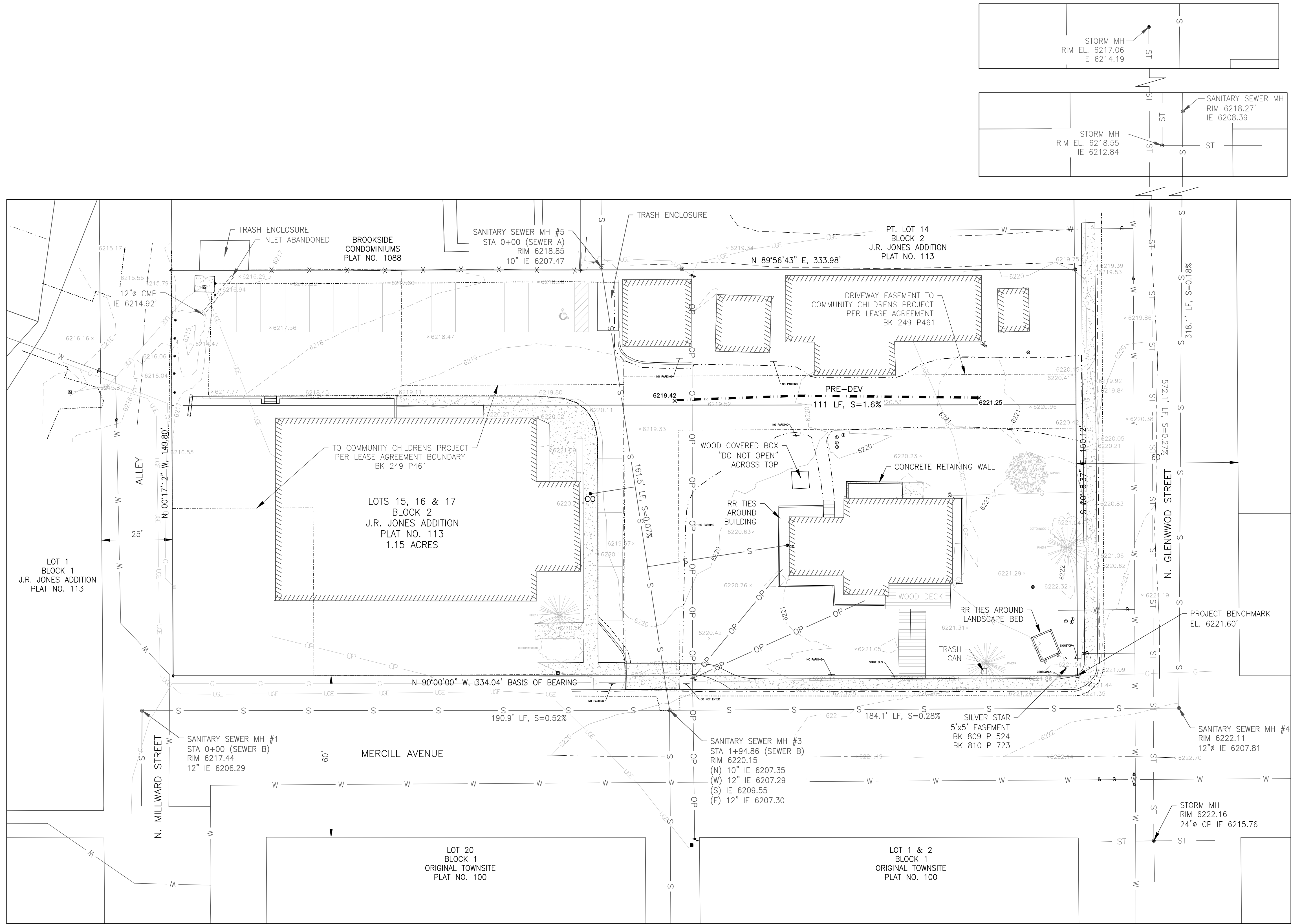
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12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
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105 MERCILL AVE JACKSON, WY

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A107

ROOF AREA PLAN

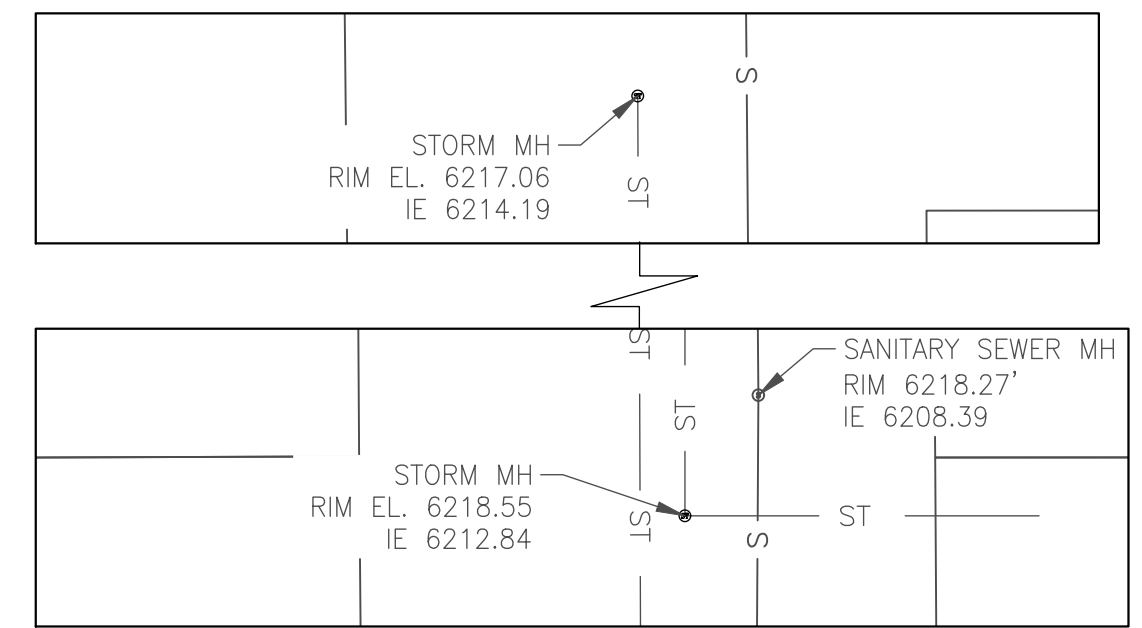


0 20 40
Scale: 1 inch = 20 Feet (24x36")

NOTE:
THIS MAP WAS PREPARED WITHOUT BENEFIT OF TITLE
REPORT AND IS SUBJECT TO ANY OTHER EASEMENTS,
RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY, AND
CONDITIONS OF SIGHT AND/OR OF RECORD INCLUDING,
BUT NOT LIMITED, TO THOSE SHOWN HEREON;

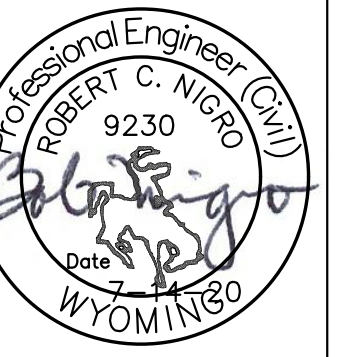
BUILDING SETBACKS PER TOJ CR-2 COMMERCIAL
RESIDENTIAL ZONE

0-10' PRIMARY STREET
0-10' SECONDARY STREET
5' SIDE INTERIOR
10' REAR
10' ABUTTING PROTECTED ZONE



LEGEND

- = PROPERTY BOUNDARY
- - - = EASEMENT LINE
- X X = FENCE WOOD PRIVACY
- OP OP = OVERHEAD POWER LINE
- S = SANITARY SEWER LINE
- ST ST = STORM SEWER LINE
- W = WATER LINE PER TOJ GIS
- - - = CENTERLINE OF ROAD
- - - = EDGE OF PAVEMENT
- - - = FLOW LINE OF GUTTER
- [Pattern] = GRAVEL
- [Pattern] = BUILDING
- [Pattern] = WOOD BOARDWALK/DECK
- [Pattern] = CONCRETE SIDEWALK
- [Pattern] = PAVEMENT
- = BOLLARD
- ⊕ = COMMUNICATION VAULT
- ⊙ = CURB STOP
- ⊞ = ELECTRIC TRANSFORMER
- ⊞ = ELECTRIC STUB
- ⊞ = GAS VALVE
- ⊞ = HYDRANT
- ⊞ = IRRIGATION VALVE
- ⊞ = MONITORING WELL
- ⊞ = POWER POLE
- ⊞ = RR TIES
- ⊞ = SANITARY SEWER CLEANOUT
- ⊞ = SANITARY SEWER MANHOLE
- ⊞ = SIGN WITH TYPE
- ⊞ = STORM SEWER MANHOLE
- ⊞ = WATER VALVE
- ⊞ = YARD HYDRANT
- ⊞ = FOUND T-STAKE 164
- ⊞ = FOUND REBAR WITH CAP 3831
- ⊞ = FOUND REBAR WITH CAP 6447
- ⊞ = FOUND BRASS CAP
- ⊞ = ASPEN TREE W/TRUNK DIA.
- ⊞ = COTTONWOOD TREE W/TRUNK DIA.
- ⊞ = PINE TREE W/TRUNK DIA.



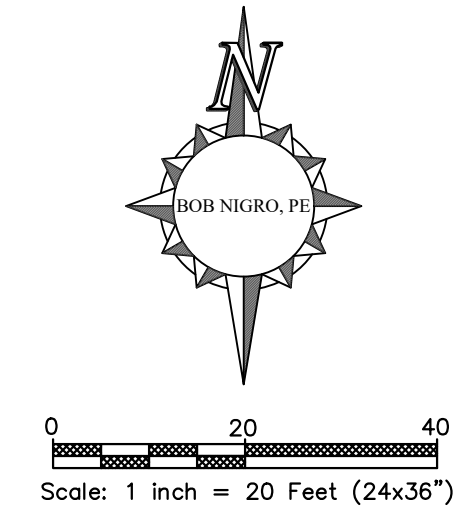
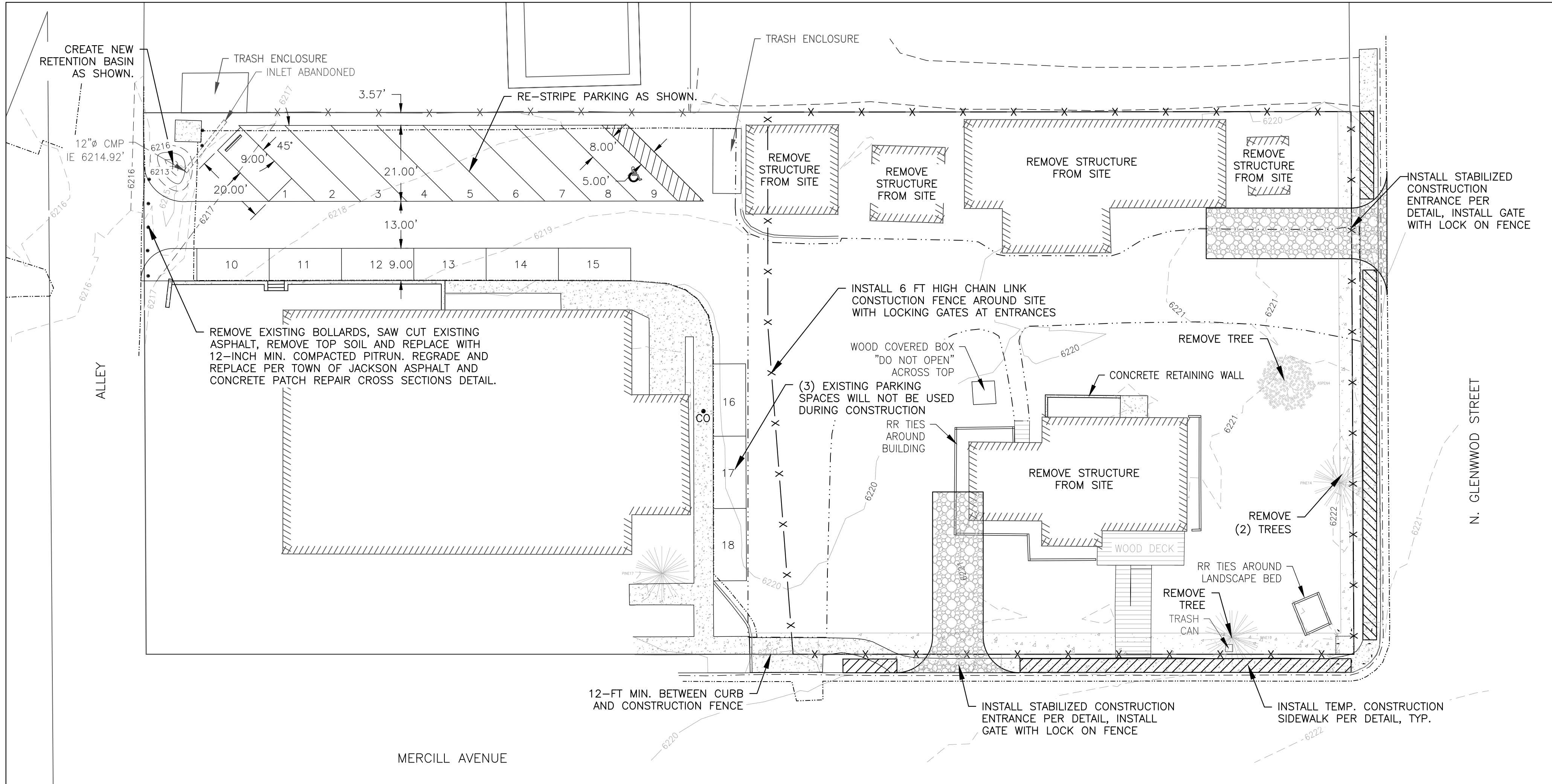
bobnigro@tetonengineering.com
(307) 413-4470

EXISTING CONDITIONS

MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY

7-14-20

C1



DEVELOPMENT SCHEDULE:
LAND DISTURBING ACTIVITIES WILL BEGIN IN THE FALL OF 2020 (PENDING PERMIT APPROVALS) AND COMPLETED IN THE FALL OF 2022. REVEGETATION WILL OCCUR AS SOON AS POSSIBLE AND WILL BE DONE IN THE FALL OF 2022 AND / OR THE SPRING OF 2023.

PROPOSED GRADING PLAN:
EXISTING TOPSOIL WILL BE STRIPPED AND STOCKPILED OFFSITE AS THE FIRST STEP OF LAND DISTURBING ACTIVITIES. A LARGE AMOUNT OF EXCAVATION WILL BE REQUIRED AND THIS MATERIAL WILL BE HAULED OFF SITE. THE GENERAL CONTRACTOR SHALL DOCUMENT THE PROPOSED LOCATION TO HAUL THE MATERIAL.

EXISTING ELEVATIONS WILL BE CHANGED AS NOTED ON THE GRADING DRAWING.

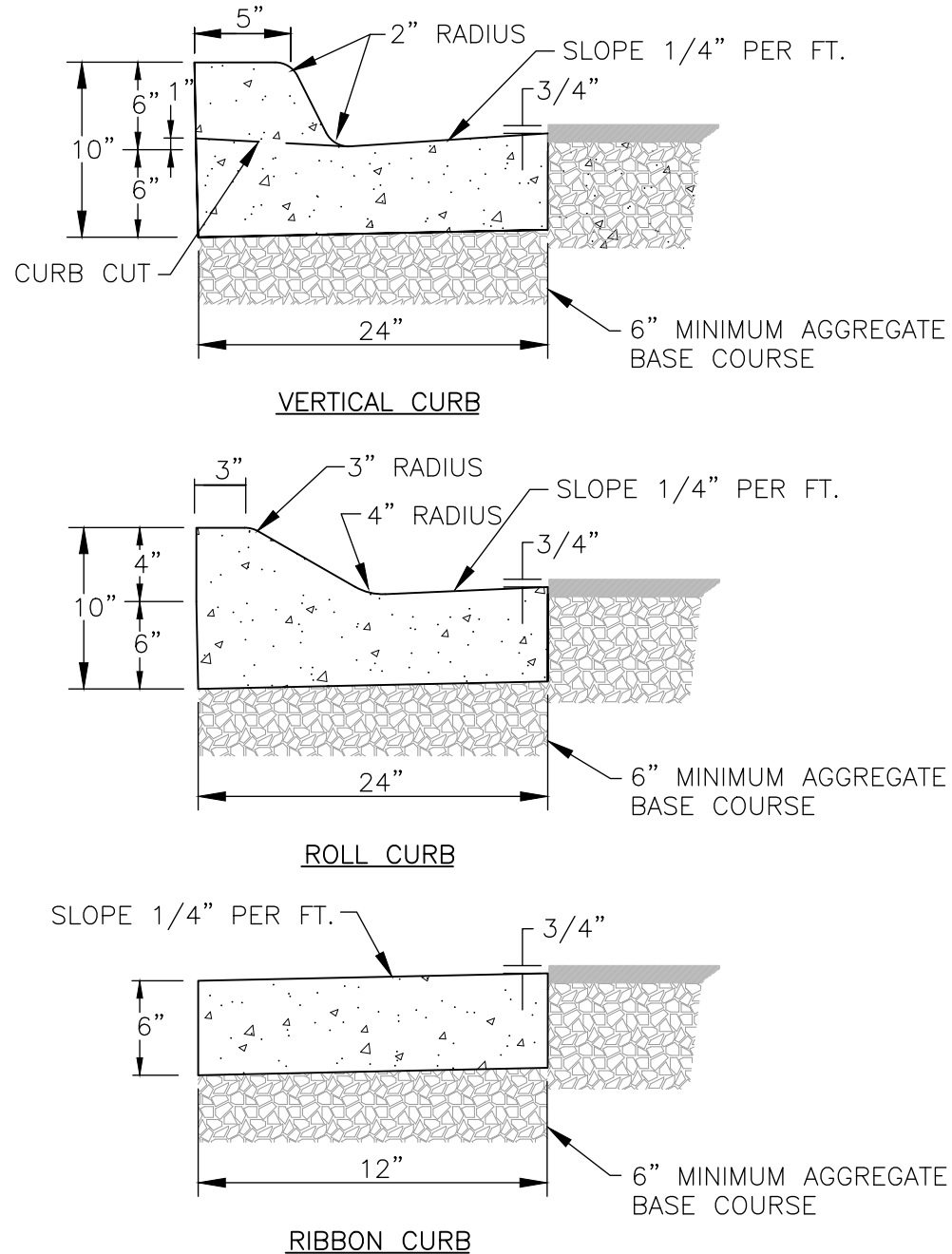
REVEGETATION DETAILS:
ARTICLE IV, SECTION 4130 OF THE LAND DEVELOPMENT REGULATIONS REQUIRES A LANDSCAPE PLAN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT. REFER TO THIS PLAN FOR MORE SPECIFIC INFORMATION REGARDING REVEGETATION.

SITE PREP

MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY

7-14-20

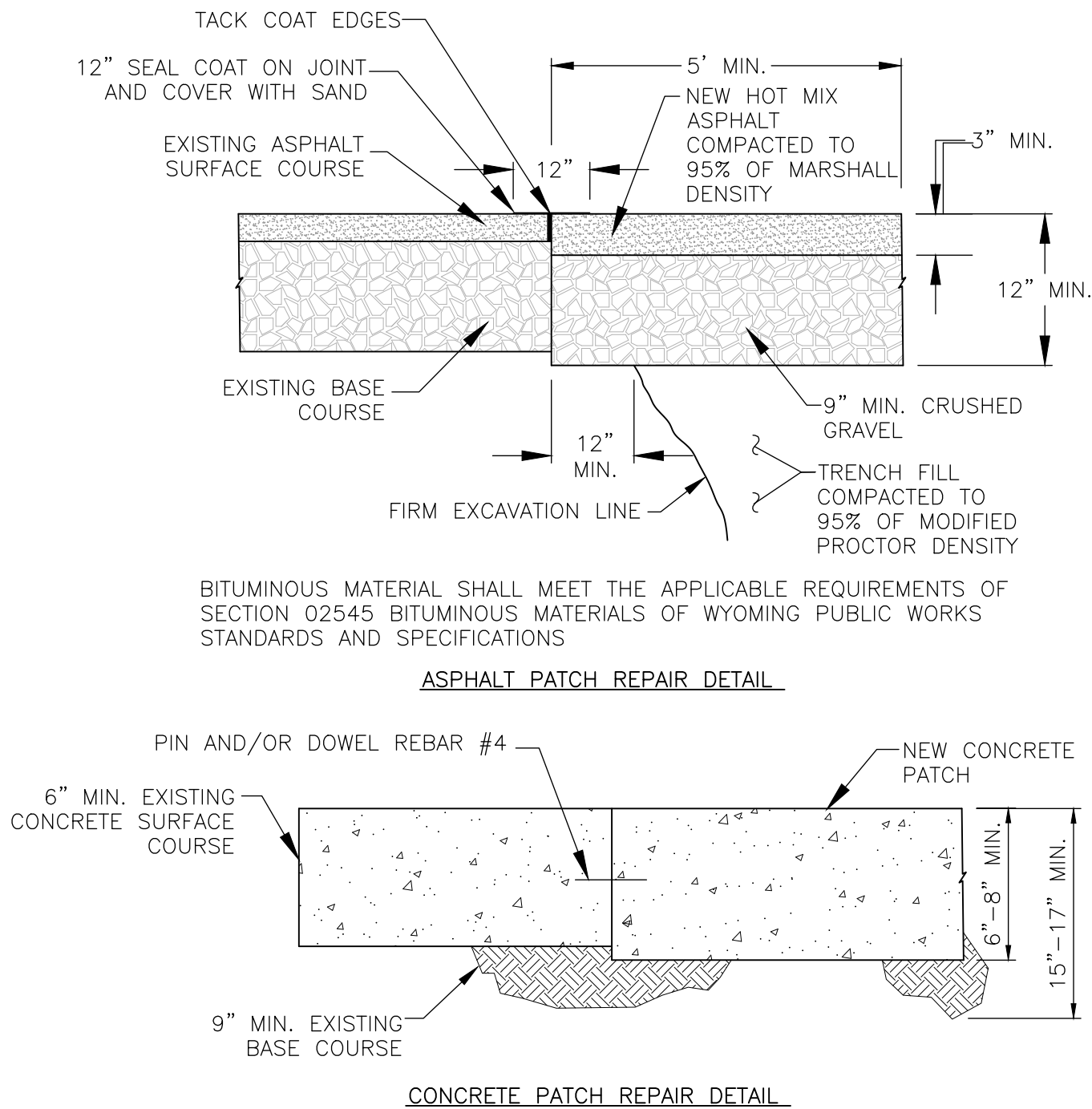
C2



- NOTES:**
1. CURBS SHALL CONFORM TO WPWSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
 2. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 3. REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
 4. VERTICAL CURB SHALL BE USED IN PREFERENCE TO ROLL CURB.

CURB SECTIONS

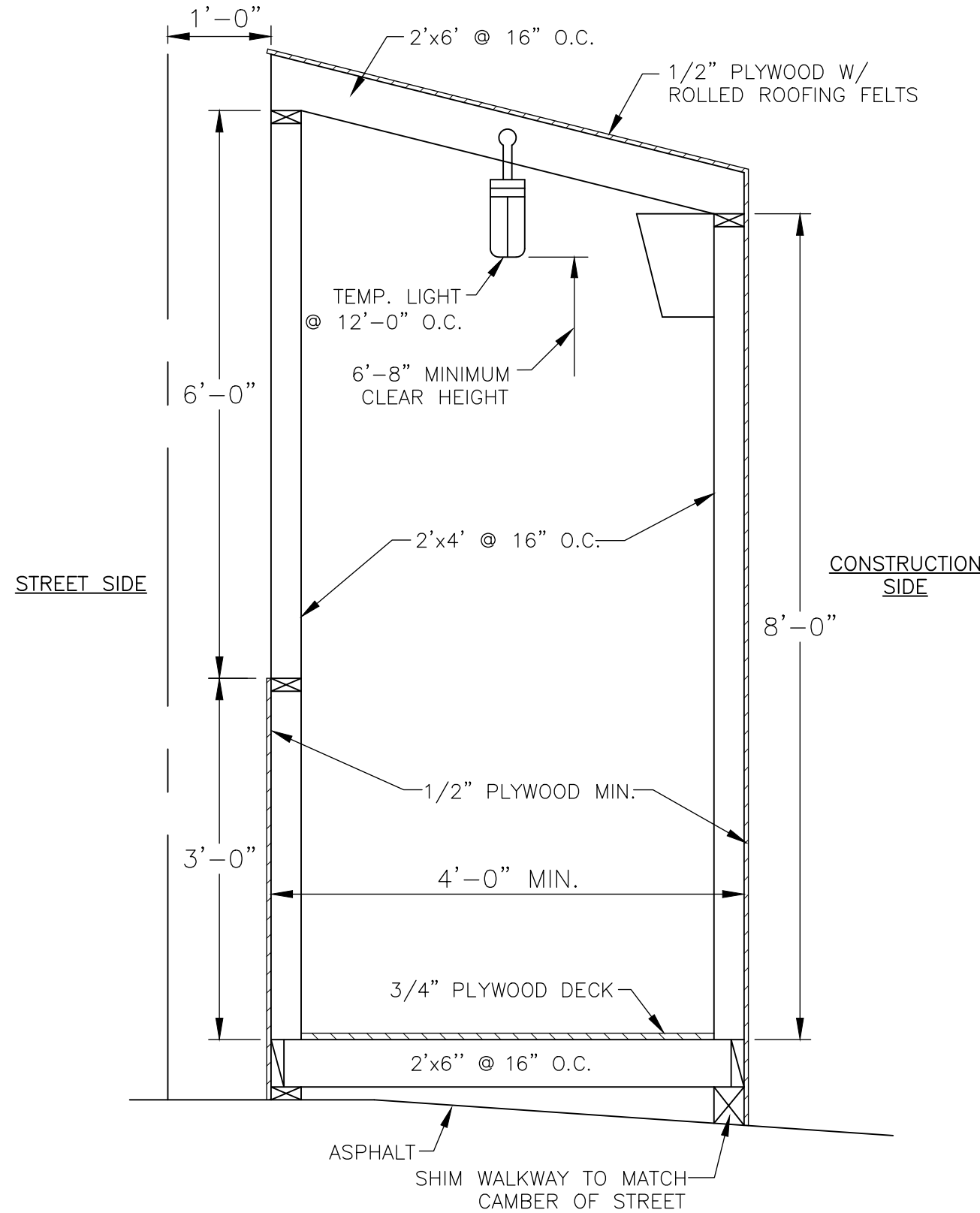
DATE: 3/23/05
SCALE: NTS



- NOTES:**
1. REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM.
 2. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1 1/2" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.
 3. PORTLAND CEMENT CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN PUBLIC WORKS DEPARTMENT.

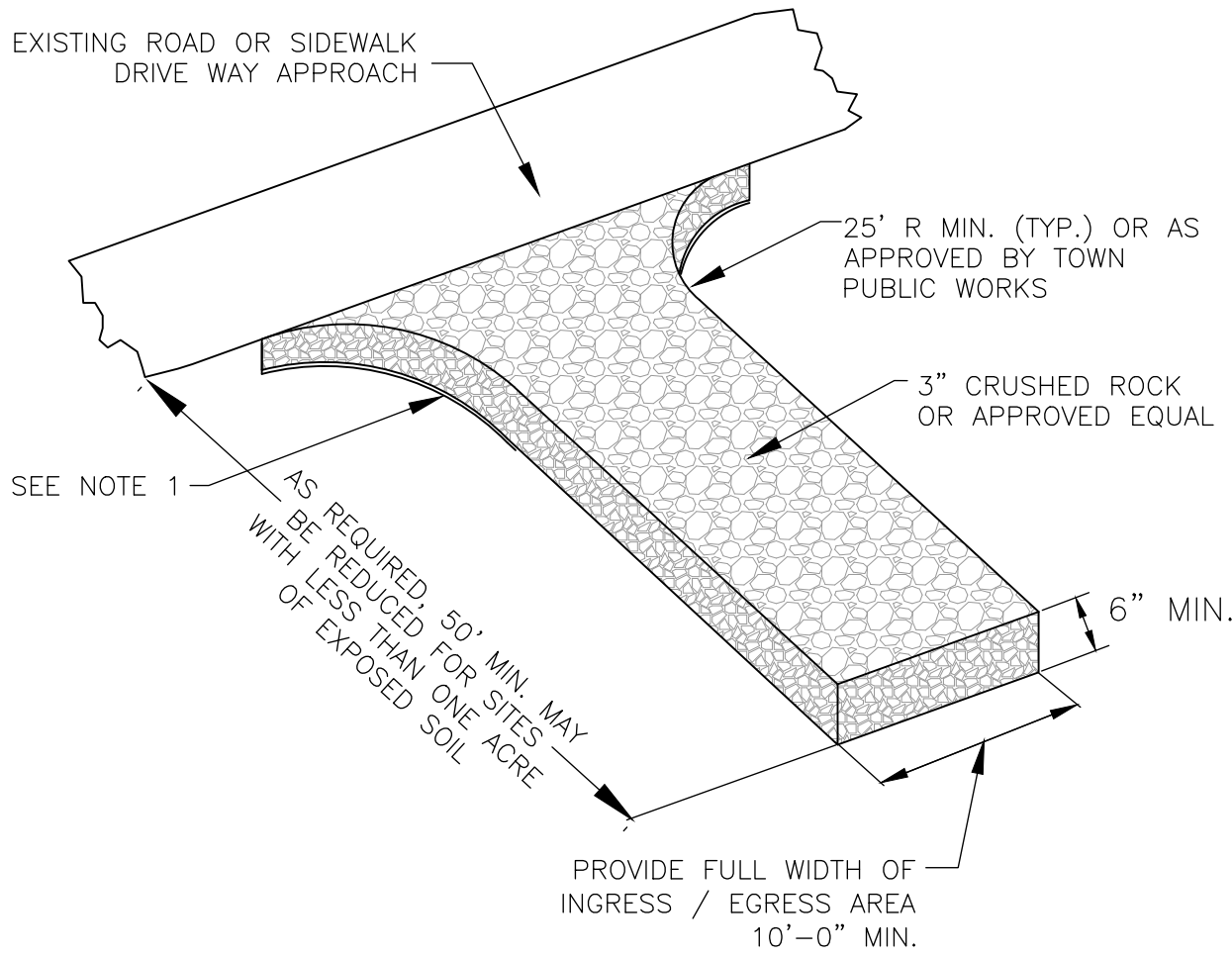
ASPHALT & CONCRETE PATCH REPAIR
CROSS SECTIONS

ST-118 DATE: 12/5/12
SCALE: NTS



TEMP. CONSTRUCTION SIDEWALK

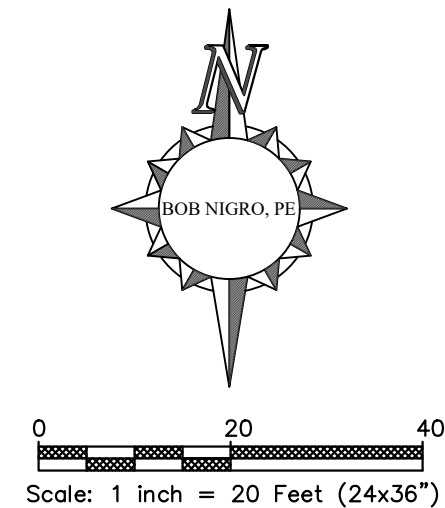
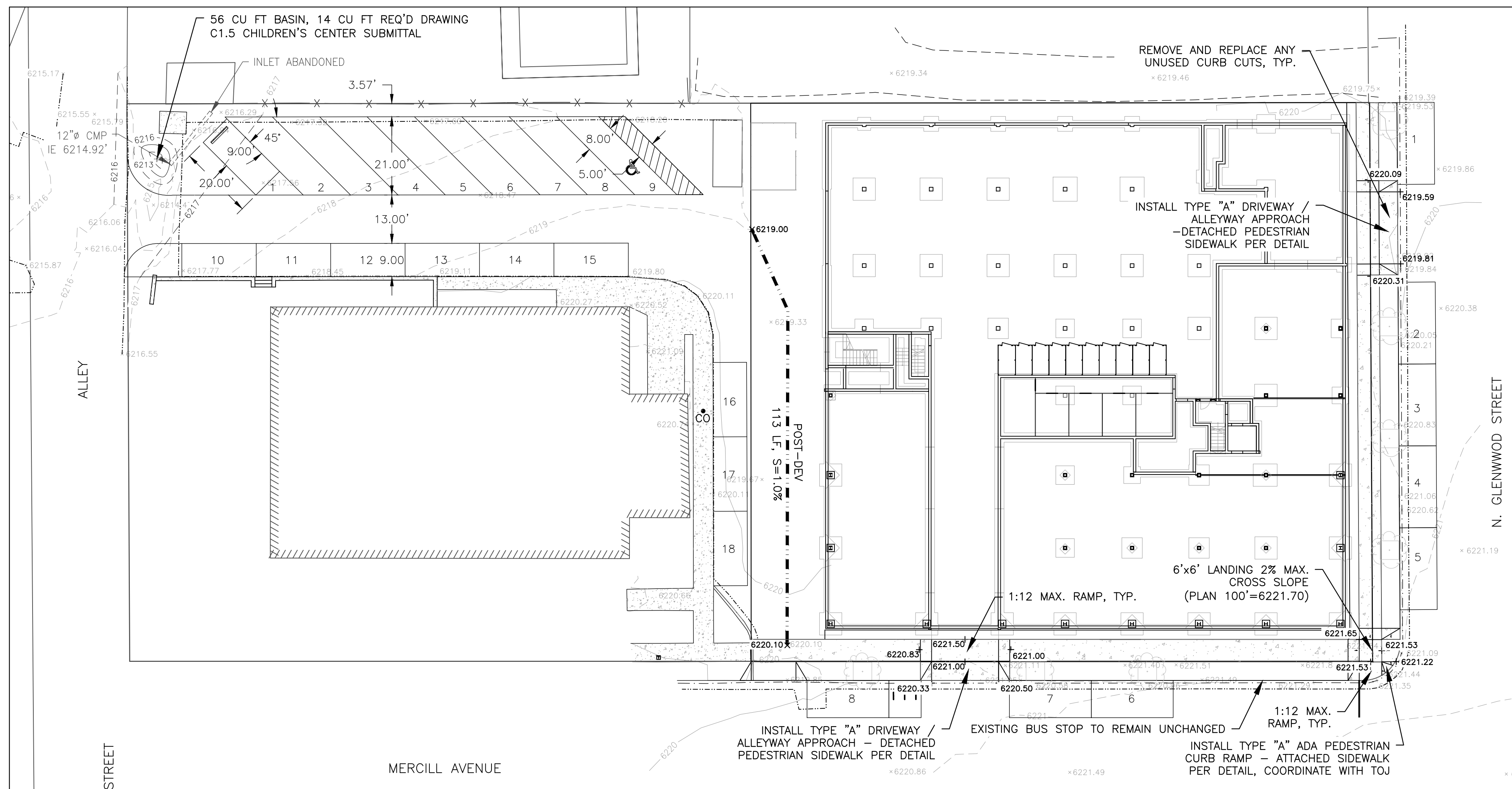
DATE: 3/23/05
SCALE: NTS



- NOTES:**
1. PLACE CONSTRUCTION GEOTEXTILE FOR SOIL STABILIZATION UNDER THE CRUSHED ROCK FROM THE EDGE OF THE EXISTING ROADWAY TO THE RADIUS RETURNS, OR AS DIRECTED BY PUBLIC WORKS.
 2. ENTRANCE SHALL BE REMOVED AND RECONSTRUCTED AS REQUIRED TO PREVENT EXCESS TRACKING OF MATERIALS ONTO RIGHT-OF-WAY, OR WHEN DIRECTED BY THE TOWN PUBLIC WORKS DEPARTMENT.

STABILIZED CONSTRUCTION ENTRANCE

DATE: 3/23/05
SCALE: NTS



GRADING PERMIT REQUIRED:

APPROXIMATELY 25,005 SF WILL BE DISTURBED ON SLOPES <5%, PER THE TOWN OF JACKSON LDR'S SECTION 5.7.1 A GRADING AND EROSION CONTROL PLAN IS REQUIRED.

EROSION CONTROL MEASURES:

STABILIZED CONSTRUCTION ENTRANCES WILL BE INSTALLED AND MAINTAINED DURING CONSTRUCTION. IF EXCESS DIRT ACCUMULATES ON GLENWOOD ST. AND MERCILL AVE. IT WILL BE PROMPTLY CLEANED BY THE GENERAL CONTRACTOR.

DURING THE INITIAL CONSTRUCTION PHASE THERE WILL BE A LARGE HOLE EXCAVATED FOR THE FOUNDATION. THE WATER THAT ACCUMULATES IN THIS LOWER LEVEL WILL BE PUMPED OUT INTO A TANKER TRUCK AND HAULED OFF SITE FOR PROPER DISPOSAL. ALL WATER FROM DEWATERING OPERATIONS WILL BE HAULED OFF SITE.

ALL OF THE STORM WATER INLETS ON GLENWOOD ST. WILL PROTECTED STRAW BALES, FILTER FABRIC AND/OR WADDLES. SEDIMENTS AND DEBRIS AROUND THE PROTECTED INLETS WILL BE CLEANED AS NEEDED BY THE GENERAL CONTRACTOR. THE PROTECTIVE MEASURES WILL BE REPAIRED AND REPLACED AS NEEDED DURING CONSTRUCTION.

STORM WATER MANAGEMENT:

PRE DEV IMPERVIOUS SURFACE: BUILDINGS = 5,145 SF
ROADWAY = 6,605 SF
TOTAL: 11,750
POST DEV IMPERVIOUS SURFACE: BUILDINGS = 18,951 SF
ROADWAY = 6,054 SF
TOTAL = 25,005 SF

COMPARING THE PRE-DEV TO THE POST-DEV CONDITIONS USING THE 100 YEAR STORM EVENT:

153 CU. FT. (1,145 GALLONS) OF STORM WATER RETENTION IS REQUIRED.

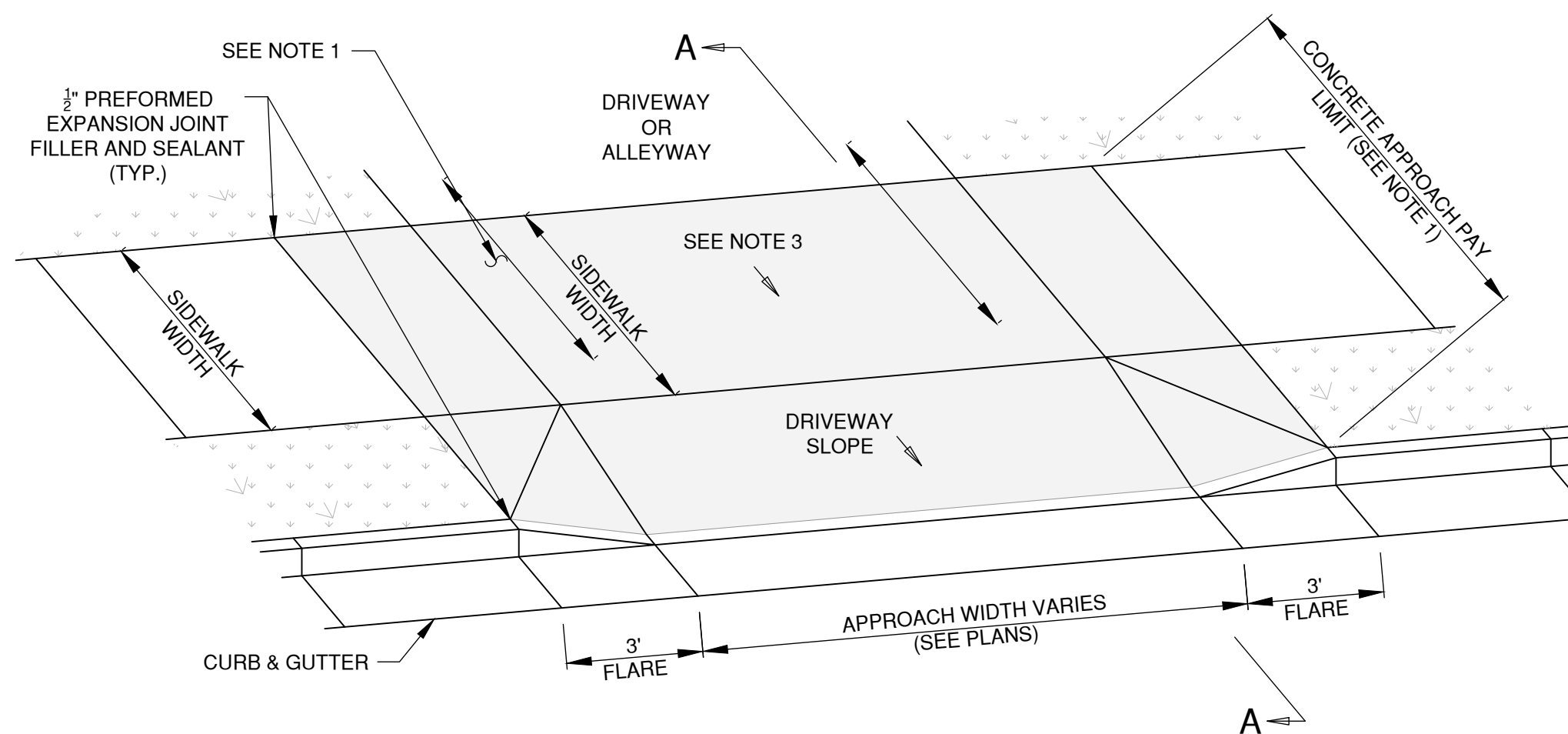
THE 3,000 GALLON SAND / OIL SEPARATOR IN THE LOWER PARKING HAS 2,693 GALLONS OF STORAGE CAPACITY BETWEEN THE INLET AND PUMP OFF SETTING.

STORM WATER FROM THE ENTIRE 18,951 SF BUILDING FOOT PRINT WILL BE COLLECTED AND TREATED IN THE SAND / OIL SEPARATOR IN THE LOWER PARKING LEVEL. REFER TO THE TANK DETAIL DRAWING C8 FOR TANK AND PUMP CAPACITIES.

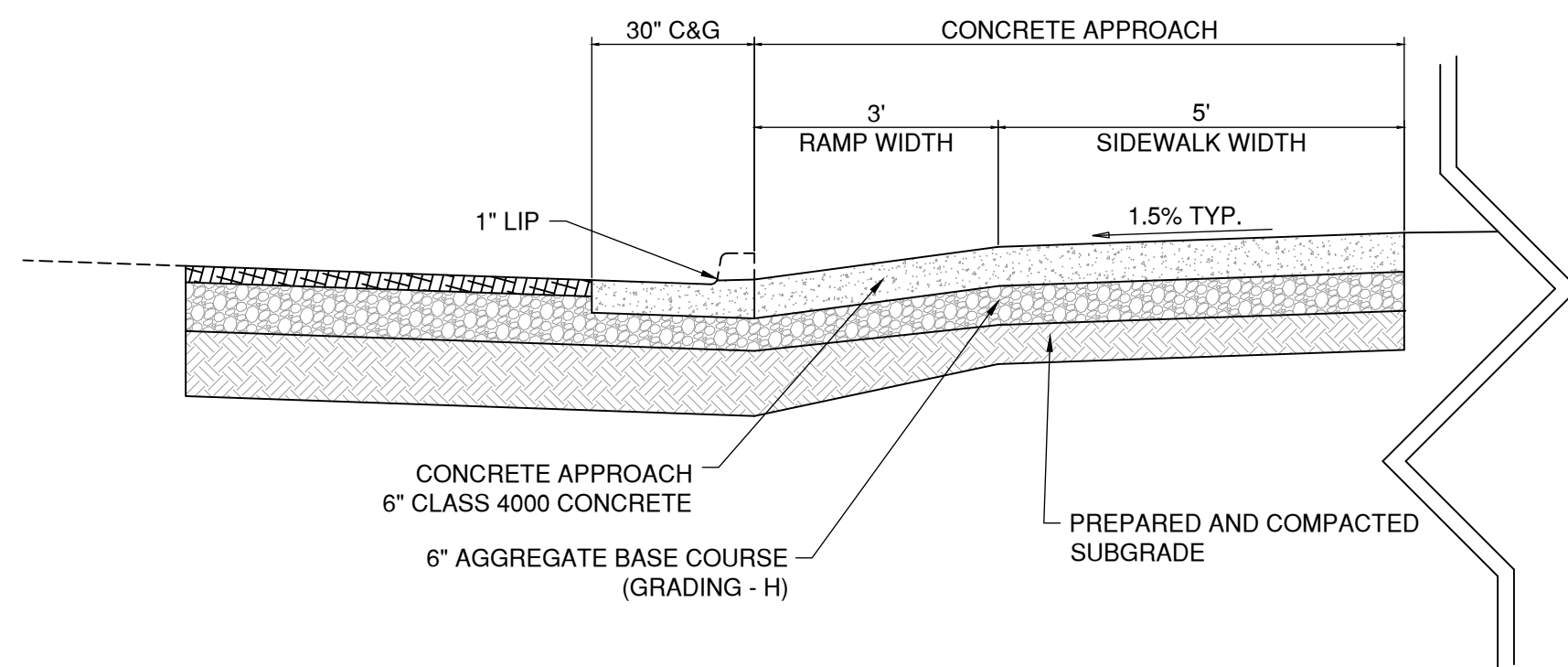
SNOW STORAGE: THE SITE HAS NO ROOM FOR SNOW STORAGE. 18,951 SF OF THE 25,005 SF SITE WILL BE COVERED WITH THE BUILDING FOOTPRINT. THE SNOW ON THE REMAINING 6,054 SF SNOW WILL BE HAULED OFF SITE.

TEMPORARY STOCKPILE: THERE IS NOT ROOM ON THE SITE TO STOCKPILE MATERIALS. ALL EXCESS MATERIAL WILL BE HAULED OFF SITE.

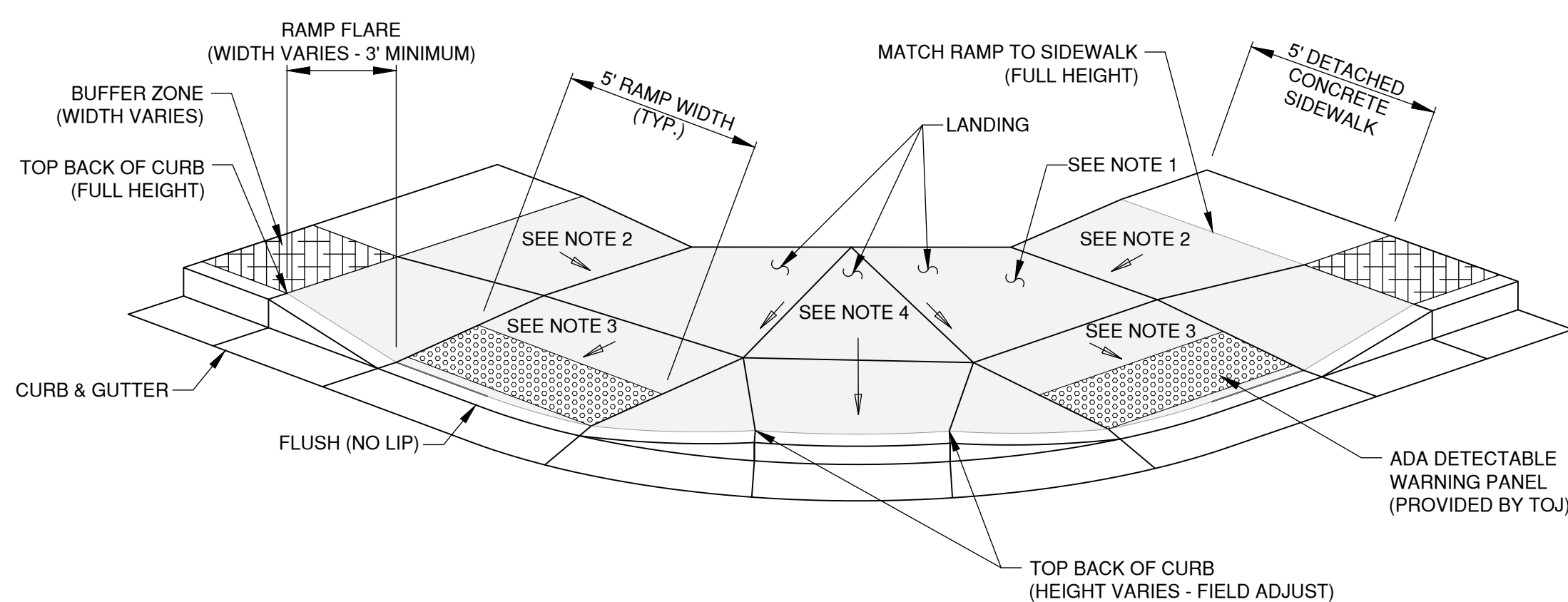
RE-VEGETATION: REFER TO THE LANDSCAPE ARCHITECT DRAWINGS FOR RE-VEGETATION AND TREE PLANTING PLANS.



TYPE "A" DRIVEWAY/ALLEYWAY APPROACH - DETACHED PEDESTRIAN SIDEWALK (NOT TO SCALE)



SECTION A-A (NOT TO SCALE)



TYPE "A" ADA PEDESTRIAN CURB RAMP - DETACHED SIDEWALK (NOT TO SCALE)

TYPICAL SIDEWALK TREATMENT AT APPROACHES

1. DRIVEWAYS AND ALLEYWAY APPROACHES: SHADED AREAS ARE PAY LIMITS FOR "CONCRETE APPROACH" BID ITEM. THE FLARES AND/OR RAMPS SHALL BE THE SAME THICKNESS AS THE APPROACH.
2. RAMP SLOPE: DO NOT EXCEED A 1V:12H RAMP SLOPE.
3. CROSS SLOPE: SLOPE SIDEWALK TOWARDS STREET. DO NOT EXCEED 1V:50H (2%).

TYPICAL ADA PEDESTRIAN RAMP CONSTRUCTION

1. ADA PEDESTRIAN CURB RAMPS: SHADED AREAS ARE PAY LIMITS FOR "CONCRETE ADA RAMP" BID ITEM. THE FLARES, RAMPS AND LANDINGS SHALL BE THE SAME THICKNESS AS THE SIDEWALK.
2. LANDING TO SIDEWALK SLOPE: DO NOT EXCEED A 1V:12H SLOPE.
3. RAMP SLOPE: DO NOT EXCEED A 1V:12H SLOPE.
4. LANDING CROSS SLOPE: SLOPE LANDING TOWARDS STREET. DO NOT EXCEED 1V:50H (2%).

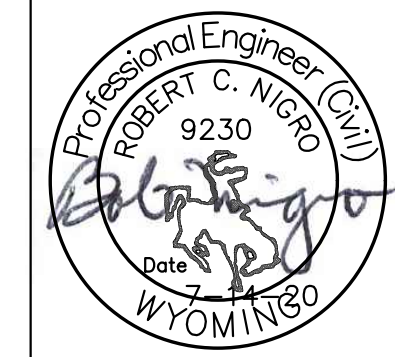
NOTES:

1. THE NEW STREET CURB ELEVATIONS SHALL MATCH THE EXISTING ELEVATIONS AS GENERALLY DEPICTED UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
2. AT THE DISCRETION OF THE ENGINEER, THE EXISTING CRUSHED BASE BENEATH THE STREET PATCH AND STREET CURB MAY BE LEFT IN PLACE.

Teton Village	Check Box 1	FALSE
Lot	0.57	acres
Lot	25,005	sf

Pre-Development			Post-Development		
Travel Length	111	feet	Travel Length	113	feet
Elev. High	6221.25	feet	Elev. High	6220.10	feet
Elev. Low	6219.42	feet	Elev. Low	6219.00	feet
Elev. Change	1.83	feet	Elev. Change	1.10	feet
Slope	1.6	%	Slope	1.0	%
Impervious	11,750	sf	Impervious	25,005	sf
Pervious	13,255	sf	Pervious	0	sf
C=	0.58		C=	0.90	
t _c =	8.3	minutes	t _c =	3.9	minutes
I ₁₀₀	2.55	inch / hr	I ₁₀₀	3.00	inch / hr
Q _R =	0.85	cfs	Q ₁₀₀ =	1.55	cfs

Duration (Min.)	Intensity (Inch / hr)	Q (cfs)	Basin (cu. ft.)
5	3.00	1.55	120
10	2.33	1.20	153
15	1.90	0.98	90
20	1.65	0.85	-1
30	1.30	0.67	-273
40	1.08	0.56	-604
50	0.95	0.49	-941
60	0.82	0.42	-1,346
70	0.74	0.38	-1,734
80	0.65	0.34	-2,179
90	0.61	0.32	-2,568
100	0.56	0.29	-2,998
110	0.52	0.27	-3,427
120	0.48	0.25	-3,875



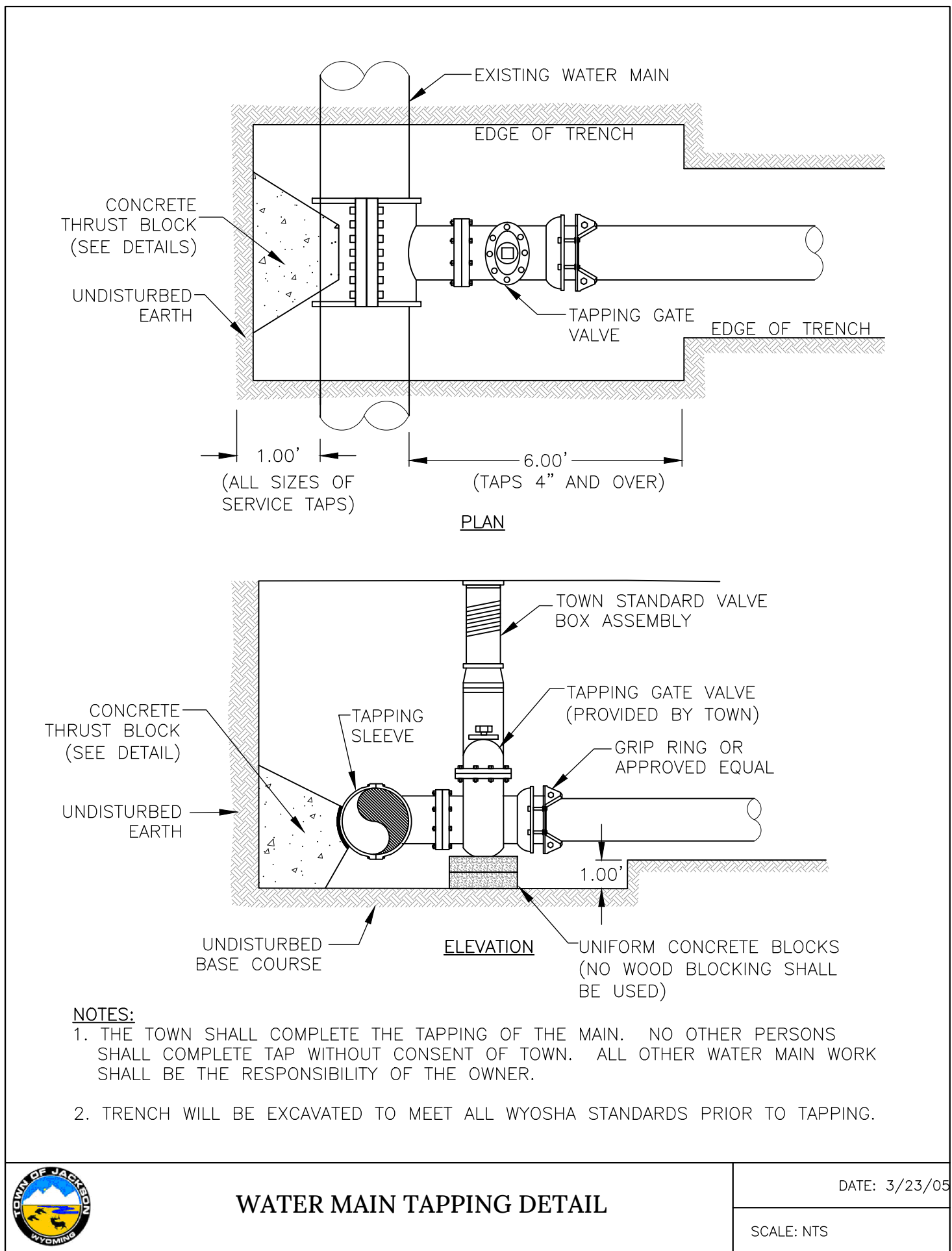
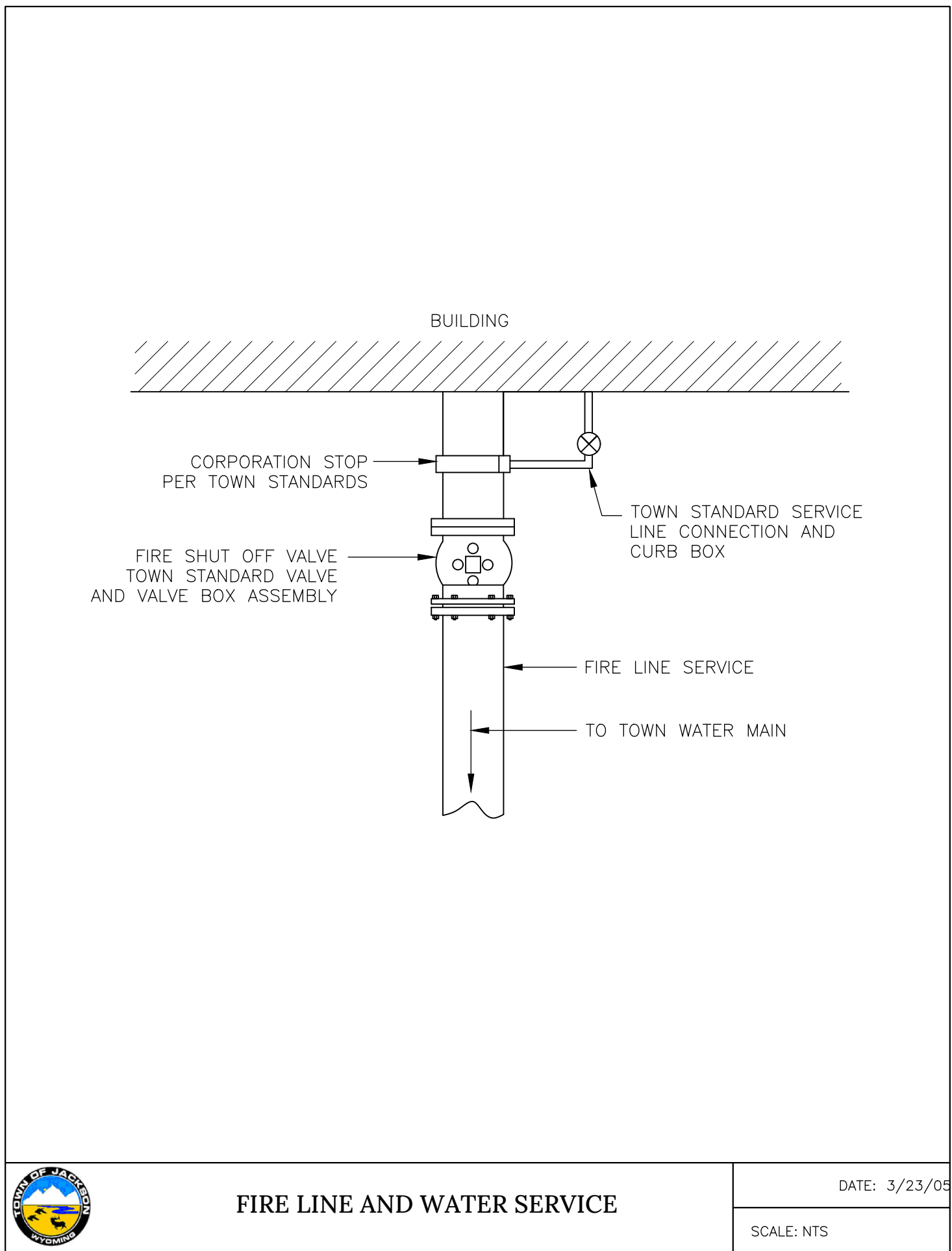
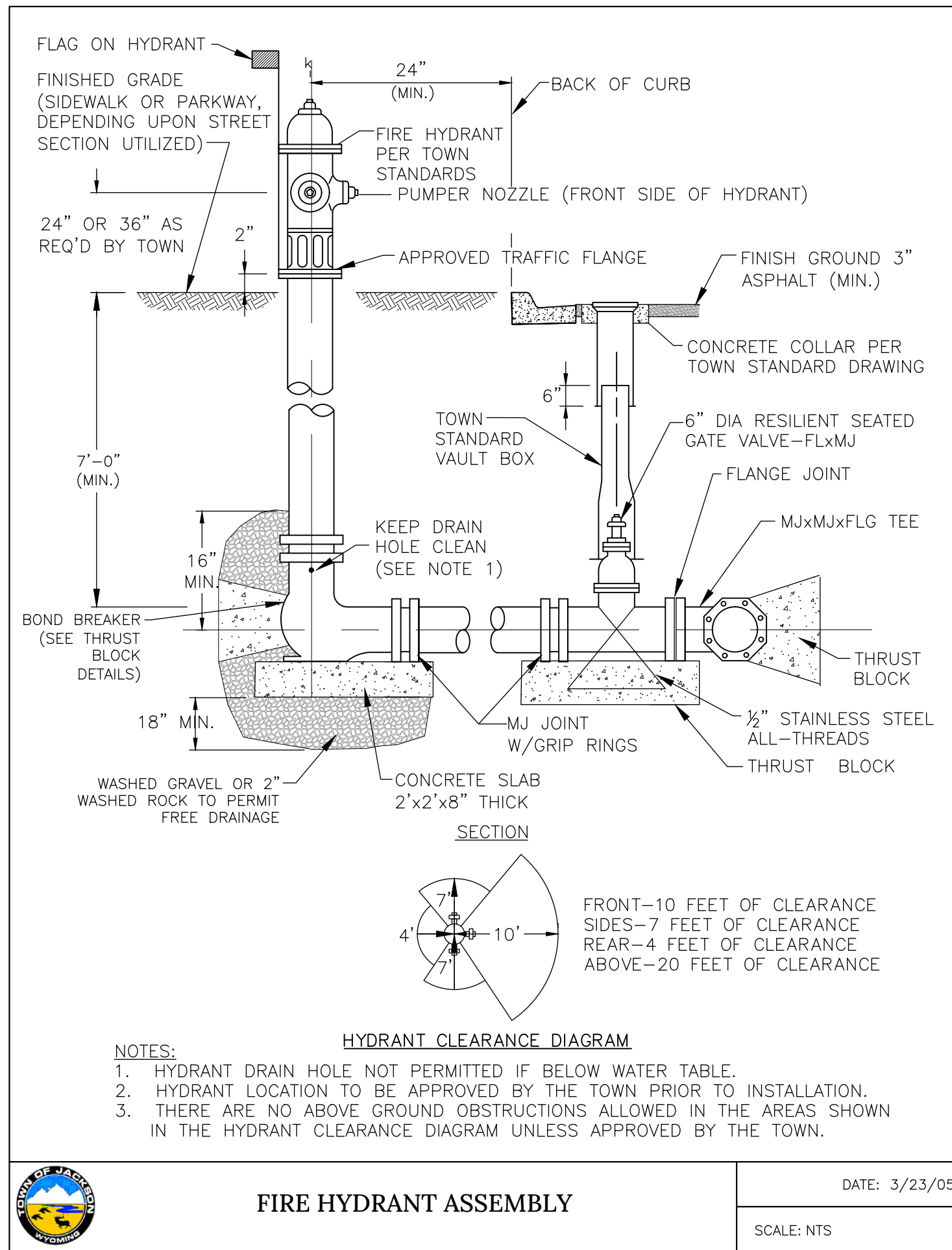
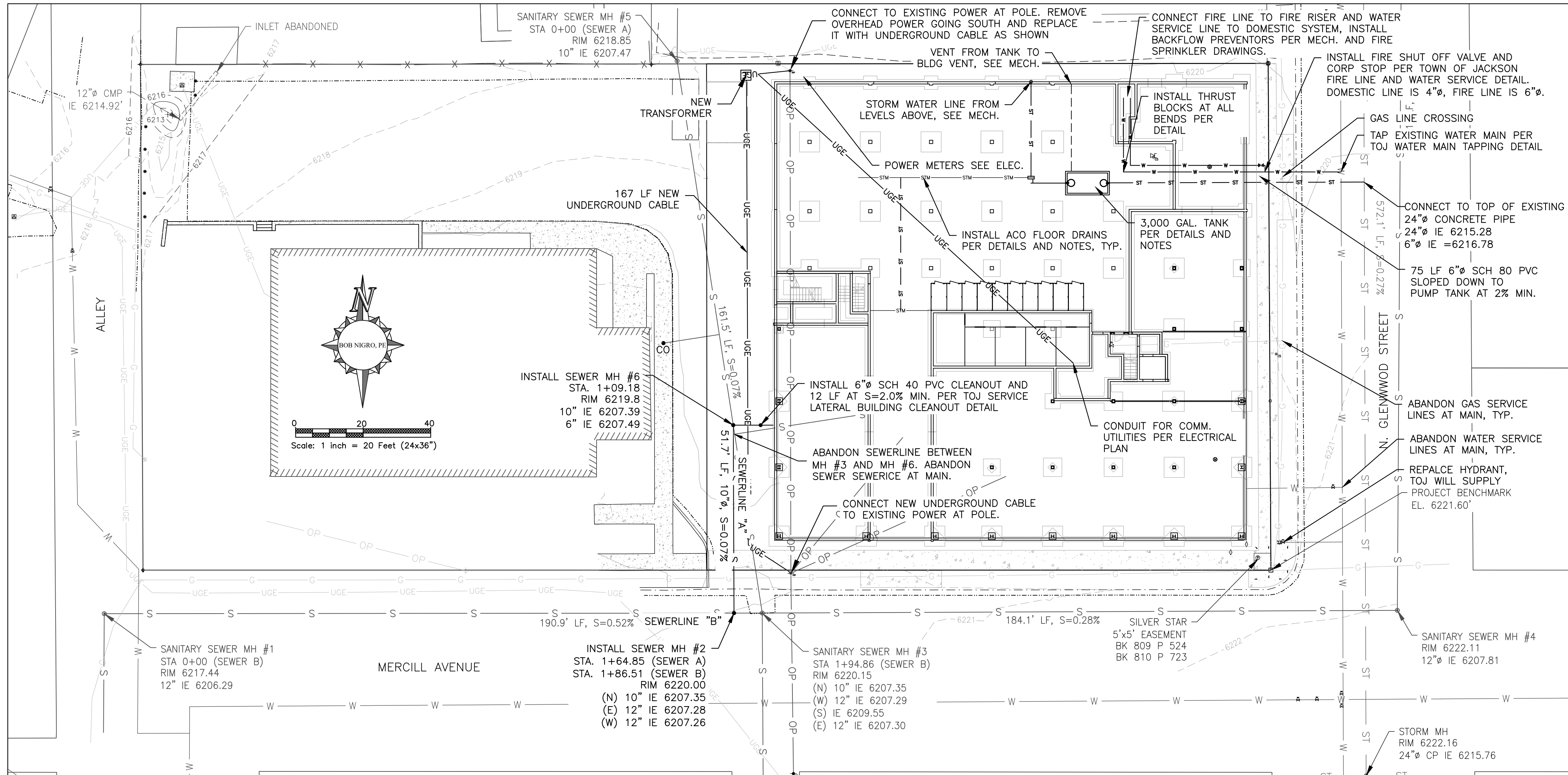
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(307) 413-4470

GRADING PLAN

MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY

7-14-20

C3



STANDARD TOWN WATER SYSTEM MATERIALS

THE FOLLOWING IS A LIST OF TOWN STANDARD PARTS, WHICH ARE TO BE USED IN COMPLETING WATER IMPROVEMENT PROJECTS WHICH ARE PART OF, OR CONNECTED TO, THE TOWNS WATER SYSTEM.

WATER MAINS
DUCTILE IRON PIPE SHALL CONFORM TO THE PROVISIONS OF AWWA SPECIFICATIONS C-151 PRESSURE CLASS 350. PIPE JOINTS SHALL BE "PUSH-ON" JOINTS CONFORMING TO AWWA SPECIFICATIONS C-111.

FIRE HYDRANTS
HYDRANTS SHALL BE WATEROUS PACER MODEL WB-67-250 AND SHALL CONFORM TO DRY BARREL FIRE HYDRANT, AWWA C-250. HYDRANTS SHALL FURNISHED WITH 5 1/4" MINIMUM VALVE OPENINGS, ONE 4 1/2" PUMPER CONNECTION AND TWO 2 1/2" HOSE CONNECTIONS. NOZZLE THREADS SHALL CONFORM TO THE NATIONAL FIRE PROTECTION ASSOCIATION FOR NATIONAL STANDARD FIRE HOSE COUPLING SCREW THREADS.

MAIN LINE VALVES
ALL GATE VALVES SHALL BE RESILIENT SEATED GATE VALVES WITH IRON BODY AND NON-RISING STEMS WITH DESIGN, CONSTRUCTION, AND PRESSURE RATING CONFORMING TO AWWA C509 OR C515 WITH THE ADDITIONAL REQUIREMENT THAT THE DESIGN OPERATING PRESSURE FOR ALL SIZES SHALL BE 200 PSI MINIMUM. ALL VALVES SHALL BE "RIGHT HAND CLOSED". STEM SEALS SHALL BE DOUBLE "O" RING SEALS DESIGNED SO THAT THE SEAL ABOVE THE STEM COLLAR CAN BE REPLACED WITH THE VALVE UNDER PRESSURE IN FULL OPEN POSITION. THE RESILIENT SEATED GATE VALVES' INTERIOR PARTS AND SURFACES SHALL BE COATED IN ACCORDANCE WITH AWWA C550. ALL VALVE METAL ACCESSORY ITEMS SHALL BE LOW ALLOY STEEL. STAINLESS STEEL ALLTHREAD J-BOLTS UTILIZED AS THRUST BLOCK ANCHORAGE SHALL BE 1/2" COMMERCIAL GRADE SS316 WITH A MINIMUM TENSILE STRENGTH OF 100,000 PSI.

VALVE BOXES
SHALL BE CAST IRON, 5 1/4" DIAMETER ADJUSTABLE VALVE BOXES. VALVE BOXES SHALL BE A "TYLER" SCREW TYPE AND OF SUFFICIENT LENGTH FOR THE PIPE BURY AS SPECIFIED. THE CAST IRON COVER OF THE VALVE BOX SHALL HAVE THE WORD "WATER" STAMPED THEREON.

BACKFLOW SYSTEM
ALL NEW INSTALLATIONS WHICH CONNECT TO THE TOWN WATER SYSTEM SHALL MEET OR EXCEED THE AWWA REQUIREMENTS REGARDING CROSS CONNECTION CONTROL. PRIOR TO ACCEPTANCE OF ANY NEW INSTALLATION THE TOWN SHALL INSPECT THE BACKFLOW SYSTEM TO ENSURE PROPER OPERATION. DOUBLE CHECK VALVES AND REDUCED PRESUURE BACKFLOW PREVENTERS SHALL BE INSPECTED ANNUALLY WITH AN INSPECTION CERTIFICATION BEING SENT TO THE TOWN PUBLIC WORKS DEPARTMENT. ALL INSTALLATIONS AND INSPECTIONS SHALL BE COMPLETED AT THE SOLE EXPENSE OF THE OWNER OF THE FACILITY.

CORP-STOPS
ALL CORP-STOP VALVES SHALL BE A MUELLER CC THREAD H-15028 GROUND KEY CORPORATION STOP, OR APPROVED EQUAL. MINIMUM VALVE INLET AND OUTLET CONNECTION SIZE SHALL BE AT FULL SIZE, AS CALLED OUT. THE CORPORATION STOP SHALL CONFORM IN ALL REGARDS TO AWWA C-800 AS A TAPED THREAD.

CURB-STOPS
3/4" TO 2" CURB STOP. VALVE SHALL BE A MUELLER MINNEAPOLIS PATTERN H-10287 OR APPROVED EQUAL. SUPPLY EACH VALVE WITH TWO MUELLER H-15428 MIP BY COMPRESSION CONNECTORS WHEN USED WITH COPPER SERVICE PIPE (CTS SIZE ADAPTATION MAY BE REQUIRED). THE MINIMUM SIZE OPENING WITHIN THE PLUG SHALL BE FULL DIAMETER OF THE SERVICE LINE. THE CURB STOP SHALL CONFORM IN ALL REGARDS TO AWWA C-800.

CURB VALVE BOX AND LID
CURB BOXES SHALL CONSIST OF A 1 1/2" GALVANIZED STEEL PIPE LOWER SECTION AND A 2" GALVANIZED STEEL PIPE TELESCOPING UPPER SECTION. SCREW THE 1 1/2" LOWER SECTION ONTO THE MINNEAPOLIS TOP THREADS OF THE CURB STOP USING A GALVANIZED STEEL COUPLING OR BELL REDUCER. SUPPLY AND INSTALL A MUELLER CAP, OR APPROVED EQUAL, STAMPED "WATER" WITH A PENTAGON HEAD PLUG ON THE TOP OF THE 2" UPPER SECTION PIPE. DO NOT INSTALL A SHUTOFF ROD INSIDE THE CURB BOX.

TYPE OF PIPE BETWEEN CORP AND CURB STOP (3/4" & 1")
SERVICE PIPE SHALL BE TYPE K SOFT COPPER CONFORMING TO FEDERAL SPECIFICATION WW-1-799 OR ASTM B88-62.

TYPE OF PIPE BETWEEN CORP AND CURB STOP (1 1/2" & 2")
DOMESTIC GALVANIZED SCHEDULE 40 OR BETTER.

THAW CABLE
4.0 COPPER SHIELDED CABLE

TAPPING SADDLES (SERVICE LINE)
SERVICE SADDLES FOR SERVICE CONNECTIONS SHALL BE A SMITH BLAIR 317, OR APPROVED EQUAL. DUCTILE IRON SADDLE WITH DOUBLE STAINLESS STEEL STRAPS. STAINLESS STEEL STUD BOLTS, NUTS AND WASHERS, AND FLEXI-BLUE EPOXY COATING. FEMALE THREADS WITHIN THE SADDLE BOSS FOR INSERTION OF THE CORPORATION STOP SHALL BE CC THREAD.

MAIN LINE LIVE TAPS
ALL TAPPING 4" OR GREATER SHALL BE COMPLETED BY TOWN STAFF. ALL OTHER TOWN TAPS SHALL BE PRE-APPROVED BY THE TOWN PUBLIC WORKS DEPARTMENT. TAPPING SLEEVES SHALL BE STAINLESS STEEL WRAP AROUND WITH FLANGE FITTING FOR TAPPING VALVE. BOTH VALVE AND SLEEVE NEED TO MEET WORKING PRESSURE OF 200 PSI AND NOT EXCEED 300 PSI WITH GRADE 60 GASKETS OR BETTER.

MAIN LINE COUPLINGS
COUPLINGS "DRESSER COUPLINGS" FOR MAKING CONNECTIONS TO LIKE-SIZED, OR NEARLY LIKE-SIZED, EXISTING LINES SHALL BE SMITH BLAIR STYLE 442 CAST TRANSITION COUPLINGS WITH A 12" SLEEVE LENGTH WITH A FACTORY-APPLIED FLEXI-BLUE 12-24 MIL INTERIOR AND EXTERIOR EPOXY COATING AND STAINLESS STEEL HARDWARE. COUPLINGS SHALL MEET ALL REQUIREMENTS OF AWWA C219. SUPPLIED COUPLINGS SHALL HAVE THE CAPABILITY OF SLIDING THE ASSEMBLY COMPLETELY ONTO ONE PIPE BEFORE BRINGING THE OTHER PIPE ONTO LINE.

MAIN LINE FITTINGS
SHALL BE DUCTILE IRON, 350 PSI MINIMUM PRESSURE RATING, CONFORMING TO AWWA C110 OR C153. RUBBER GASKETS SHALL CONFORM TO AWWA C111. HARDWARE SHALL BE LOW ALLOY STEEL WITH A MINIMUM YIELD STRENGTH OF 45,000 PSI. ALL FITTINGS SHALL INCORPORATE A CEMENT MORTAR INTERIOR LINING MEETING AWWA C104. SOLID SLEEVES SUPPLIED UNDER EITHER C110 OR C153 SHALL BE OF THE LONG-BODY STYLE.

WATER METERS
WATER METER ASSEMBLIES SHALL BE OBTAINED FROM THE TOWN AND SHALL INCLUDE A NEPTUNE T-10 METER.

NOTES:
1. EXISTING ELECTRICAL, WATER, SEWER AND GAS LINE LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL DIG TEST PITS (POTHOLE) PRIOR TO CONSTRUCTION TO VERIFY EXACT LOCATIONS PRIOR TO INSTALLATION.
2. UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES (WHETHER FUNCTIONAL OR ABANDONED) WITHIN THE PROJECT AREA ARE SHOWN ON THESE DRAWINGS. CONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM THEIR WORK.
3. ALL CONSTRUCTION SHALL BE COMPLETED IN CONFORMANCE WITH THIS DRAWING SET, AND THE REQUIREMENTS IN THE MOST RECENT ADDITION OF THE WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY (WYDEQ) CHAPTER XI WATER QUALITY RULES AND REGULATIONS, INTERNATIONAL PLUMBING CODE, TOWN OF JACKSON PUBLIC WORKS STANDARDS, LOWER VALLEY ENERGY REQUIREMENTS AND THE REQUIREMENTS OF THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS), WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL. THE CONTRACTOR SHALL NOT DEViate FROM THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OF RECORD. THE CONTRACTOR SHALL BARE THE SOLE RESPONSIBILITY AND CONSEQUENCES OF UNAUTHORIZED DEVIATIONS.

Professional Engineer (Civil)
ROBERT C. NIGRO
9230
Date: 7/1/05
WYOMING

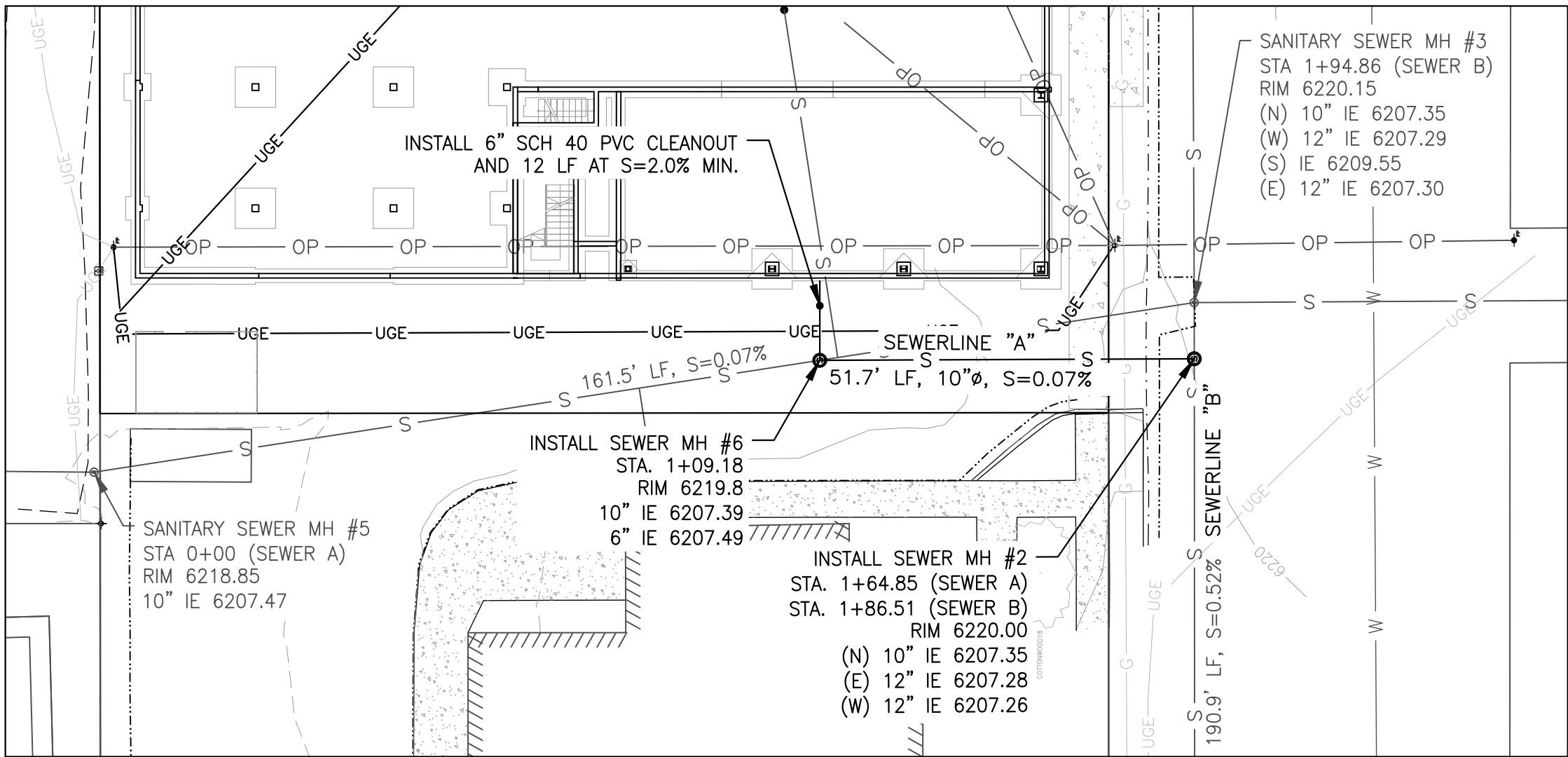
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UTILITIES

MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY

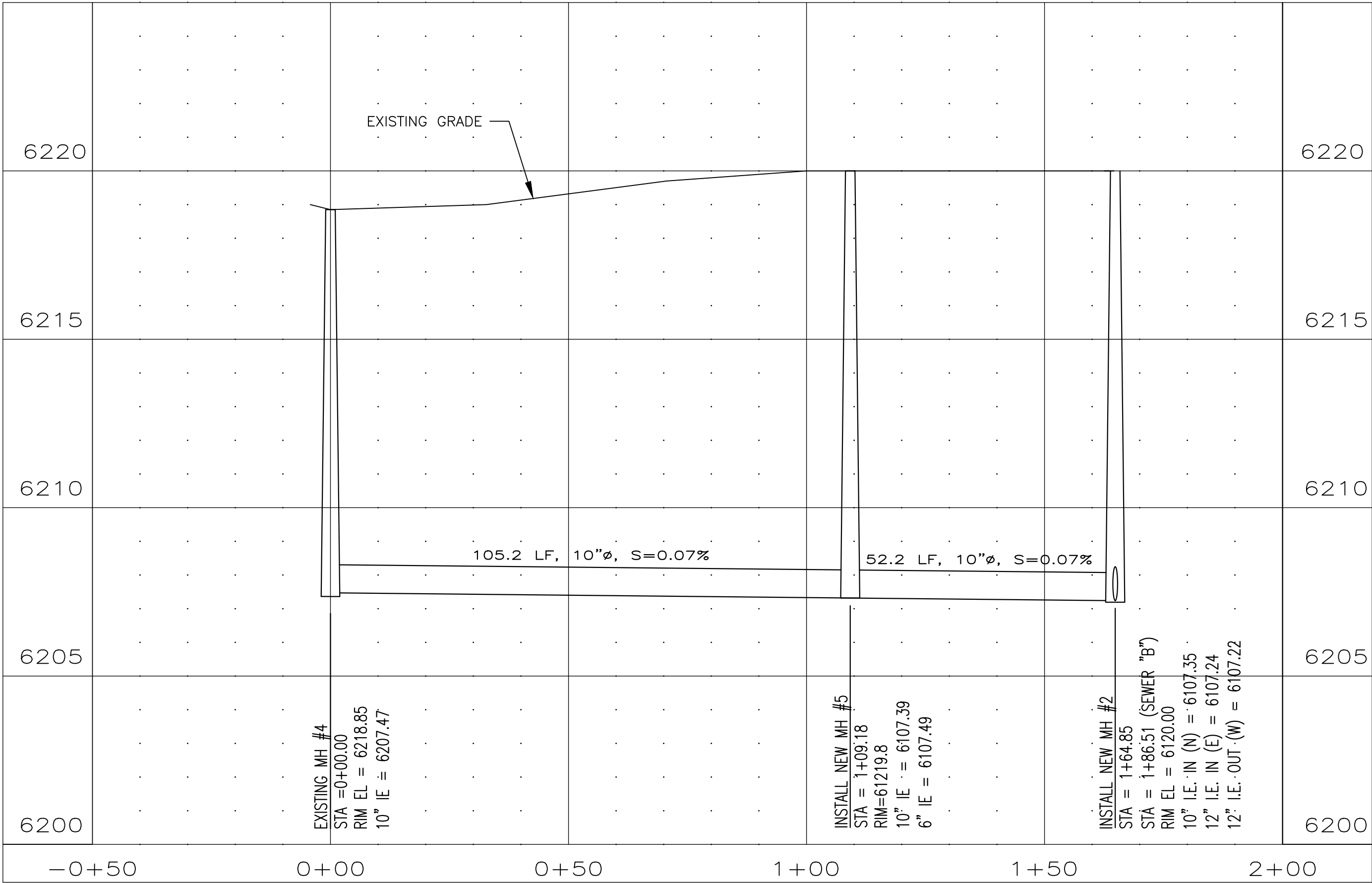
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C4



SEWERLINE "A"
PLAN VIEW

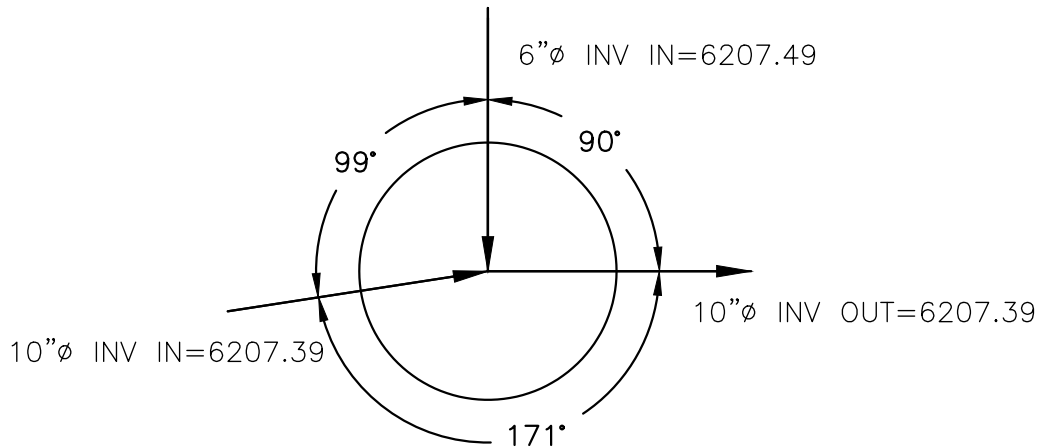
SCALES:
1" = 20' HORZ (24"x36")
1" = 5' VERT (24"x36")



SEWERLINE "A"
PROFILE VIEW



0 20 40
Scale: 1 inch = 20 Feet (24x36")



SANITARY SEWER WASTEWATER ESTIMATES

THE PROPOSED DEVELOPMENT CONSISTS OF (10) 1 BEDROOM APARTMENTS AND (20) 2 BEDROOM APARTMENTS.

PER WYOMING DEQ CHAPTER 25, TABLE 1

	GPD TYP.
1 BEDROOM	150
2 BEDROOM	280

(10) x 150 + (20) x 280 = 7,100 GPD AVERAGE

7,100 X 2.6 = 18,460 GPD MAXIMUM

(18,460 x 1.3) / 24 = 1,000 GALLONS PEAK HOUR

STANDARD TOWN SEWER SYSTEM MATERIALS

THE FOLLOWING IS A LIST OF TOWN STANDARD MATERIALS, WHICH ARE TO BE USED IN COMPLETING SEWER IMPROVEMENT PROJECTS WHICH ARE PART OF, OR CONNECTED TO, THE TOWNS SEWER SYSTEM.

SEWER MAIN PIPE
ALL SEWER MAIN PIPE SHALL BE PVC PIPE AND FITTINGS WHICH SHALL CONFORM TO ASTM D 3034, "STANDARD SPECIFICATION FOR POLYVINYL CHLORIDE SEWER PIPE AND FITTINGS", OR ASTM F-679 FOR SIZES OVER 15 INCHES (15") IN DIAMETER. PVC PIPE SHALL HAVE A MINIMUM STANDARD DIMENSION RATIO (SDR) OF 35.

SEWER SERVICE PIPE
SCHEDULE 40 SEWER PIPE CONFORMING TO ASTM D1785 AND LISTED WITH NSF-PW STANDARDS 61 & STANDARD 14 OR ABS SEWER PIPE CONFORMING TO ASTM F-628 (SCHEDULE 40 CELL CORE PIPE).

COUPLINGS
COUPLINGS FOR MAKING CONNECTIONS BETWEEN NEW PVC SERVICE LINES AND LIKE-SIZED, OR NEARLY LIKE-SIZED, EXISTING SERVICE LINES SHALL BE FERNCO SERIES 1000 OR PIPECONX RUBBER JOINT COUPLINGS, WITH STAINLESS STEEL BANDS, OR APPROVED EQUAL. DETERMINE THE ACTUAL O.D. OF THE EXISTING LINES PRIOR TO ORDERING THESE COUPLINGS

TRANSITION COUPLINGS REQUIRED TO JOIN NEW AND EXISTING SEWER MAIN LINE SHALL BE CASCADE STYLE CSST CLAMP COUPLINGS SUPPLIED IN A 12-INCH LENGTH, OR AN APPROVED EQUAL. DETERMINE THE ACTUAL O.D. OF THE EXISTING LINES PRIOR TO ORDERING THESE COUPLINGS.

MANHOLES
MANHOLES IN 48-INCH DIAMETER SHALL BE CONSTRUCTED OF PRECAST CONCRETE RINGS WITH FRAMES AND COVERS AND STEPS IN ACCORDANCE WITH THE PLAN DETAILS. ALL MANHOLES SHALL BE DESIGNED TO WITHSTAND AASHTO HS 25 LOADING.

RING AND COVER
RINGS AND COVERS SHALL BE D&L A-1055, NON-VENTILATED, WITH ONE 5/8" PICK HOLE AROUND THE CIRCUMFERENCE AND THE WORD "SEWER" CAST INTO THE TOP.

CONCRETE ADJUSTING RINGS MAY BE USED FOR ADJUSTING THE MANHOLE TOP ELEVATION TO COINCIDE WITH PROPOSED GROUND ELEVATIONS, EXCEPT THE TOTAL HEIGHT OF ADJUSTING RINGS USED PER MANHOLE SHALL NOT EXCEED 12 INCHES. ADJUSTING RINGS SHALL BE REINFORCED WITH THE SAME PERCENTAGE OF STEEL AS THE RISER AND TOP. ALL RINGS SHALL BE SUPPLIED WITH AN INSIDE DIAMETER OF NO LESS THAN 24". PRECAST CONCRETE RINGS FOR MANHOLES SHALL CONFORM TO ASTM C-478, "PRECAST REINFORCED CONCRETE MANHOLE RISERS AND TOPS".

STEPS
NONCORROSIVE STEPS OF RUBBER ENCASED STEEL, ALUMINUM, OR NYLON SHALL BE USED. STEPS SHALL WITHSTAND VERTICAL LOADS OF 400 POUNDS AND PULL OUT RESISTANCE OF 1,000 POUNDS.

CONCRETE BASES
CONCRETE BASES SHALL INCORPORATE PRECAST OR CAST-IN-PLACE FLOORS AND SHALL BE INSTALLED ON UNDISTURBED EARTH. CONCRETE SHALL CONFORM TO SECTION 03304, PORTLAND CEMENT CONCRETE. BASE SECTIONS SHALL INCORPORATE KOR-N-SEAL RUBBER BOOTS, OR EQUAL.

CONCRETE COLLARS
CONCRETE COLLARS SHALL BE POURED IN THE FIELD ON COMPACTED TRENCH BACKFILL. CONCRETE SHALL CONFORM TO SECTION 03304, PORTLAND CEMENT CONCRETE, CLASS 4000.

SANITARY SEWER MAINS TESTING STANDARDS

SANITARY SEWER MAINS, INCLUDING MANHOLES, WHICH ARE WITHIN THE TOWN OR WHICH DISCHARGE TO THE TOWNS SYSTEM SHALL BE SUBJECTED TO AND PASS CERTAIN PERFORMANCE TESTS PRIOR TO THEIR ACCEPTANCE BY THE TOWN OF JACKSON. SUCH TESTS SHALL BE CONDUCTED IN THE PRESENCE OF AUTHORIZED STAFF OF THE TOWN OF JACKSON. ANY REMEDY OF DEFECTS SHALL BE CARRIED OUT AT THE EXPENSE OF THE CONTRACTOR.

PIPE LEAKAGE
LEAKAGE TESTS SHALL BE INFILTRATION, EXFILTRATION, OR AIR TESTS.

(A) INFILTRATION TEST STANDARD. THE MAXIMUM ALLOWABLE INFILTRATION, INCLUDING MANHOLES, SHALL NOT EXCEED 50 GALLONS PER INCH DIAMETER PER MILE PER DAY WITH A MINIMUM OF TWO FEET OF HEAD OVER THE TOP OF THE PIPE.

(B) EXFILTRATION TEST STANDARD. THE MAXIMUM ALLOWABLE EXFILTRATION, INCLUDING MANHOLES, SHALL NOT EXCEED 50 GALLONS PER INCH DIAMETER PER MILE PER DAY WITH A MINIMUM OF TWO FEET OF HEAD OVER THE TOP OF THE PIPE.

(C) AIR TEST STANDARD. AIR TESTS SHALL CONFORM TO ASTM C-828-80.

PIPE DEFLECTION
AFTER A SANITARY SEWER MAIN TRENCH HAS BEEN BACKFILLED AND COMPACTED AS SPECIFIED, A MANDREL TEST SHALL BE MADE BETWEEN MANHOLES TO CHECK DEFLECTION OF FLEXIBLE PIPE. THE MAXIMUM ALLOWABLE DEFLECTION SHALL BE A FIVE-PERCENT DEFLECTION. A MANDREL OF 95 PERCENT OF PIPE DIAMETER SHALL BE USED. NO MECHANICAL PULLING OF THE MANDREL IS PERMITTED.

VIDEO INSPECTION
A DVD RECORD OF INSTALLED SANITARY SEWER MAINS SHALL BE MADE AND SUBMITTED TO THE TOWN FOR REVIEW PRIOR TO ACCEPTANCE OF THE MAINS BY THE TOWN OF JACKSON. PROBLEMS NOTED IN THE TOWN'S REVIEW OF THE VIDEO RECORD SHALL BE CORRECTED PRIOR TO ACCEPTANCE OF THE MAINS BY THE TOWN OF JACKSON.

TOWN REQUIRED SERVICE LINE INSPECTIONS
ALL SEWER SERVICES SHALL BE VISUALLY INSPECTED BY TOWN PERSONNEL. THIS INSPECTION SHALL INCLUDE, BUT NOT BE LIMITED TO, A REVIEW OF TRENCH BACKFILL, PIPE BEDDING, COMPACTION EFFORTS AND THE WITNESSING OF PIPE LEAKAGE TEST. THESE INSPECTIONS SHALL BE REQUIRED FROM THE POINT OF CONNECTION TO THE TOWN MAIN TO THE POINT OF ENTERING THE BUILDING.



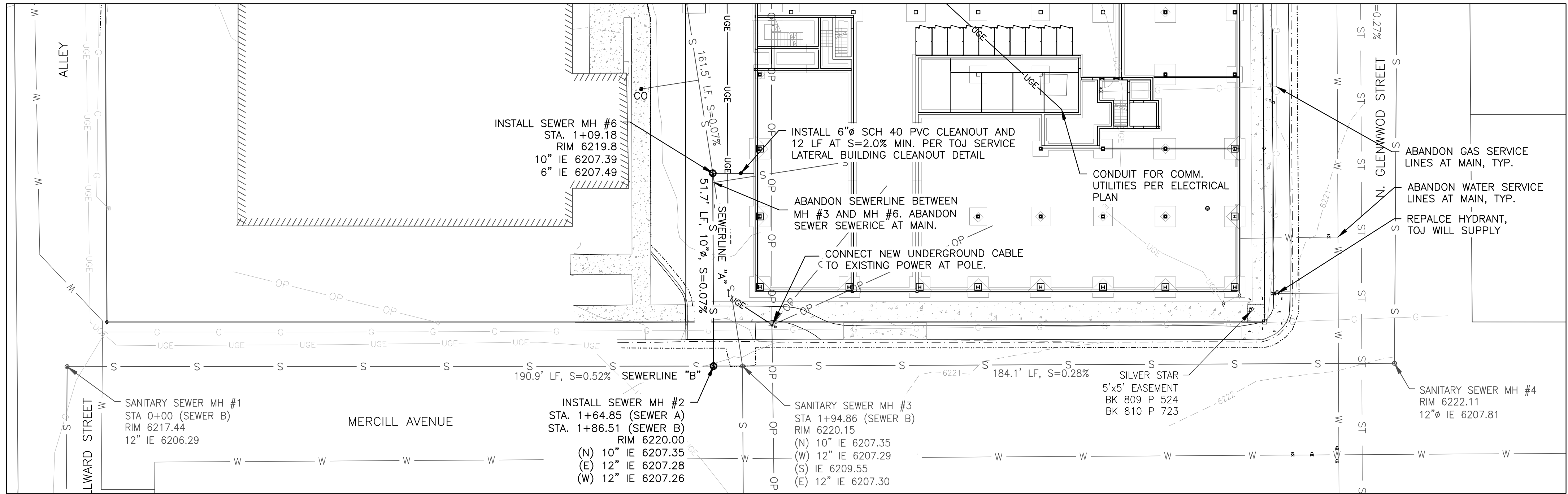
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SEWERLINE "A"

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105 MERCILL AVENUE
JACKSON, WY

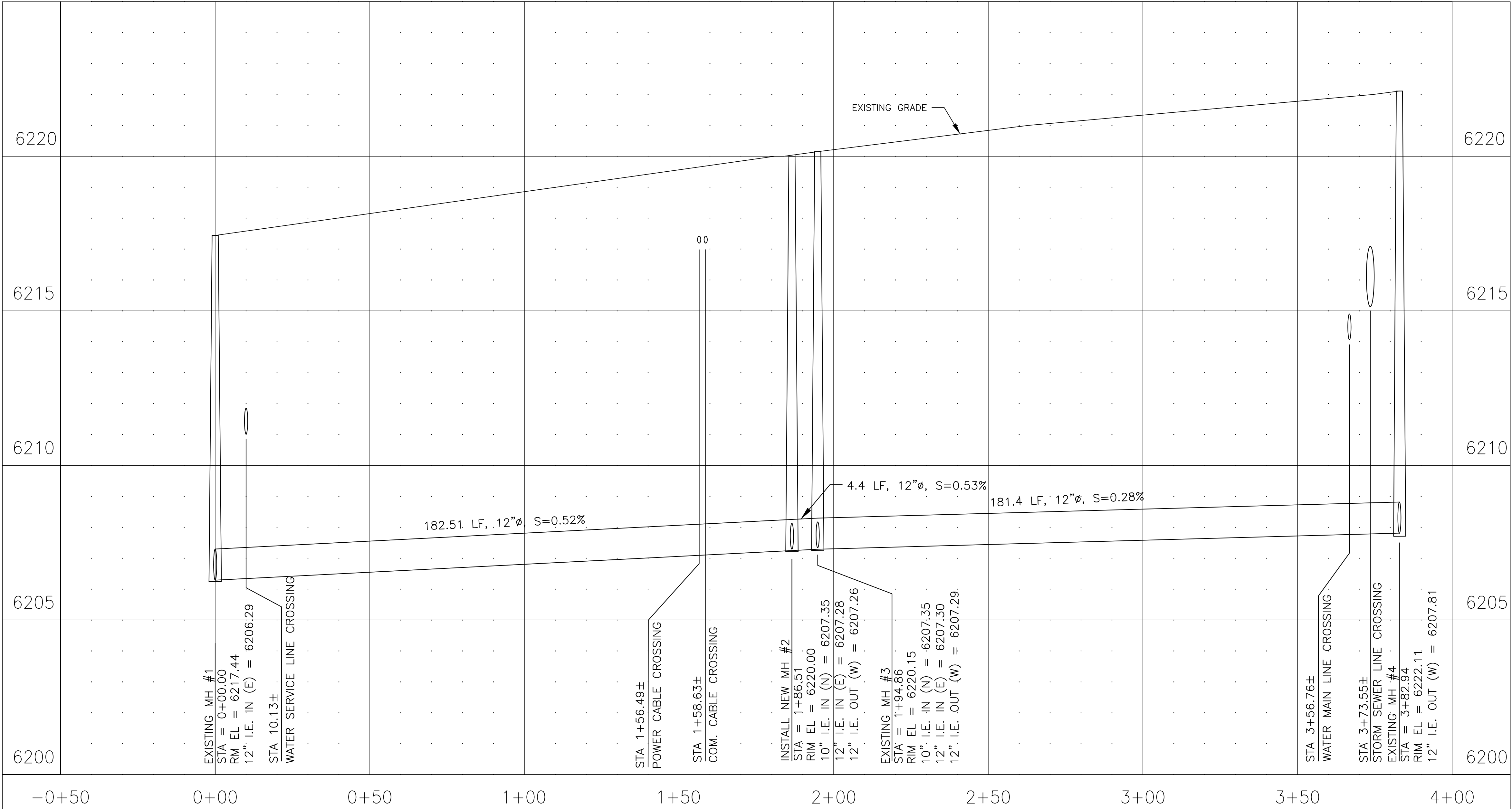
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C5



SEWERLINE "B"
PLAN VIEW

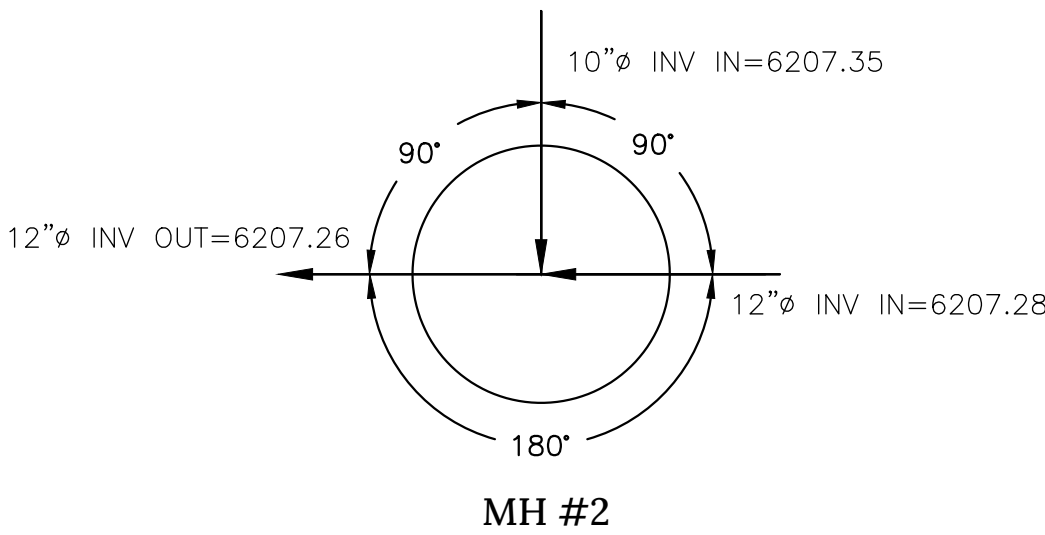
SCALES:
1" = 20' HORZ (24"x36")
1" = 5' VERT (24"x36")



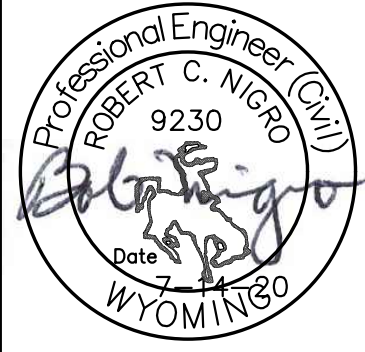
SEWERLINE "B"
PROFILE VIEW



0 20 40
Scale: 1 inch = 20 Feet (24x36")



- NOTES:
1. EXISTING ELECTRICAL, WATER, SEWER AND GAS LINE LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL DIG TEST PITS (POTHOLE) PRIOR TO CONSTRUCTION TO VERIFY EXACT LOCATIONS PRIOR TO INSTALLATION.
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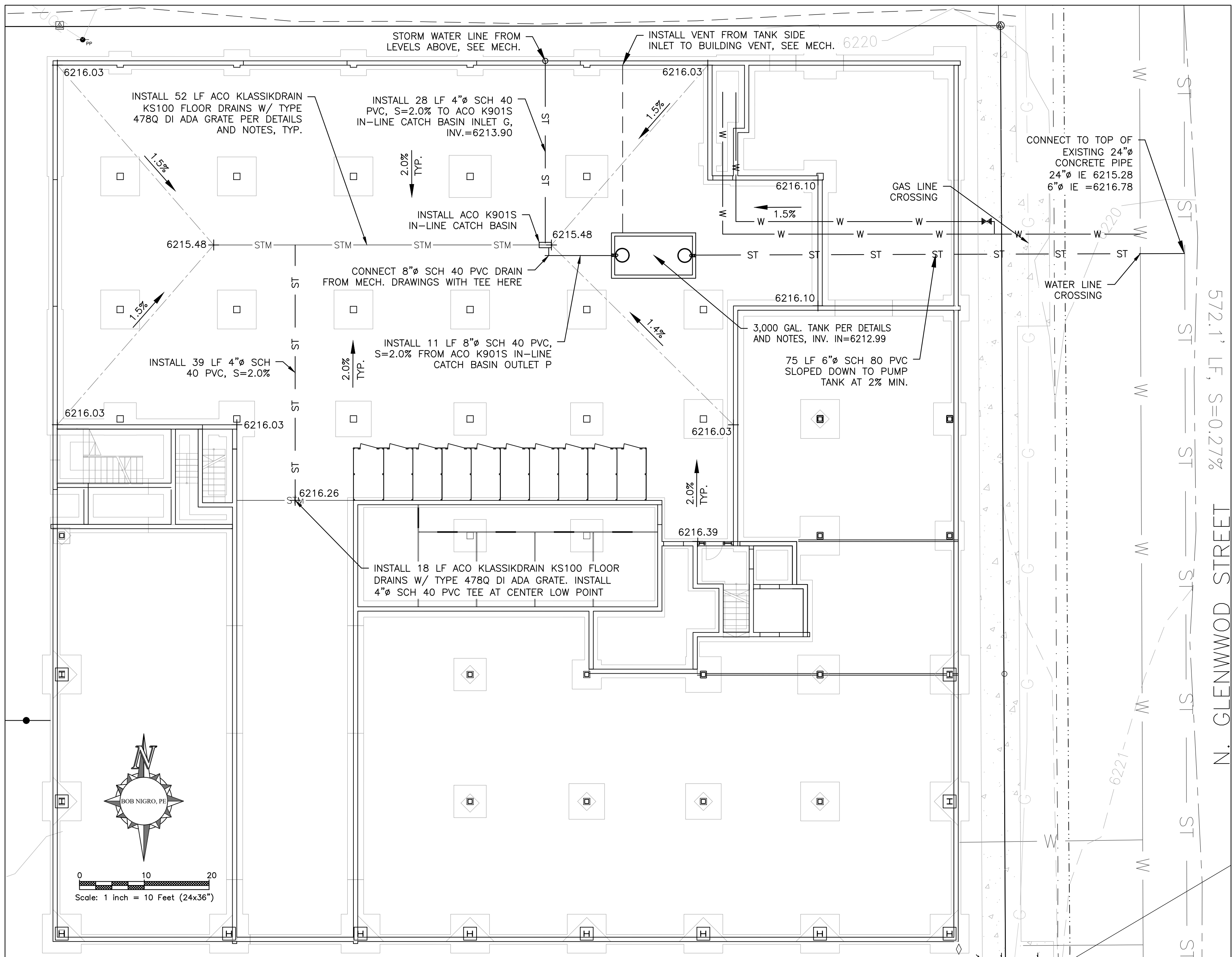
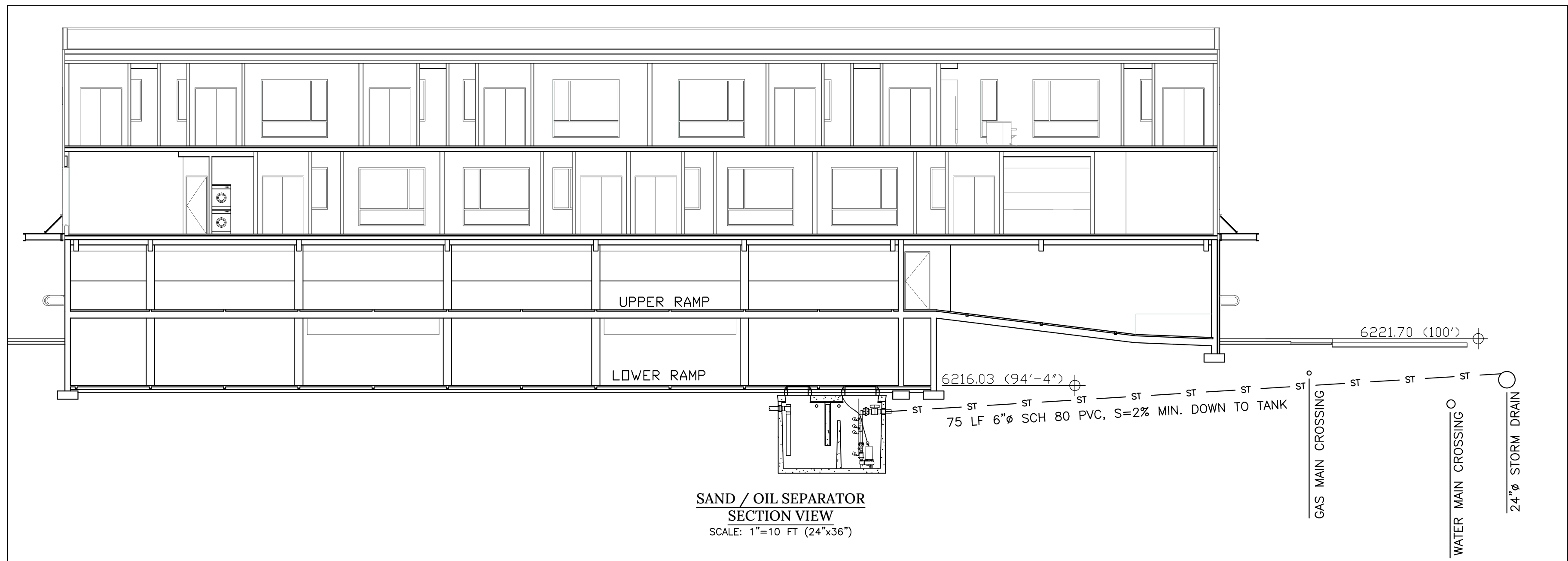
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SEWERLINE "B"

MERCILL PARTNERS, LLC
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105 MERCILL AVENUE
JACKSON, WY

7-14-20

C6



PUMP

1. PUMPS SHALL HAVE AN ADEQUATE MEANS OF INDICATING A MOTOR SEAL FAILURE. (WYDEQ, CHAP. XI, PART B, SEC. 10 (c) (iii), pg 18).
2. PUMPS SHALL BE INSTALLED IN THE TANK SO THAT IT CAN BE EASILY REMOVED WITHOUT ENTERING THE PUMP TANK. (WYDEQ, CHAP. XI, PART B, SEC. 40 (a) (B), pg 110).
3. PUMPS SHALL BE SET IN THE PUMP TANK SO THAT THE INTAKE IS 8-INCHES ABOVE THE FLOOR TO MINIMIZE THE TRANSFER OF SOLIDS THAT MY ENTER THE PUMP TANK.

PIPE

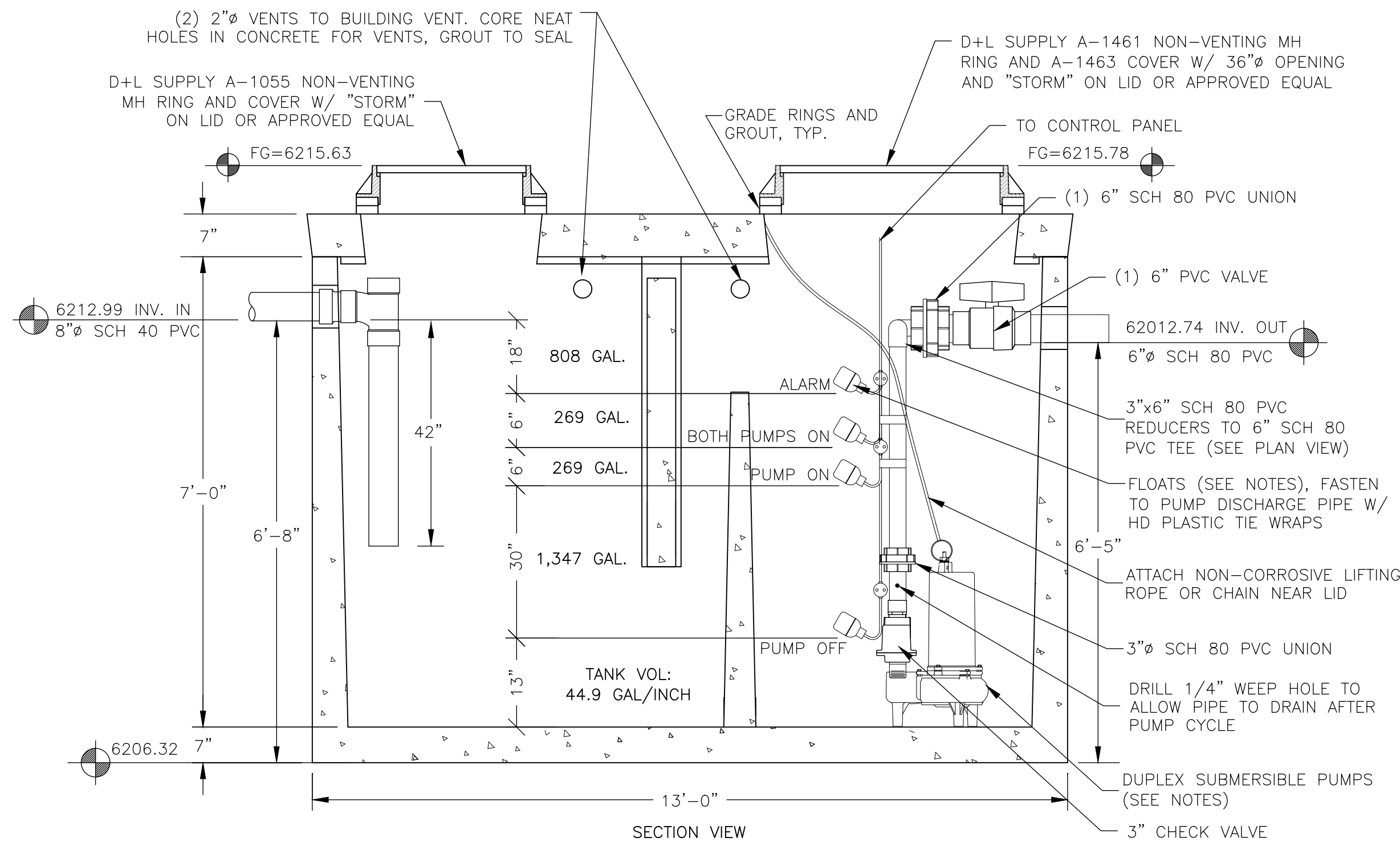
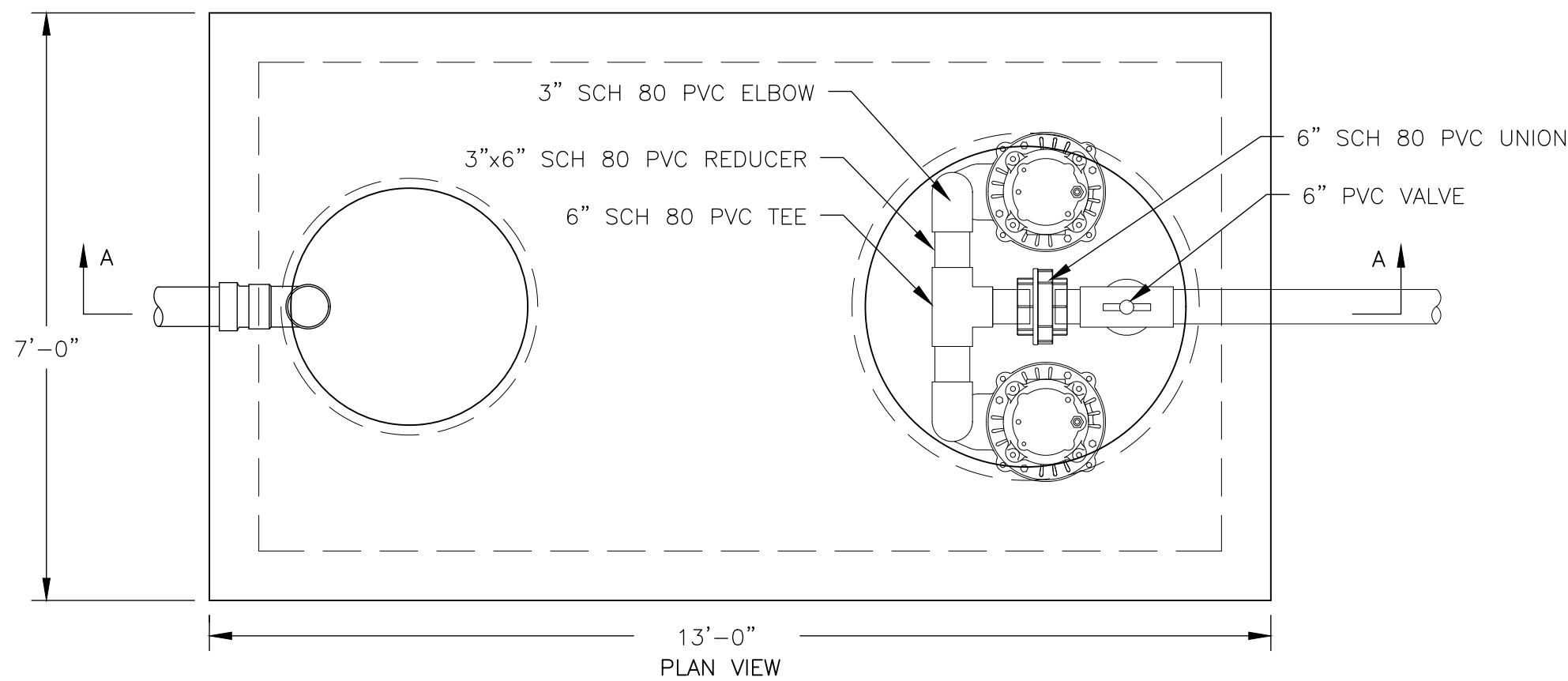
1. PRESSURE PIPING SHALL BE DESIGNED FOR THE MAXIMUM OPERATING PRESSURE AND SURGES (WATER HAMMER) WHICH MAY OCCUR. (WYDEQ, CHAP. XI, PART B, SEC. 10 (d) (ii) (C), pg 19).

ELECTRICAL

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AS ADOPTED AND AMENDED BY THE WYOMING DEPARTMENT OF FIRE PREVENTION AND ELECTRICAL SAFETY. (WYDEQ, CHAP. XI, PART B, SEC. 10 (f) (iii), pg 21).
2. AN ALARM SYSTEM SHALL BE PROVIDED FOR EACH PUMPING STATION. ALARMS SHALL INCLUDE HIGH WETWELL LEVEL. AN AUDIO AND VISUAL ALARM SHALL BE PROVIDED IN A CONSPICUOUS LOCATION. (WYDEQ, CHAP. XI, PART B, SEC. 10 (f) (iv), pg 21).
3. ALL OPENINGS AROUND THE CABLES OR CORDS ENTERING THE PUMP TANK SHALL BE SEALED. (WYDEQ, CHAP. XI, PART B, SEC. 40 (a) (C), pg 110).

TANKS

1. THE EFFLUENT LEVEL CONTROL SHALL BE ADJUSTED AND MAINTAINED TO AT ALL TIMES PREVENT THE EFFLUENT SUMP FROM RISING WITHIN 2-INCHES OF THE GRAVITY DRAIN INLET TO THE SUMP. (IPC 2003, 712.3.2, pg 61).
2. TANKS SHALL BE CONSTRUCTED OF CONCRETE OR OTHER APPROVED MATERIALS. THE TANK BOTTOM SHALL BE SOLID AND PROVIDE PERMANENT SUPPORT TO THE PUMP. THE TANK SHALL BE FITTED WITH A GAS-TIGHT REMOVABLE COVER ADEQUATE TO SUPPORT ANTICIPATED LOADS IN THE AREA OF USE. THE TANK SHALL BE VENTED IN ACCORDANCE WITH CHAPTER 9. (IPC 2003, 712.3.2, pg 61).



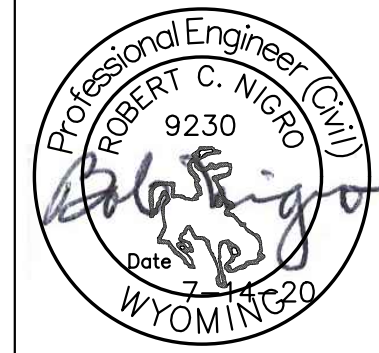
TANK NOTES:

1. ORDER TANK WITH 36"Ø OPENING ON OUTLET END, CENTER PARTITION, VENT HOLES ON EACH SIDE OF PARTITION, AND 6"Ø SCH 80 INLET AND OUTLET RUBBER BOOTS.
2. INSTALL VENT FROM SIDE INLET TO BUILDING VENT.
3. PLACE TANKS ON 6-INCH MIN. OF COMPACTED GRAVEL BEDDING OVER FIRM COMPACTED SUBGRADE TO PREVENT SETTLING.
4. SEAL ALL JOINTS AND PENETRATIONS WITH BITUMINOUS MASTIC.
5. OWNER MUST ROUTINELY INSPECT, CLEAN AND PUMP DEBRIS, SAND AND OIL CONTAMINATION FROM THE OIL / SAND SEPARATOR.

PUMP NOTES:

1. PUMPS ARE ZOELLER 631 MODEL J631 w/ 3-INCH VERTICAL DISCHARGE, 2 Hp, 1,750 RPM, 3Ø, 200V, 7.8 AMPS AT FULL LOAD, 3" NPT DISCHARGE, 2 1/2" SOLIDS CAPABILITY, 200 GPM @ 20 FT OF HEAD.
2. CONTROL PANEL IS A ZOELLER DUPLEX ELECTRICAL ALTERNATING SYSTEM MODEL #10-1110, NEMA 4X WEATHER TIGHT LOCKING ENCLOSURE WITH FLASHING HIGH WATER ALARM LIGHT AND HORN, SEAL FAILURE INDICATOR, PUMP RUN LIGHT, HAND-OFF-AUTO SWITCH AND (4) ZOELLER LEVEL CONTROL FLOATS.
3. MOUNT CONTROL PANEL ON PARKING GARAGE WALL AS SHOWN ON PLAN.
4. ZOELLER REP IS DEAN BENNETT SUPPLY, DENVER, CO (800) 621-4291

**SAND / OIL SEPARATOR
3,000 GAL. AASHTO HS-20-40 W/ IMPACT LOADING**
NOT TO SCALE



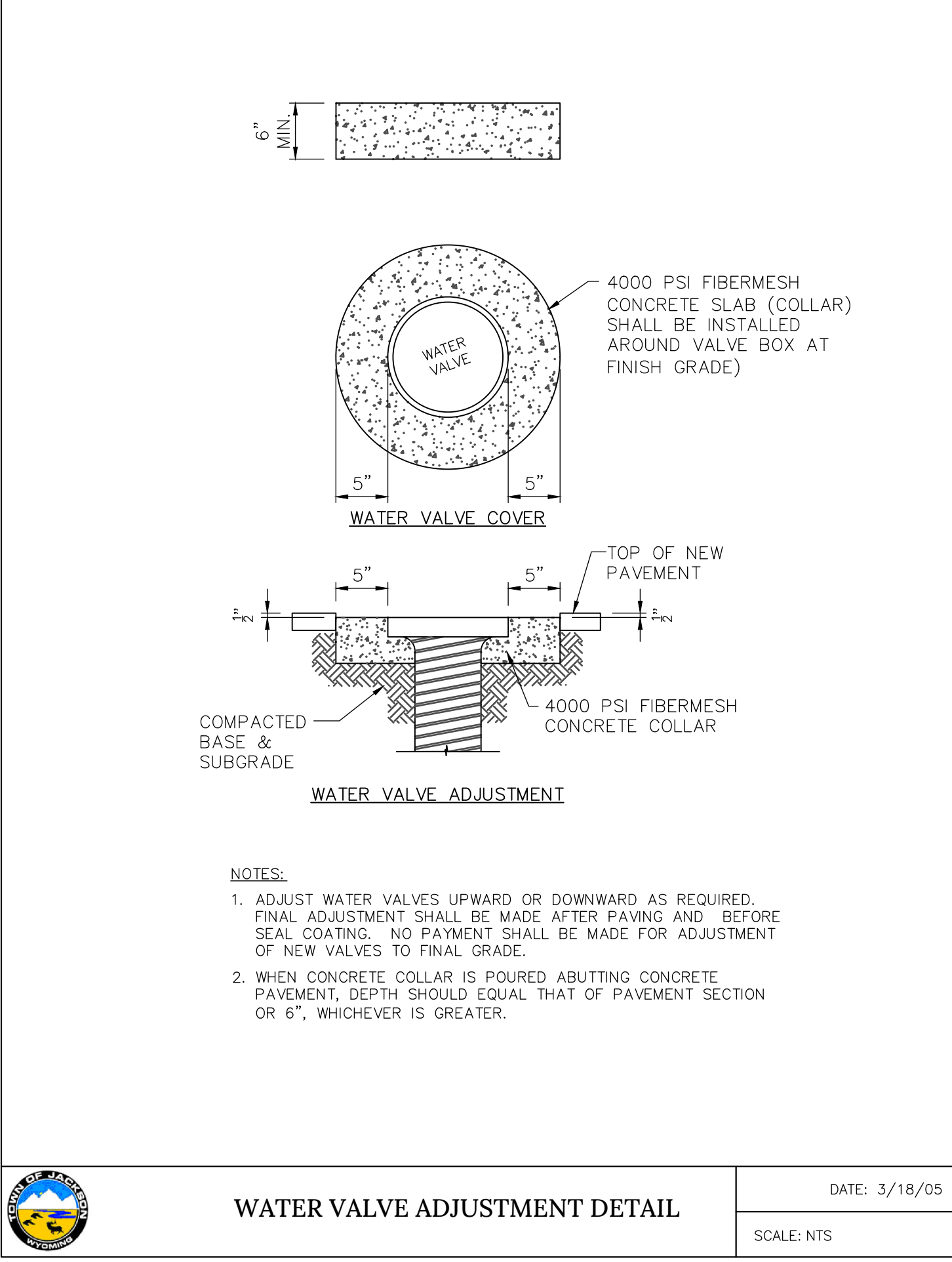
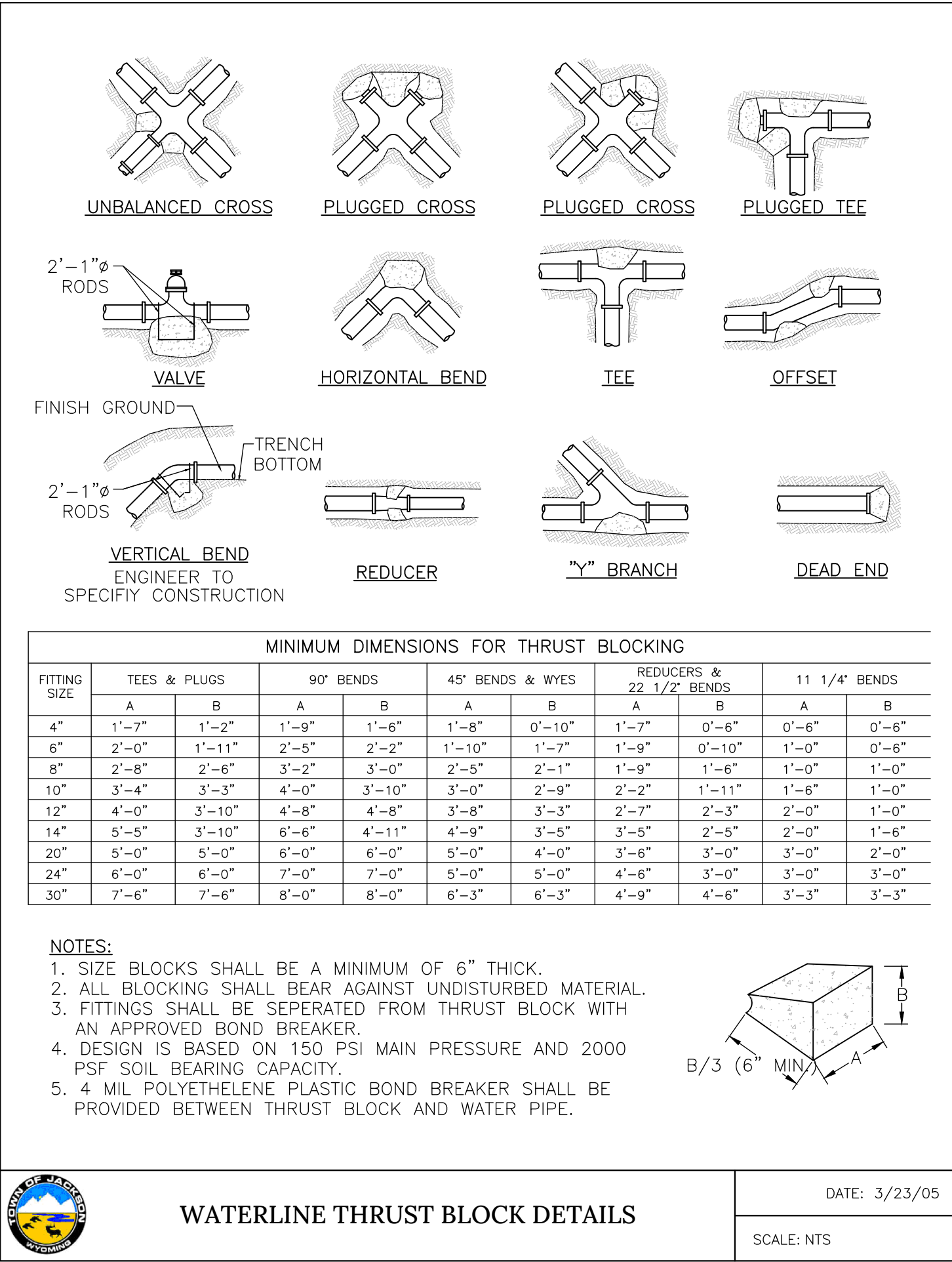
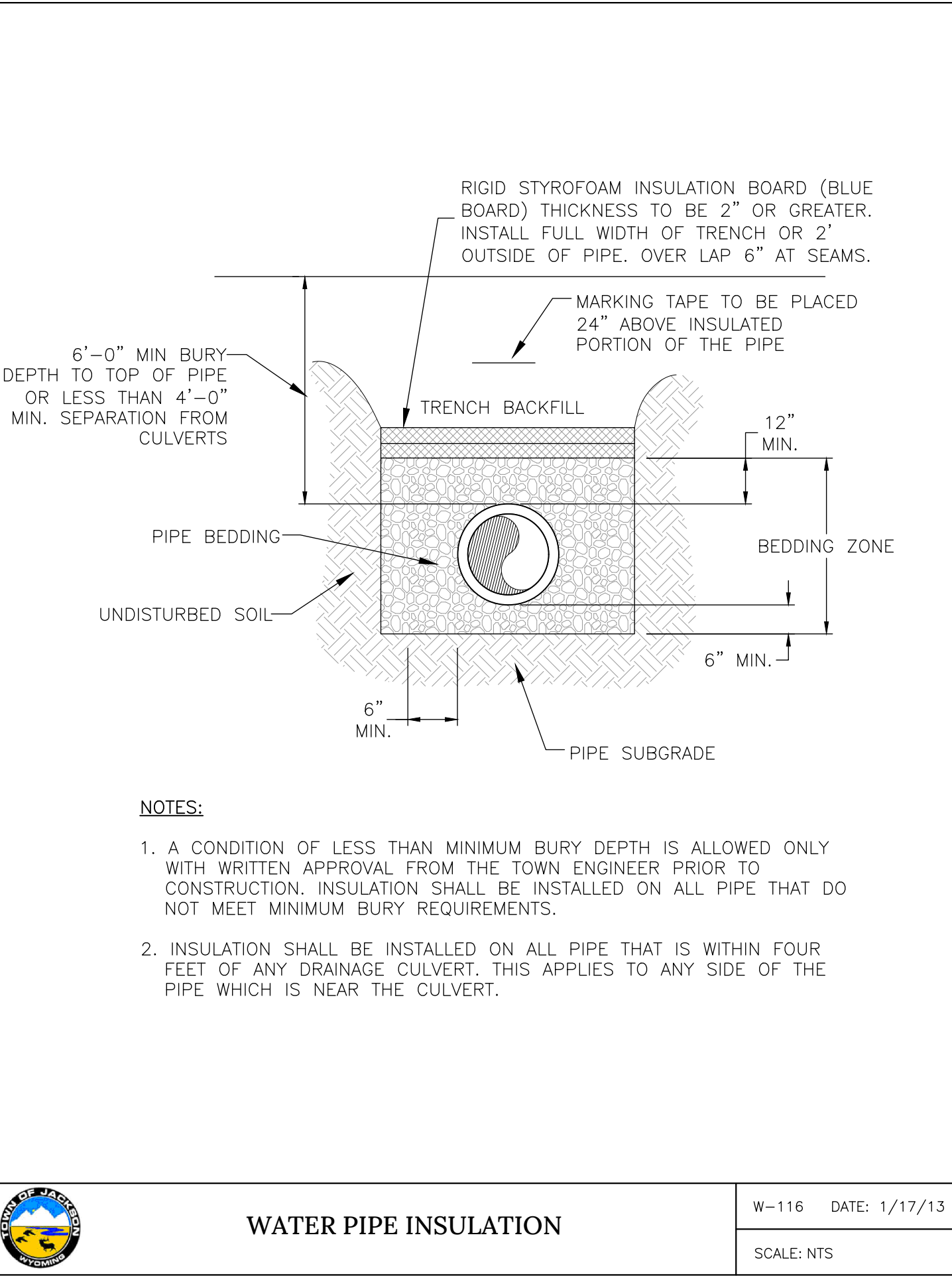
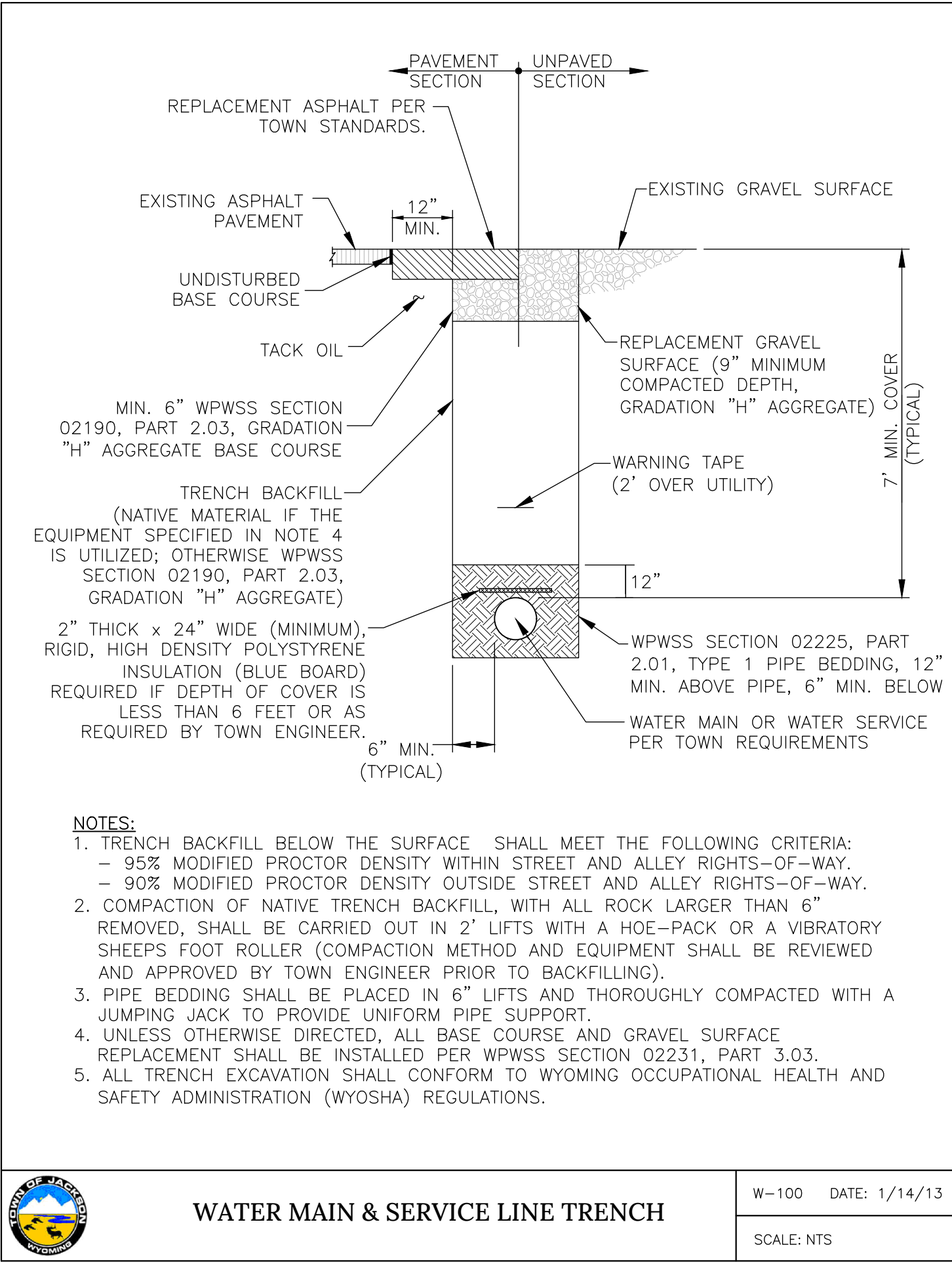
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DETAILS

MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY

7-14-20

C7



NELSON ENGINEERING since 1964
Professional Engineers & Land Surveyors
JACKSON, WY • BUFFALO, WY

MEMORANDUM

TO: Bob Nigro

COMPANY: Teton Engineering

FROM: Matt Bowers, P.E.

PC:

DATE: 7/2/20

RE: 105 Mercill Ave. Water Model Analysis

PROMO/JOB #: 20-198-01

The water model analysis for the proposed development at 105 Mercill Ave. was recently developed based on the following fire demand assumptions, which Teton Engineering provided to Nelson Engineering on June 26, 2020 plus some additional fire flows at surrounding fire hydrants:

- Fire sprinkler demand of 350 gallons per minute (gpm)
- Fire hose demand of 250 gpm
- 2 x fire hydrant demand of 500 gpm (each) = 1,000 gpm

This results in a total fire demand of 1,600 gpm, which was the basis for our water model. The water demands for domestic and commercial use were assumed to be negligible when compared to the fire flows. Prior to including fire flow demands into the model, static pressures at the 105 Mercill Ave. node indicated a pressure of 65.5 psi. After including the fire demand of 1,600 gpm at the 105 Mercill Ave. node, the residual pressure decreased to 51.8 psi. Pressures in See **Exhibit A** for a comparison between static and residual conditions.

WATER MAINS TESTING STANDARDS

WATER MAINS SHALL BE SUBJECTED TO AND PASS CERTAIN PERFORMANCE TESTS PRIOR TO THEIR ACCEPTANCE BY THE TOWN OF JACKSON. SUCH TESTS SHALL BE CONDUCTED IN THE PRESENCE OF AUTHORIZED TOWN OF JACKSON STAFF. ANY REMEDY OF DEFECTS SHALL BE CARRIED OUT AT THE EXPENSE OF THE CONTRACTOR.

HYDROSTATIC TESTING

THE FOLLOWING TESTS SHALL BE PERFORMED:

- PRESSURE TEST MAINS AFTER THE PIPE HAS BEEN LAID, WATER PIPE AND VALVES SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE OF AT LEAST 1.5X THE WORKING PRESSURE AT THE POINT OF TESTING, OR A MINIMUM OF 125 PSI (862.5 KPA), WHICHEVER IS GREATER. HYDROSTATIC TESTING SHALL INCLUDE WATER MAIN, ALL VALVES AND ALL SERVICE LINE CONNECTIONS FROM THE POINT OF CONNECTION AT THE MAIN TO THE CURB STOP.

A. TEST PRESSURE RESTRICTIONS – TEST PRESSURES SHALL:

- NOT BE LESS THAN 1.25 X THE WORKING PRESSURE AT THE HIGHEST POINT ALONG THE TEST SECTION.
- NOT EXCEED PIPE OR THRUST RESTRAINT DESIGN PRESSURES.
- BE OF AT LEAST TWO-HOUR DURATION.
- NOT VARY BY MORE THAN + 5 PSI
- NOT EXCEED THE RATED PRESSURE OF THE VALVE OR HYDRANTS.

B. PRESSURIZATION:

EACH VALVED SECTION OF PIPE SHALL BE FILLED WITH WATER SLOWLY AND THE SPECIFIED TEST PRESSURE, BASED ON THE ELEVATION OF THE LOWEST POINT OF THE LINE OR SECTION UNDER TEST AND CORRECTED TO THE ELEVATION OF THE TEST GAUGE, SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A MANNER SATISFACTORY TO THE TOWN.

C. AIR REMOVAL:

BEFORE APPLYING THE SPECIFIED TEST PRESSURE, AIR SHALL BE EXPELLED COMPLETELY FROM THE PIPE, VALVES, AND HYDRANTS. IF PERMANENT AIR VENTS ARE NOT LOCATED AT ALL HIGH POINTS, THE CONTRACTOR SHALL INSTALL CORPORATION COCKS AT SUCH POINTS SO THAT THE AIR CAN BE EXPELLED AS THE LINE IS FILLED WITH WATER. AFTER ALL THE AIR HAS BEEN EXPELLED, THE CORPORATION COCKS SHALL BE CLOSED AND THE TEST PRESSURE APPLIED. AT THE CONCLUSION OF THE PRESSURE TEST, THE CORPORATION COCKS SHALL BE REMOVED AND PLUGGED, OR LEFT IN PLACE AT THE DISCRETION OF THE OWNER.

D. EXAMINATION:

ALL EXPOSED PIPE, FITTINGS, VALVES, HYDRANTS, AND JOINTS SHALL BE EXAMINED CAREFULLY DURING THE TEST. ANY DAMAGE OR DEFECTIVE PIPE, FITTINGS, VALVES, OR HYDRANTS THAT ARE DISCOVERED FOLLOWING THE PRESSURE TEST SHALL BE REPAIRED OR REPLACED. ONCE SYSTEM IMPROVEMENTS ARE COMPLETED, THE TEST SHALL BE REPEATED UNTIL IT IS SATISFACTORY TO THE OWNER.

2. PRESSURE TEST SERVICE LINE

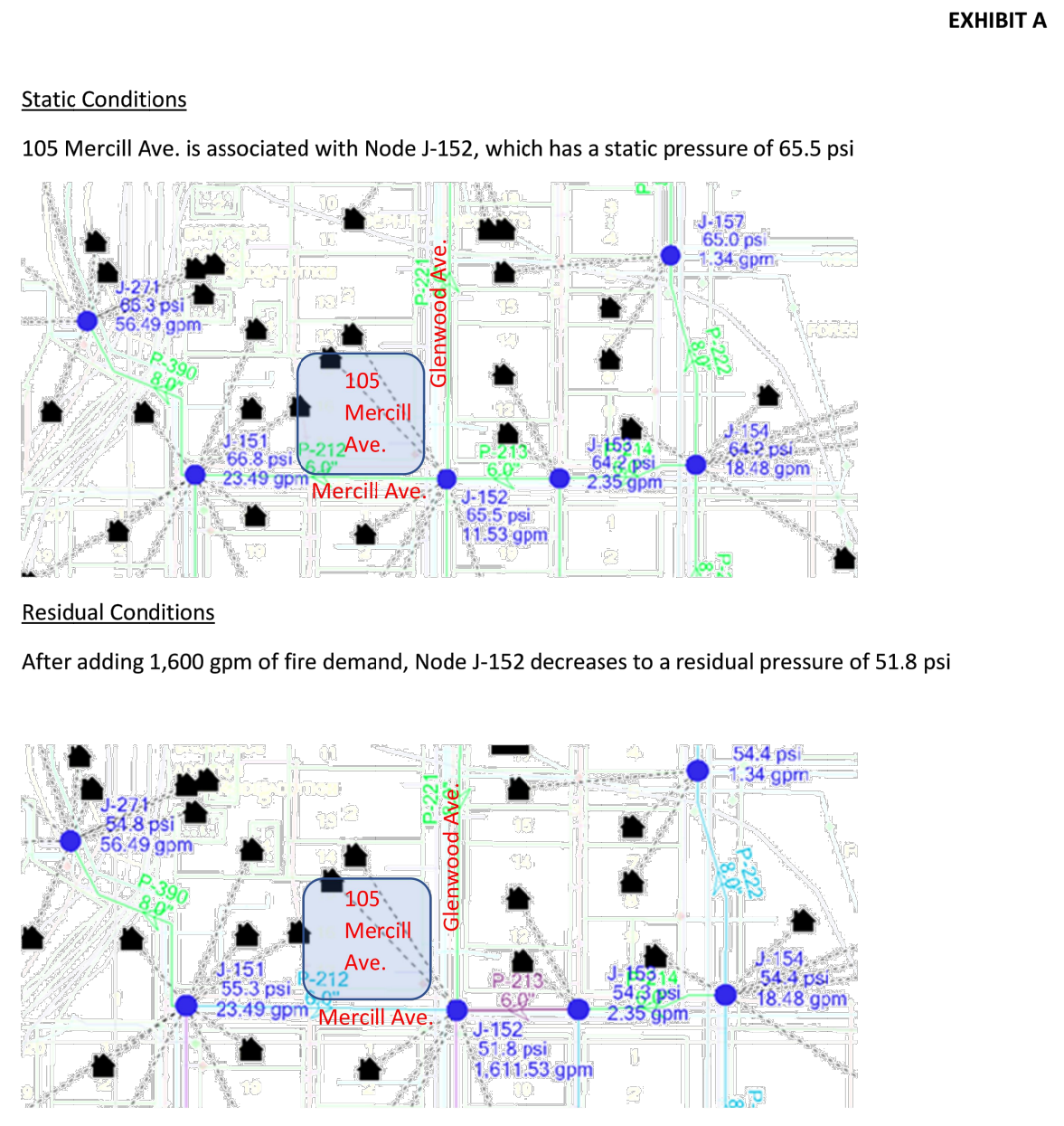
AFTER THE PIPE HAS BEEN LAID, WATER PIPE AND VALVES SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE OF THE WORKING PRESSURE AT THE POINT OF TESTING. HYDROSTATIC TESTING SHALL INCLUDE SERVICE LINE, ALL CONNETIONS AND VALVES AND FROM THE POINT OF CONNECTION TO THE POINT OF BUILDING CURB.

A. TEST PRESSURE RESTRICTIONS – TEST PRESSURES SHALL:

- BE OF AT LEAST TWO-HOUR DURATION.
- NOT VARY BY MORE THAN + 3 PSI.

B. EXAMINATION:

ALL EXPOSED PIPE, FITTINGS, VALVES AND JOINTS SHALL BE EXAMINED CAREFULLY DURING THE TEST. ANY DAMAGE OR DEFECTIVE PIPE, FITTINGS, OR VALVES, WHICH ARE DISCOVERED FOLLOWING THE PRESSURE TEST, SHALL BE REPAIRED OR REPLACED. ONCE SYSTEM IMPROVEMENTS ARE COMPLETED, THE TEST SHALL BE REPEATED UNTIL IT IS SATISFACTORY TO THE OWNER.



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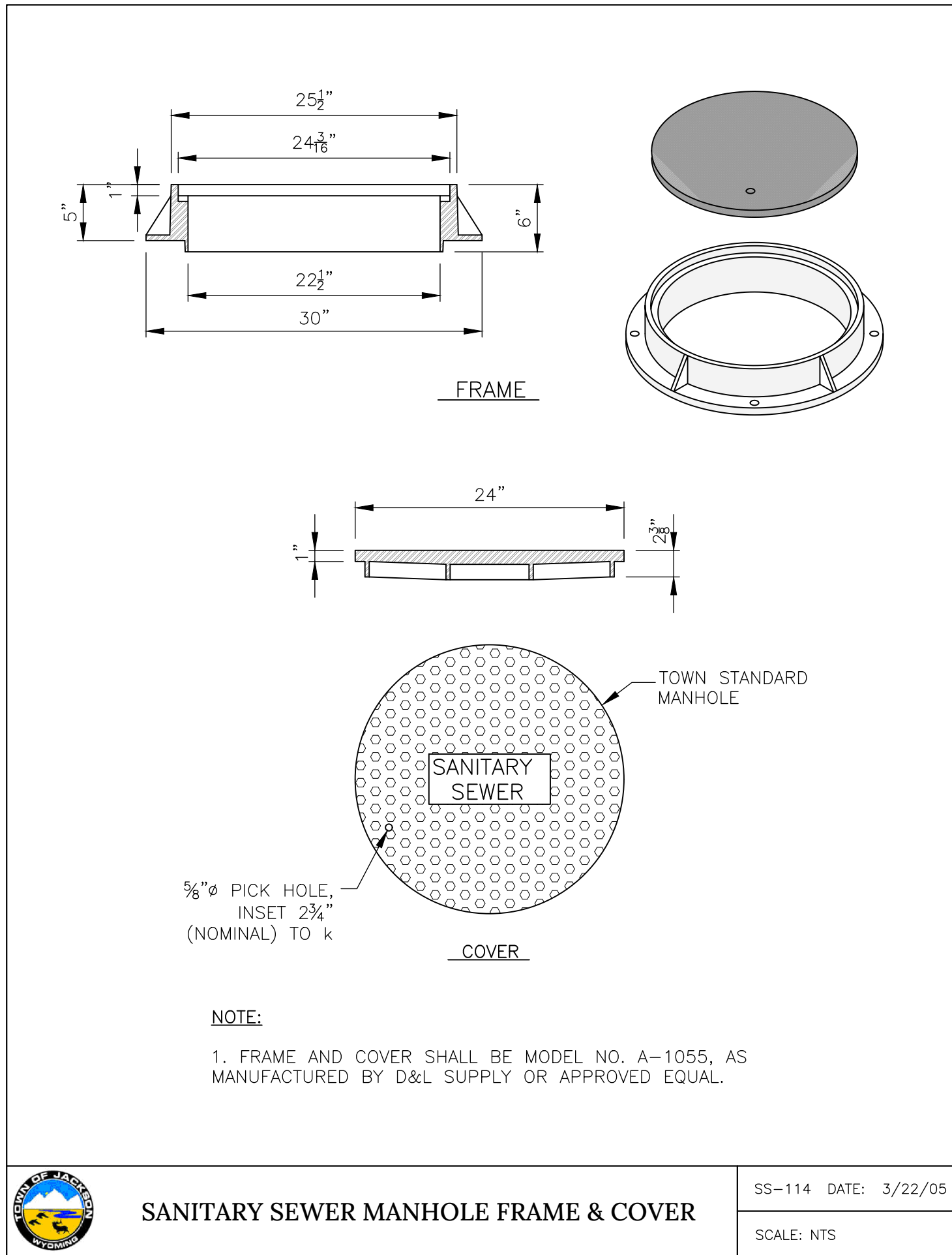
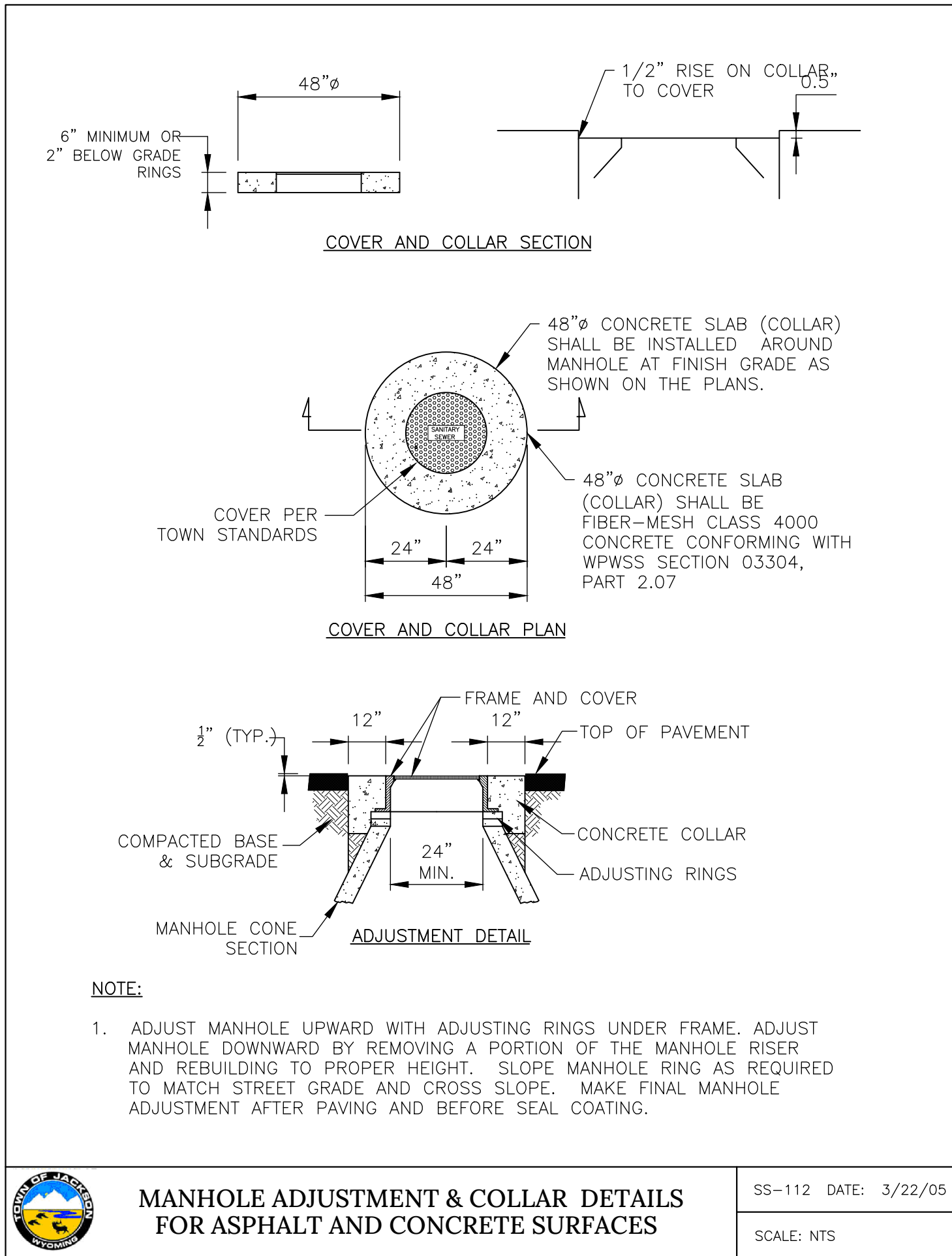
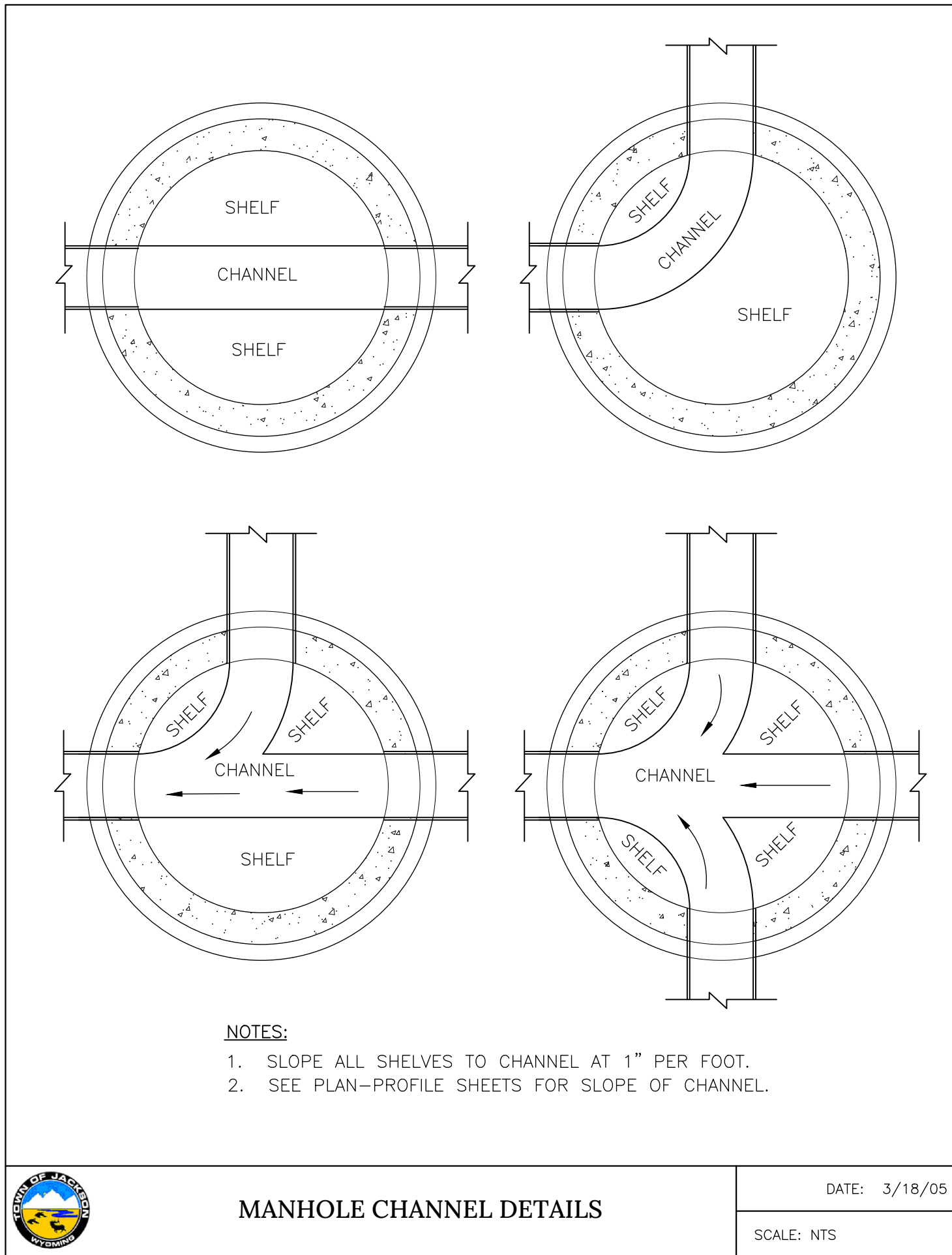
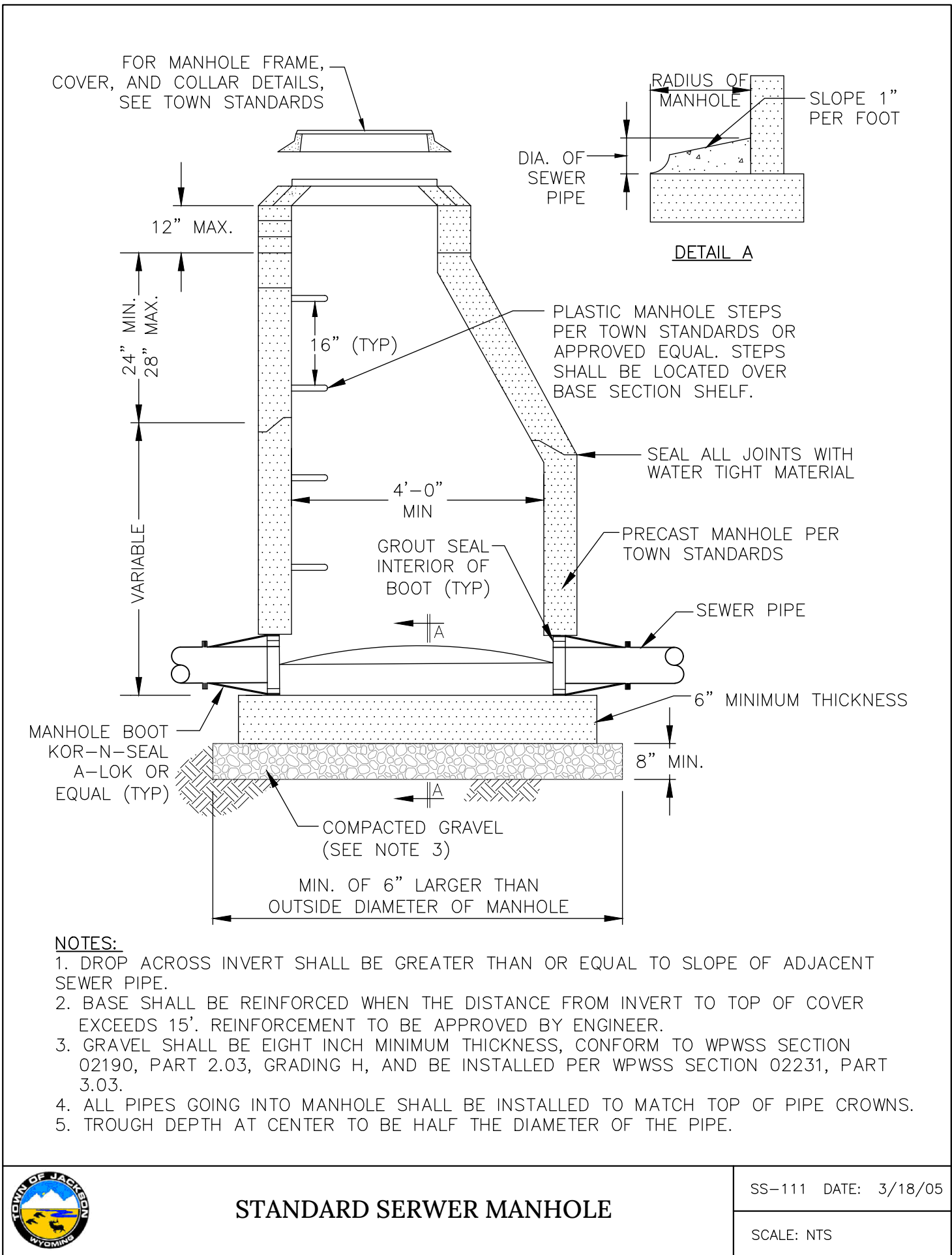
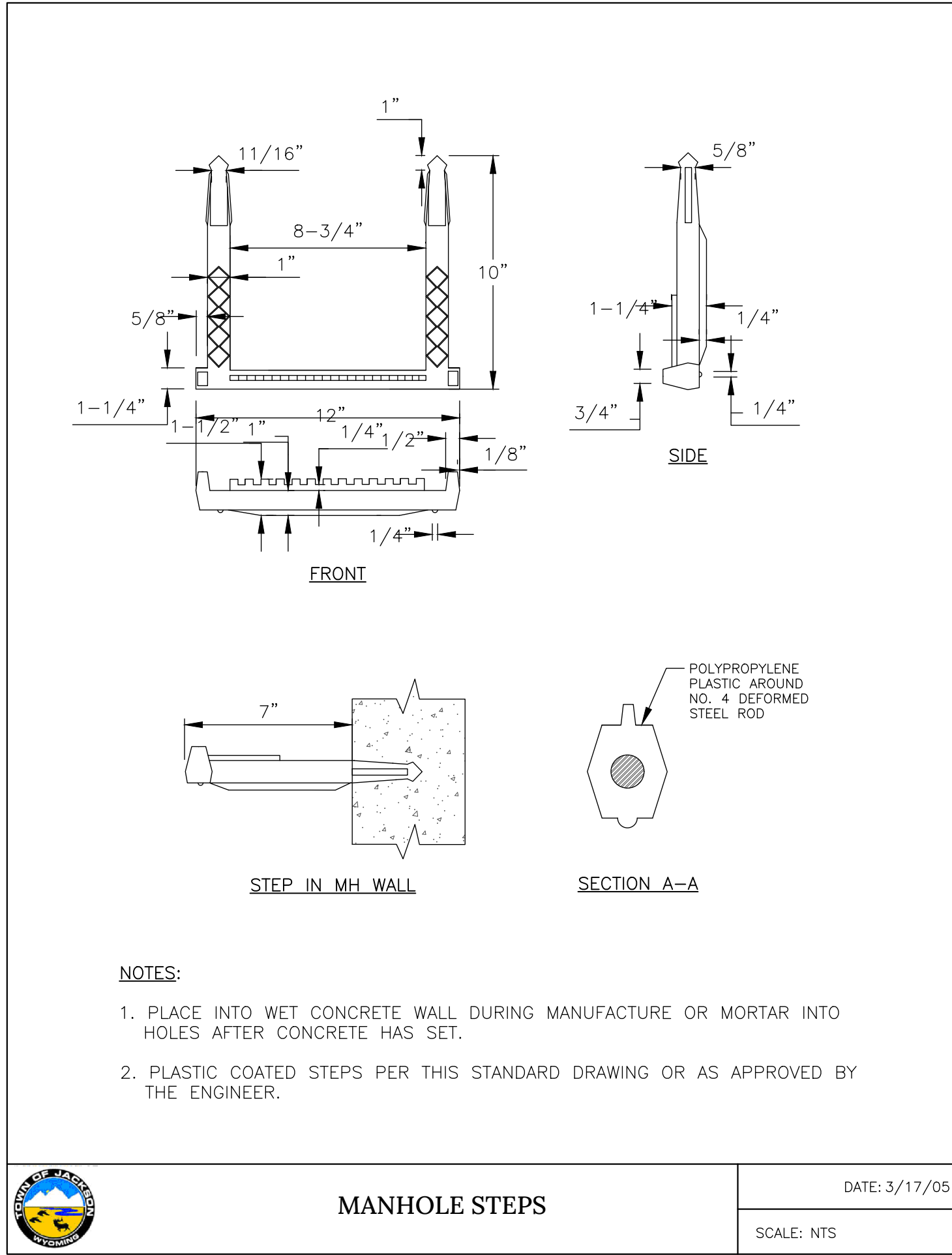
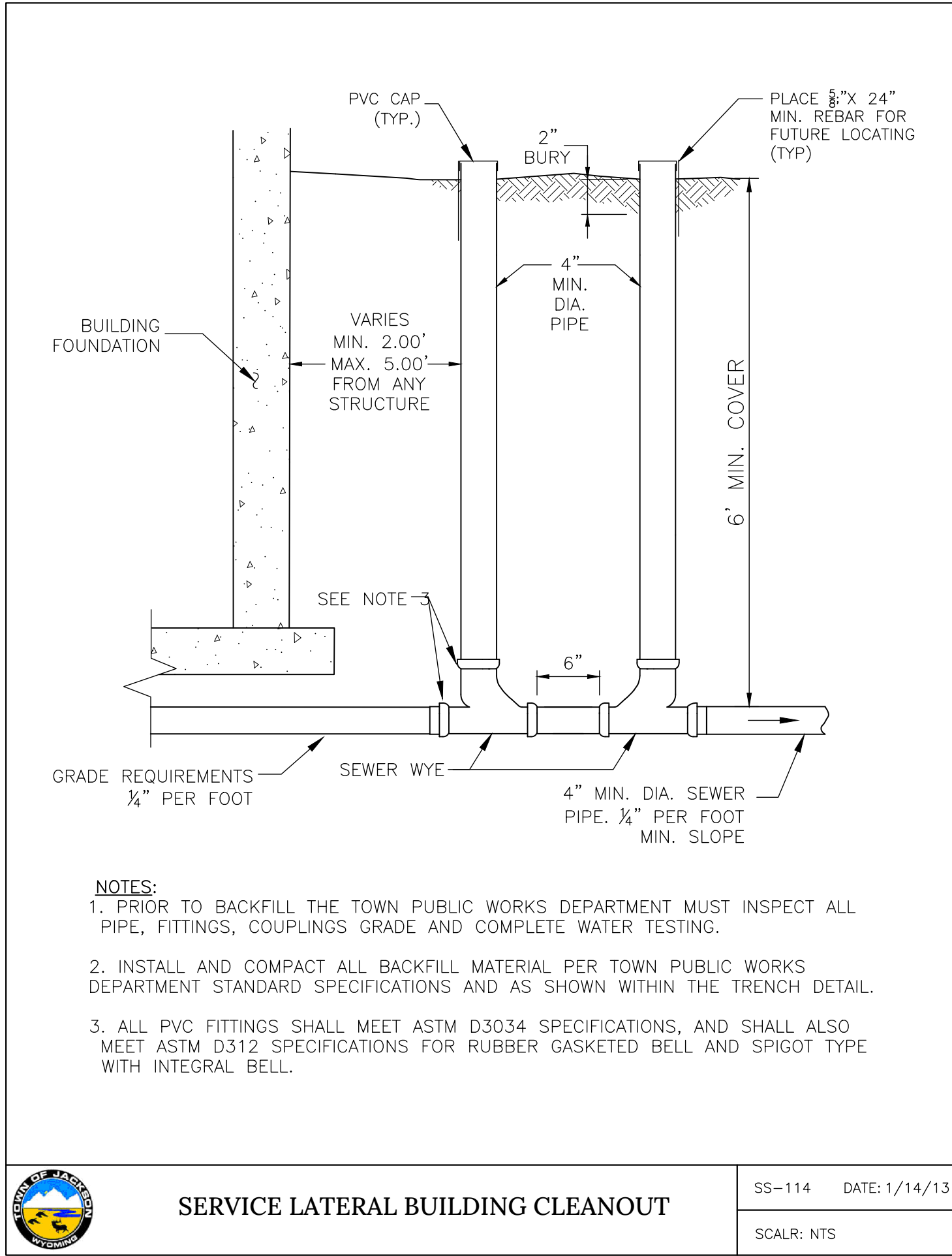
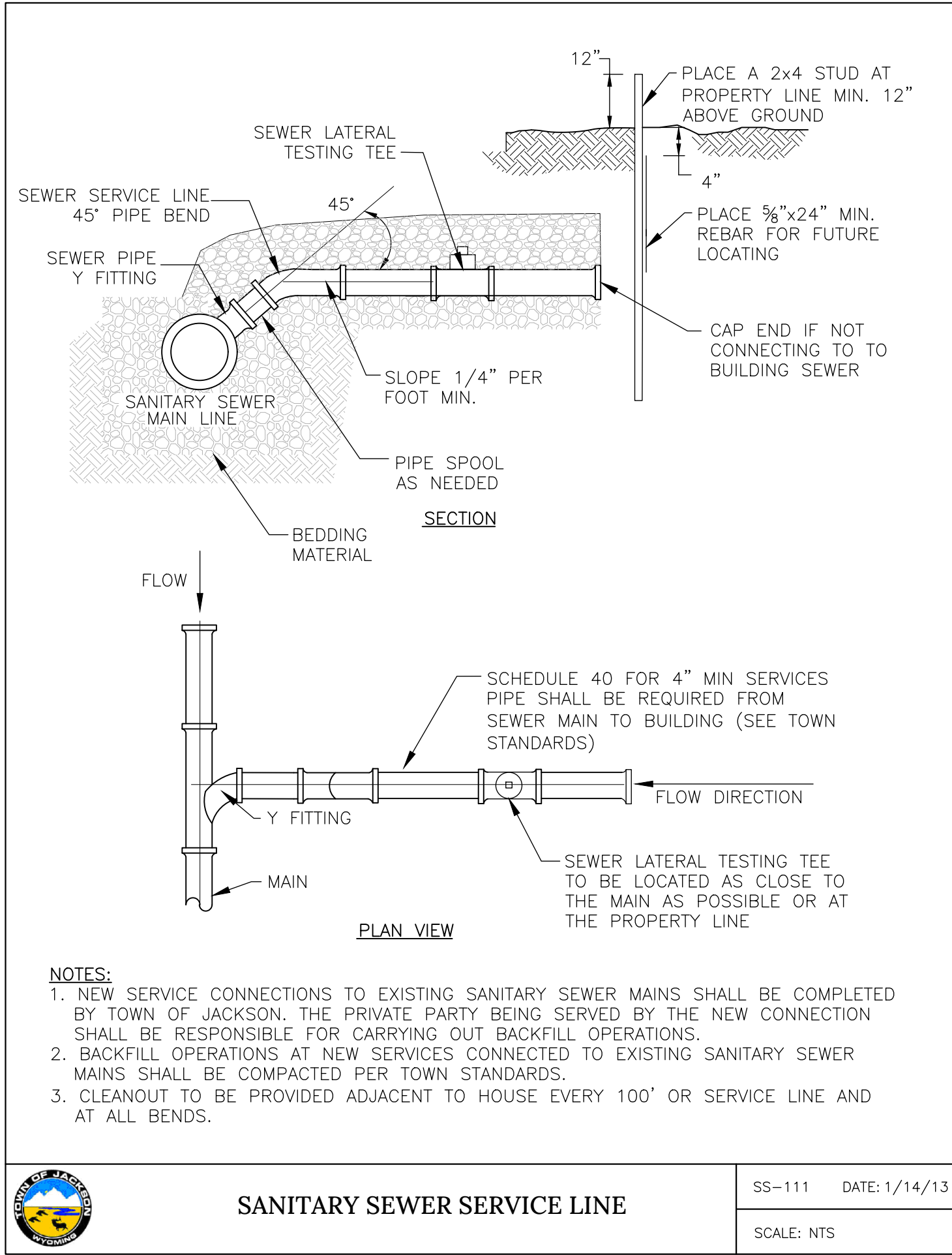
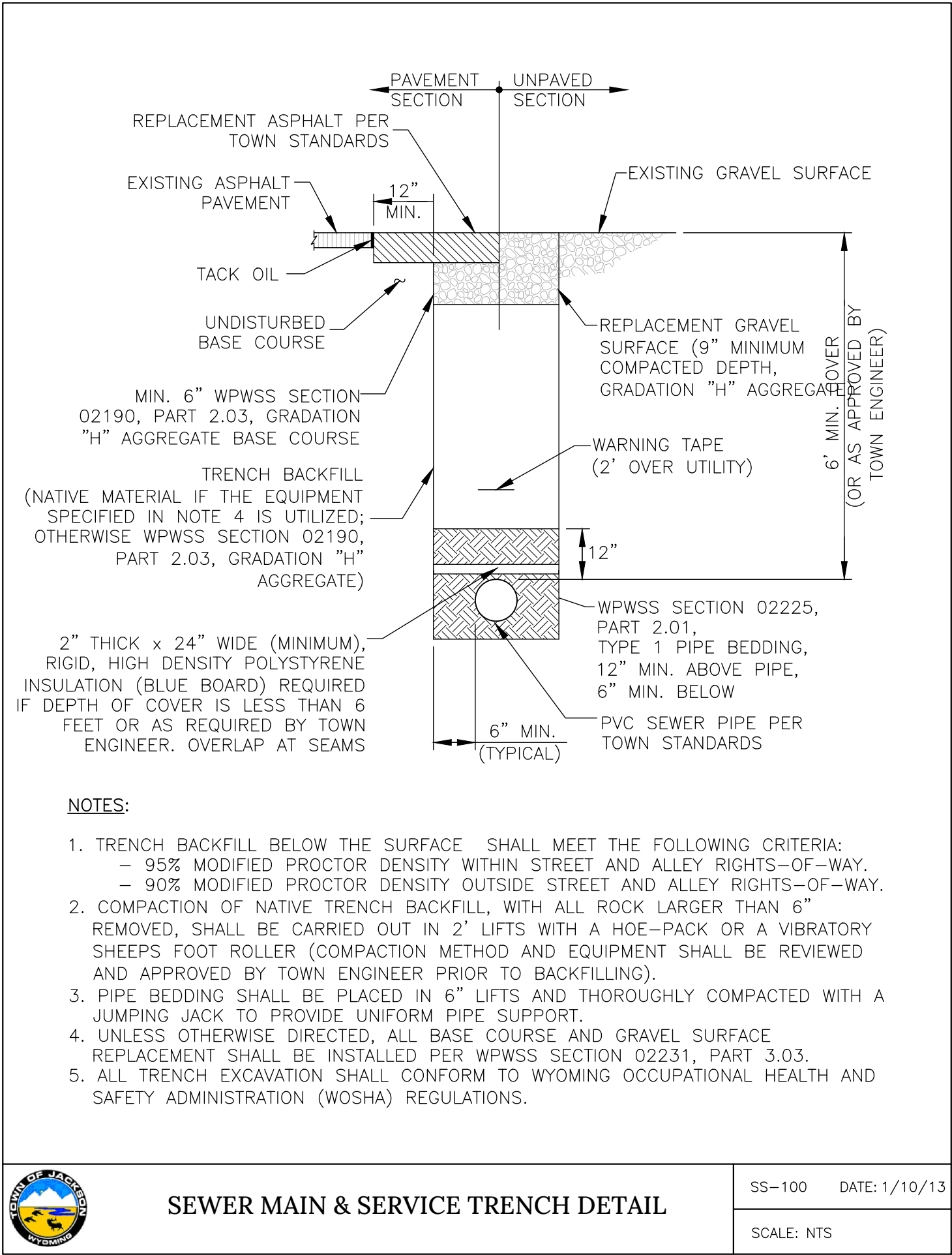
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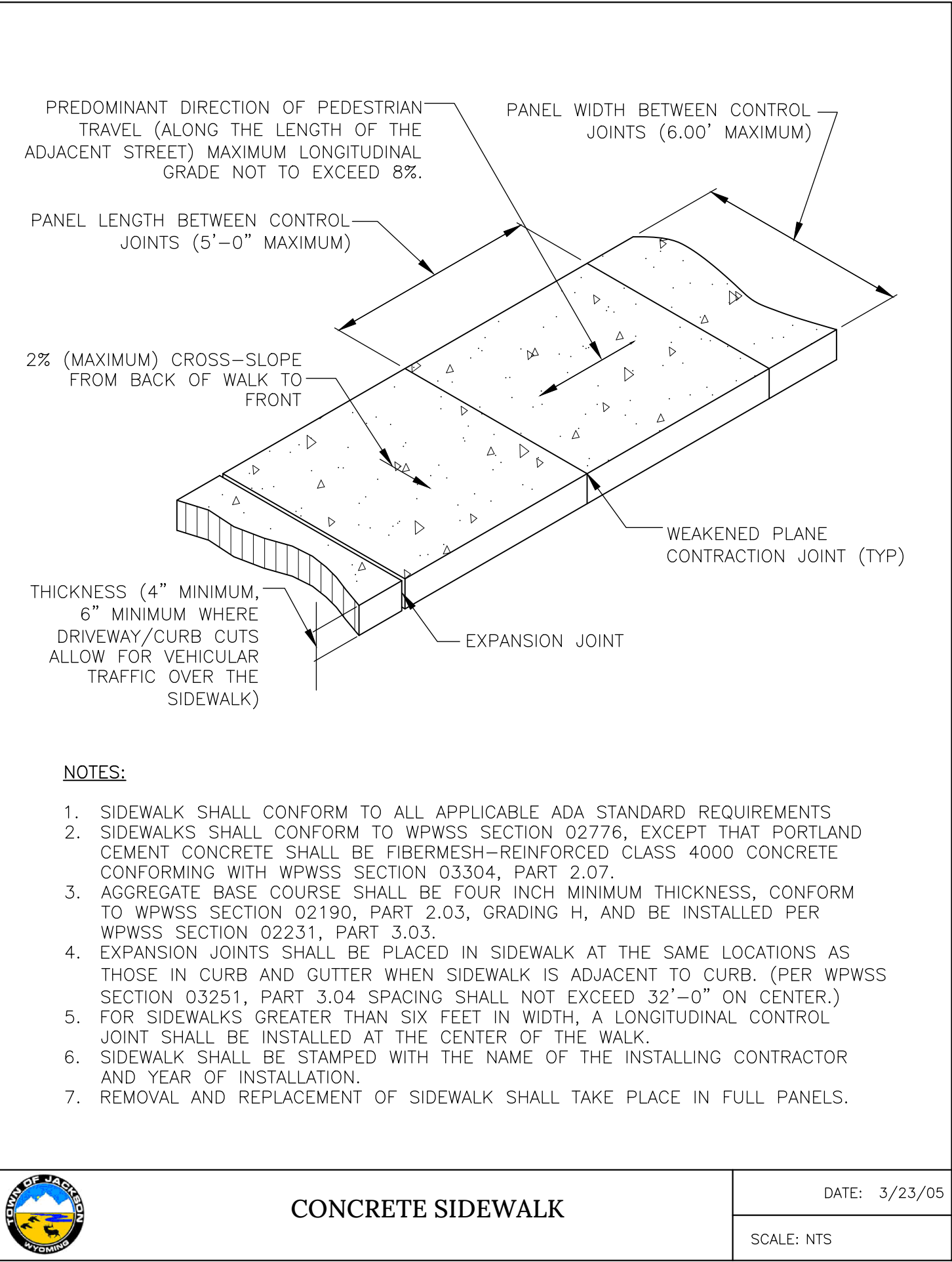
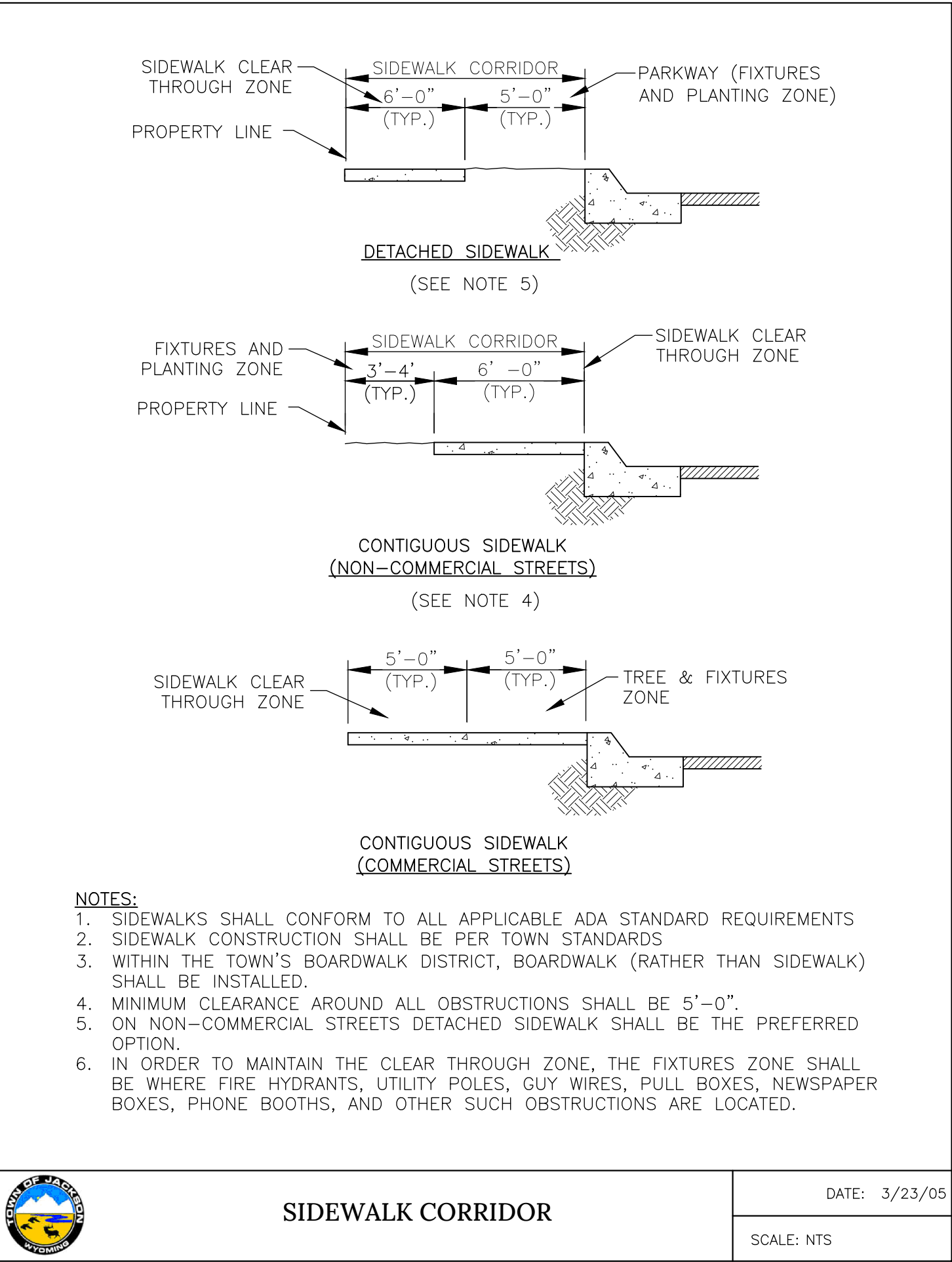
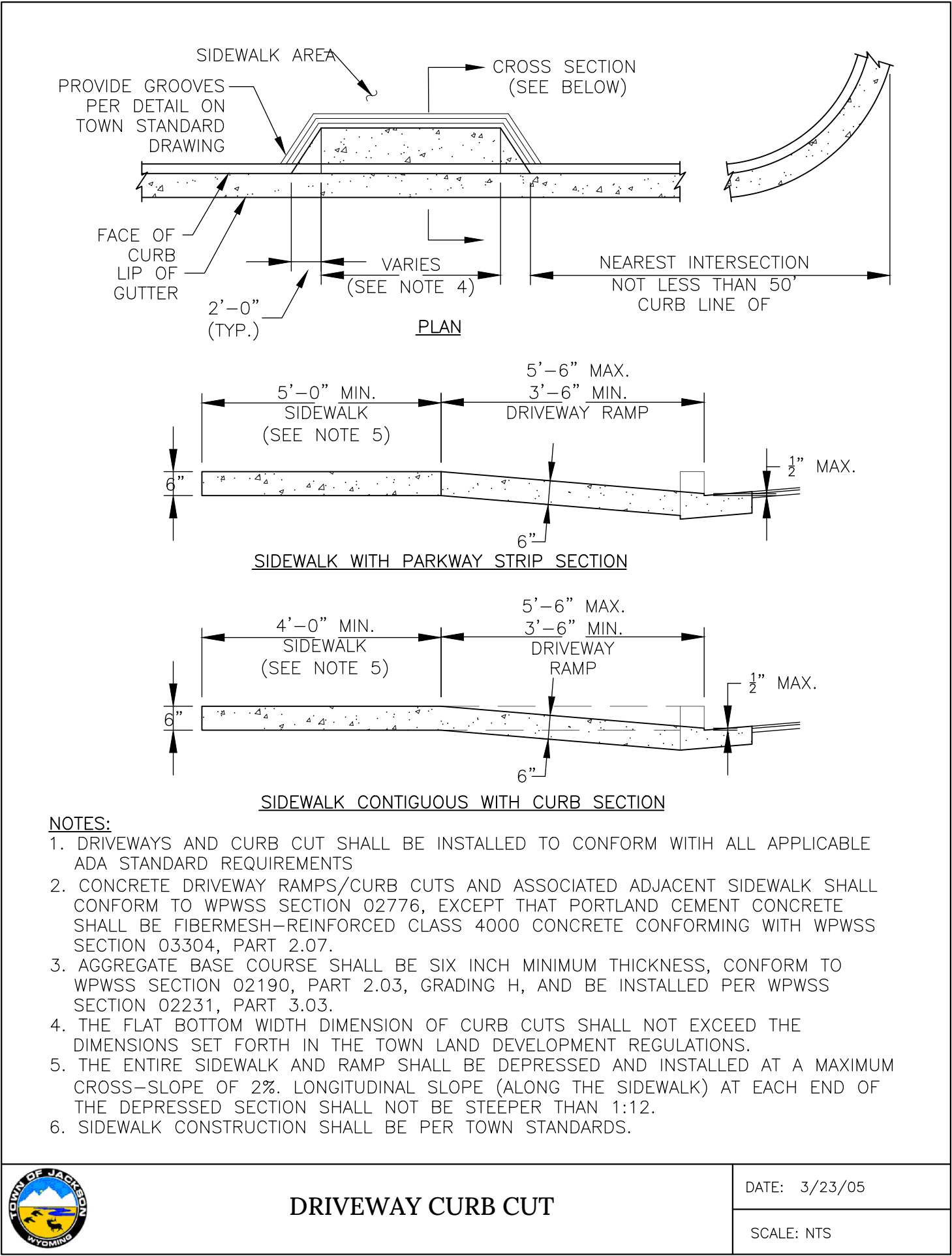
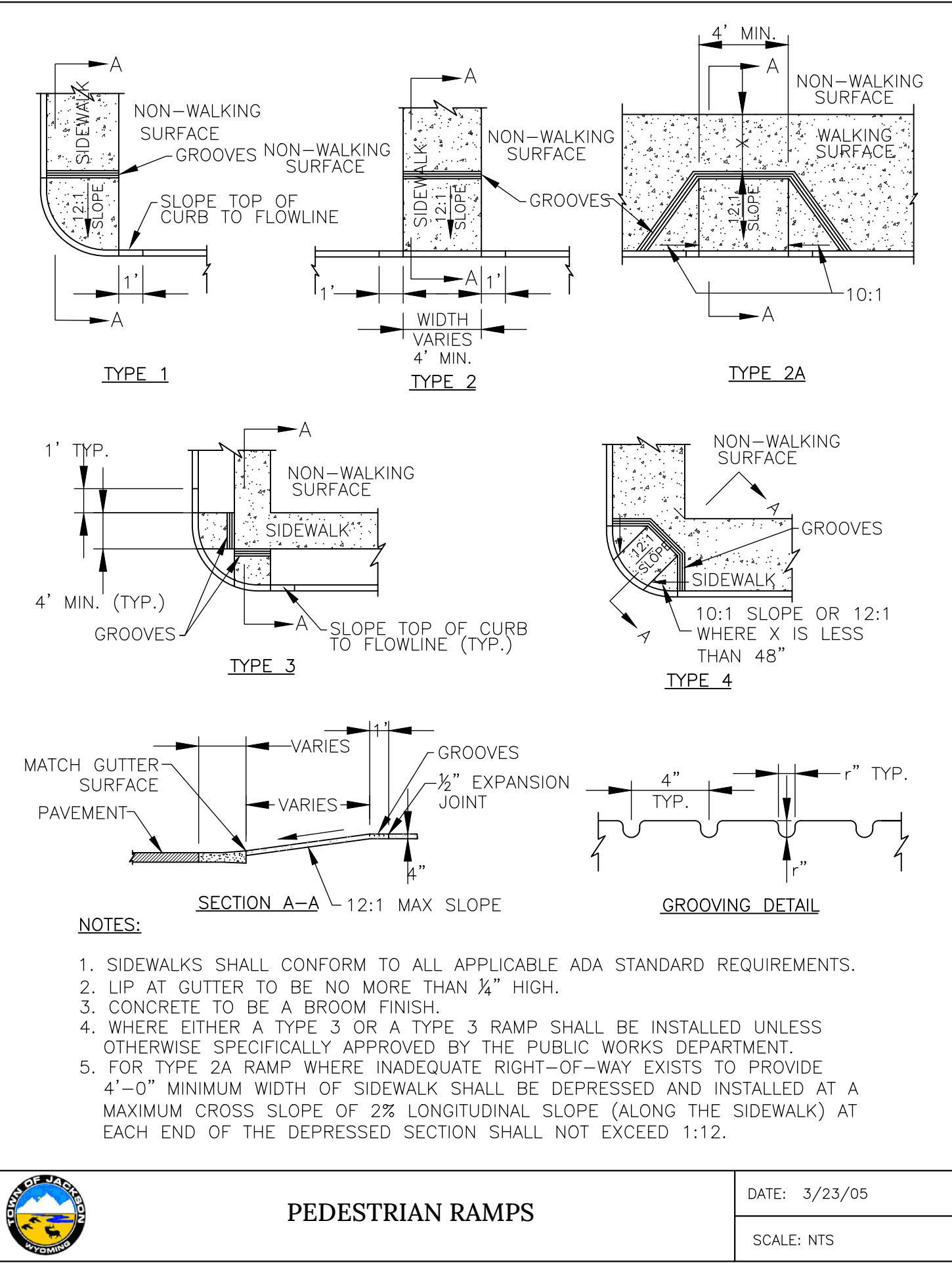
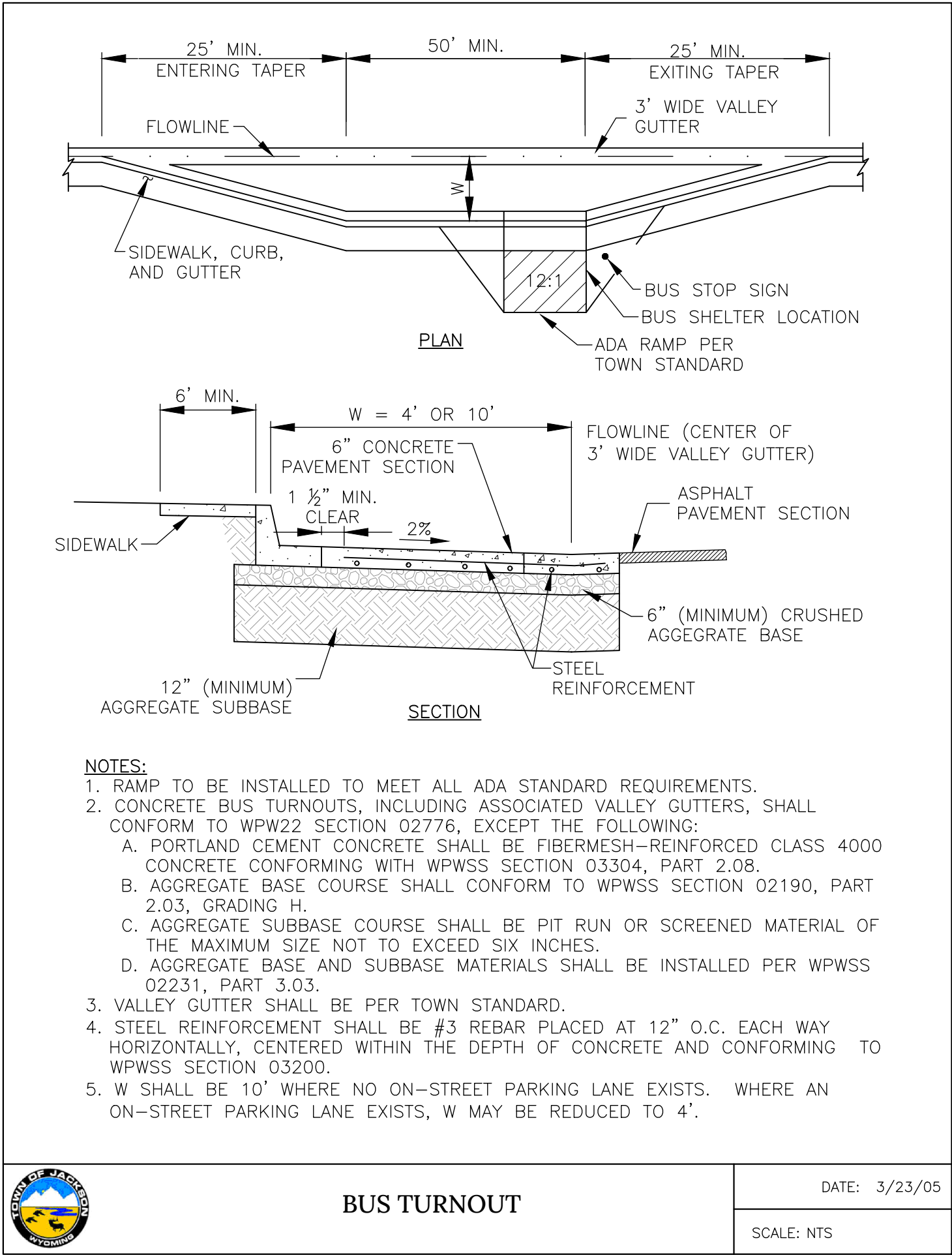
**MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY**

7-14-20

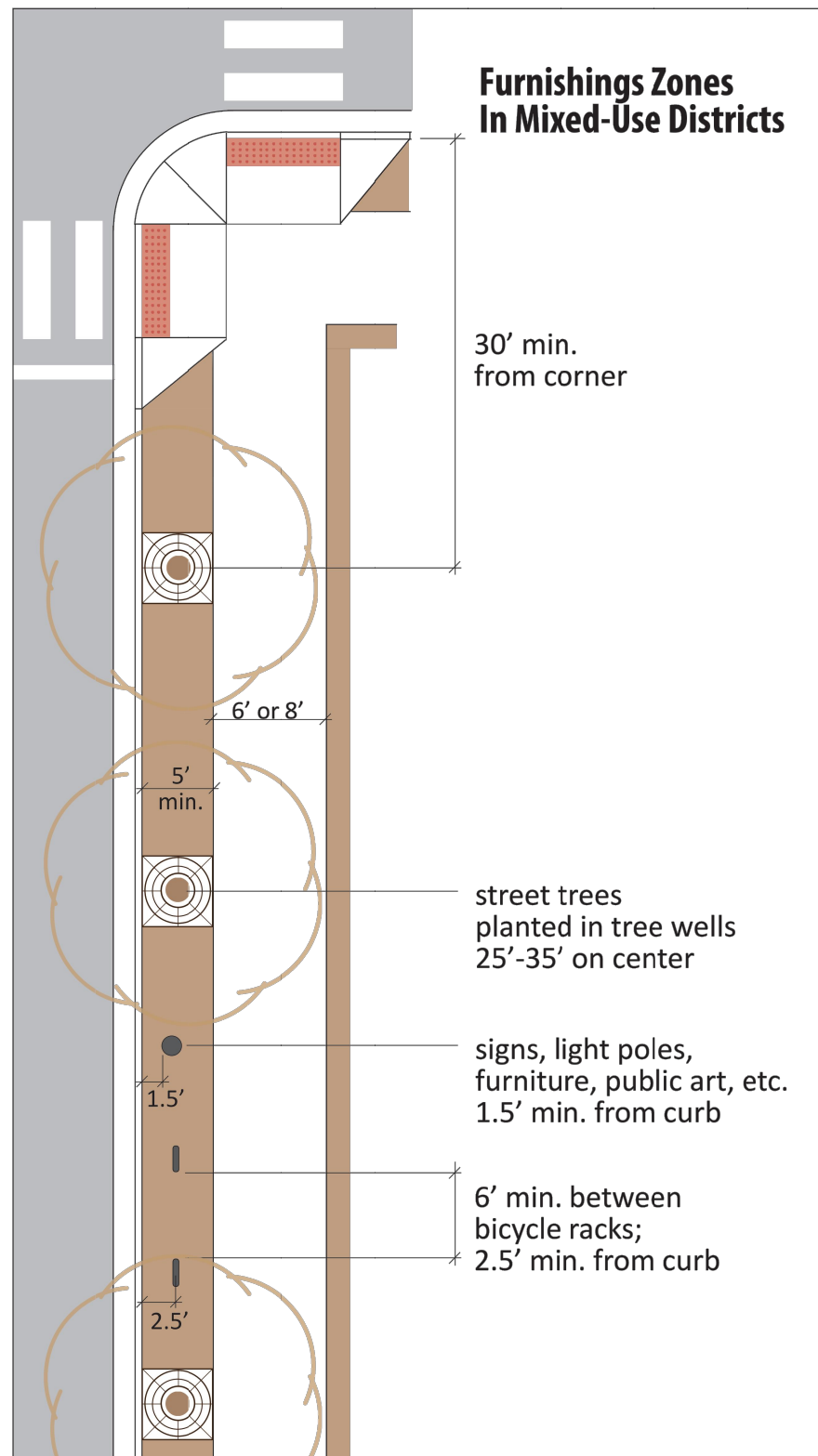
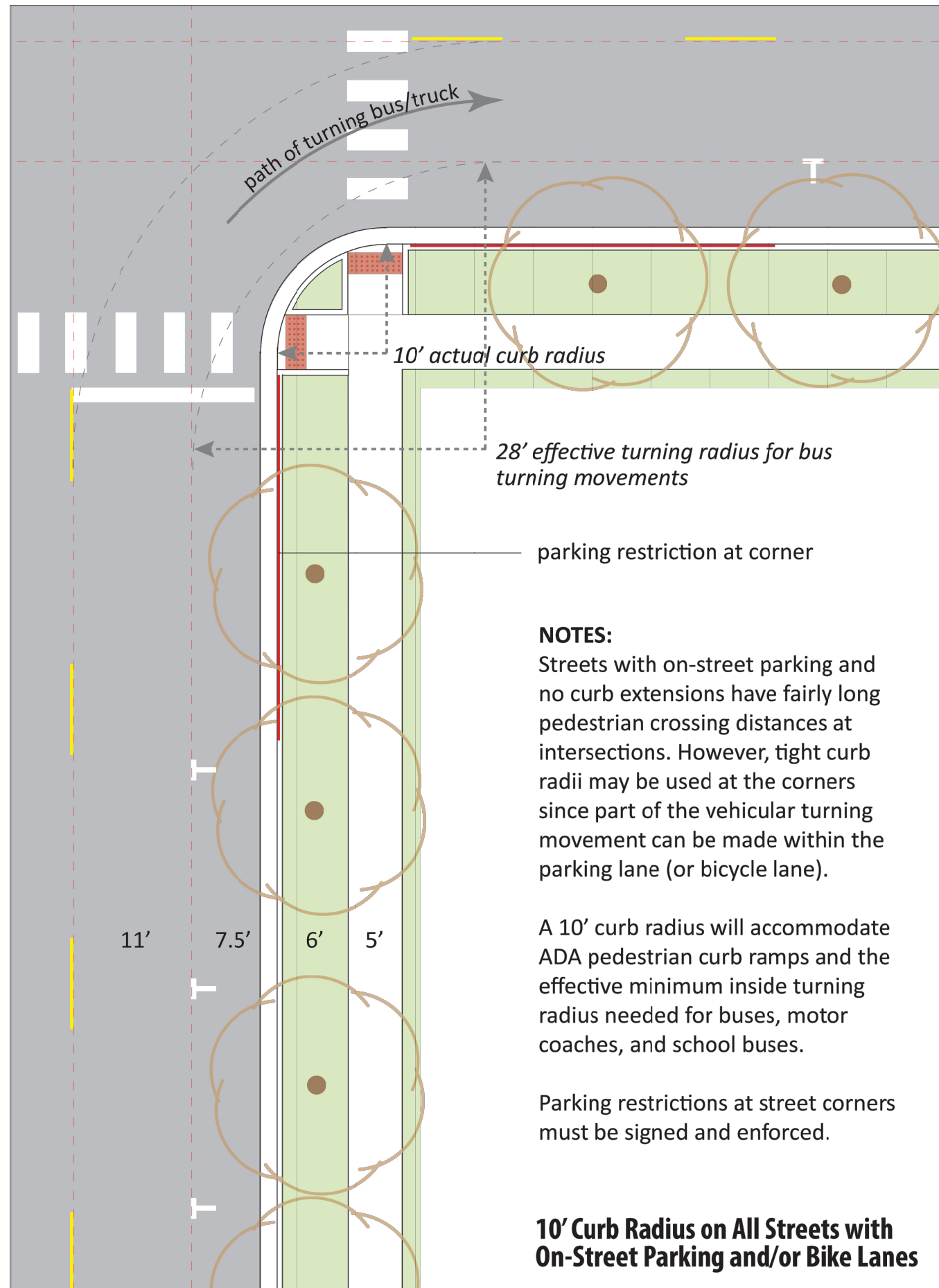
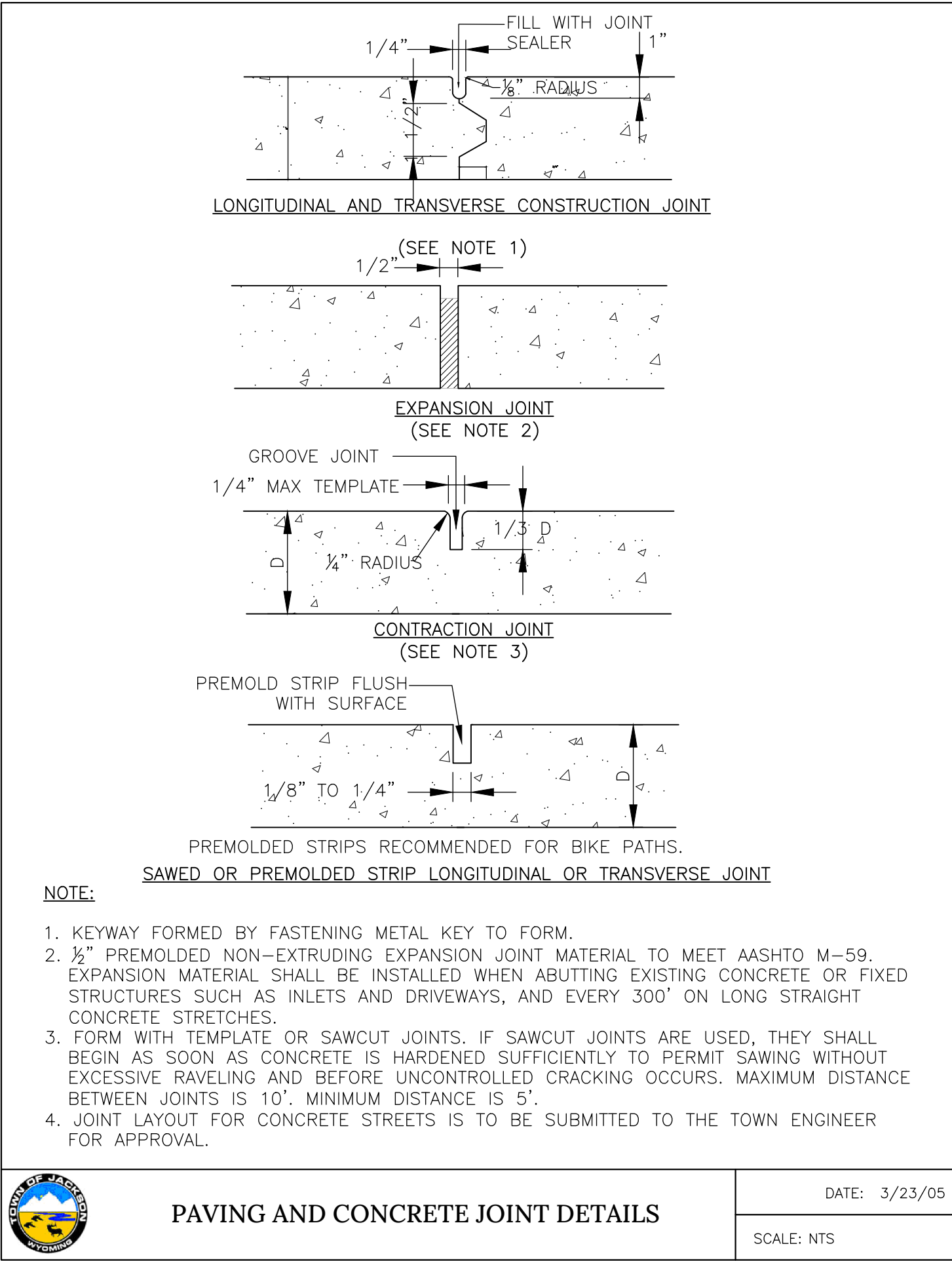
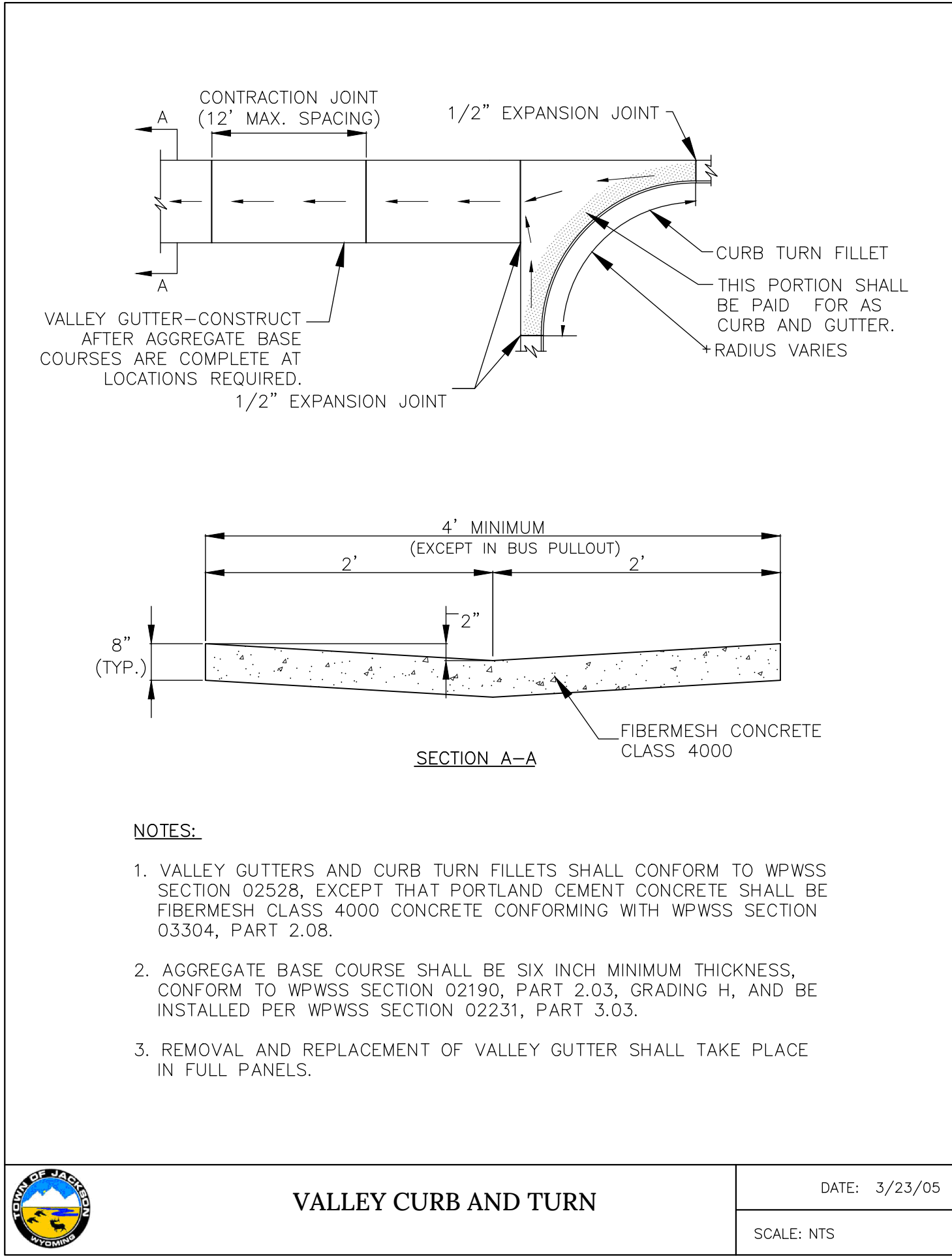
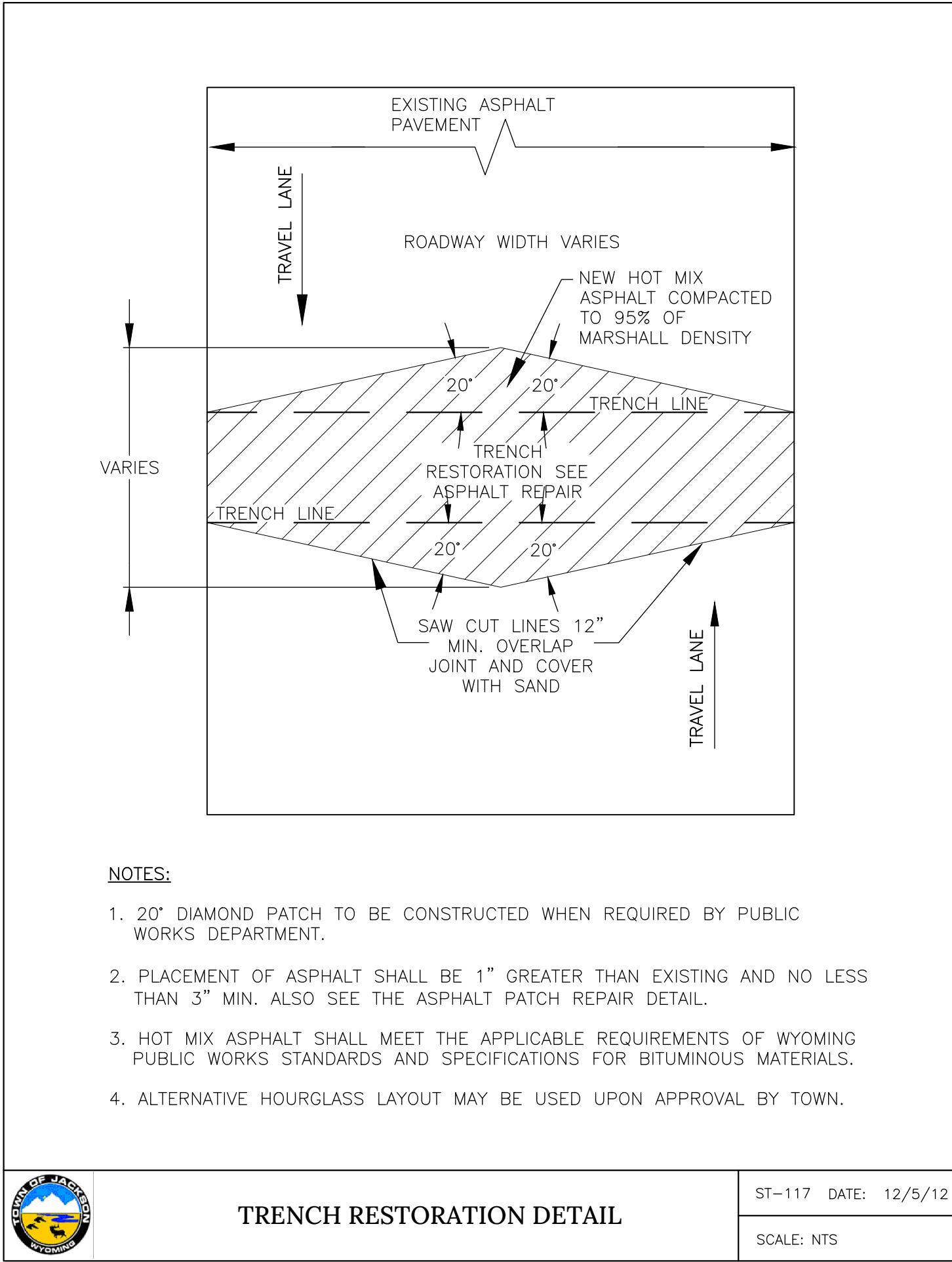
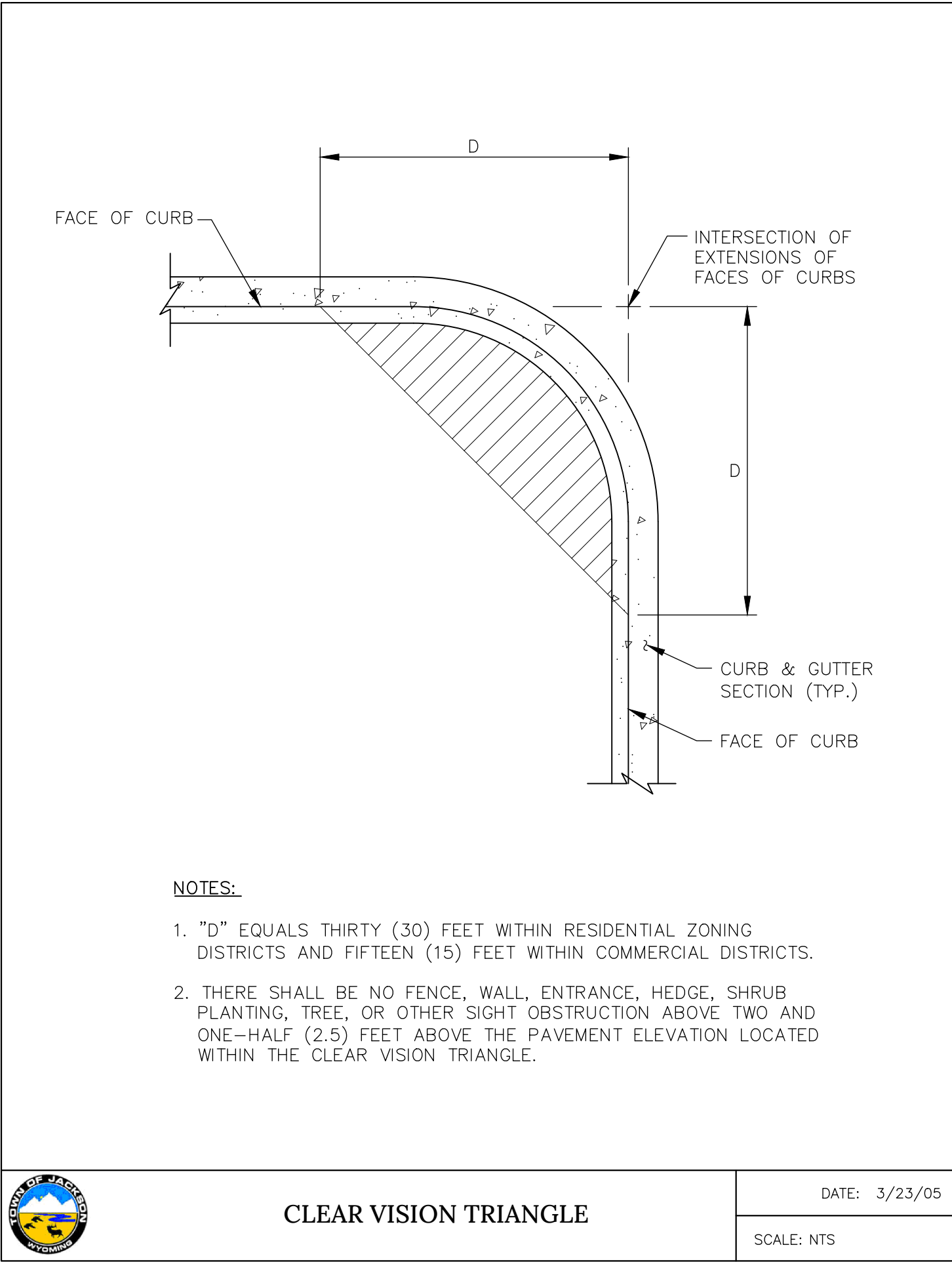
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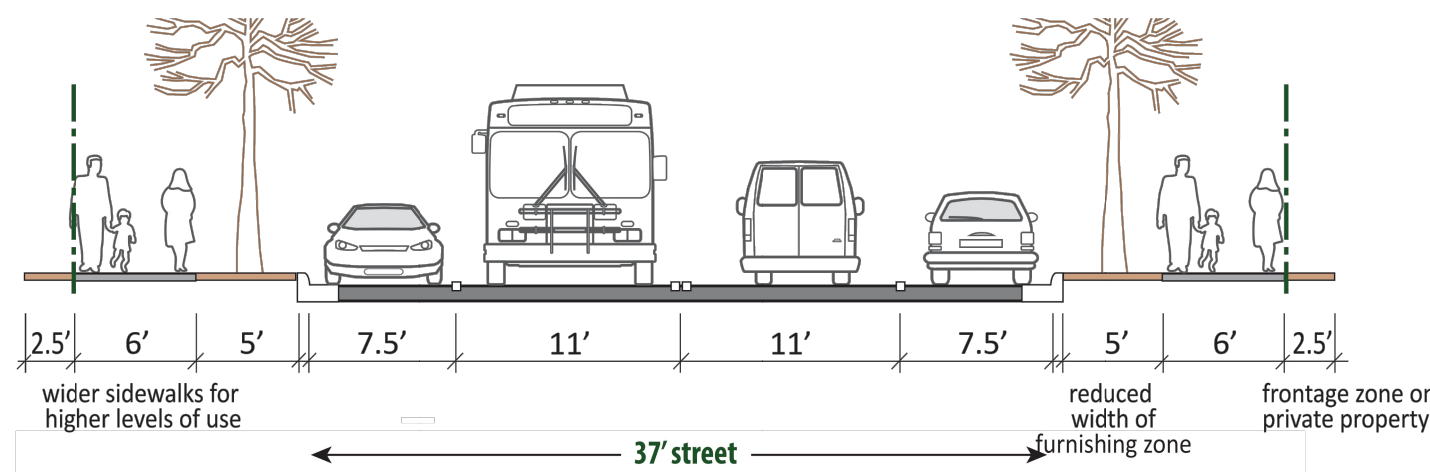




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60' R.O.W.
Mixed-Use Districts
Local Street or BT Street



DETAILS

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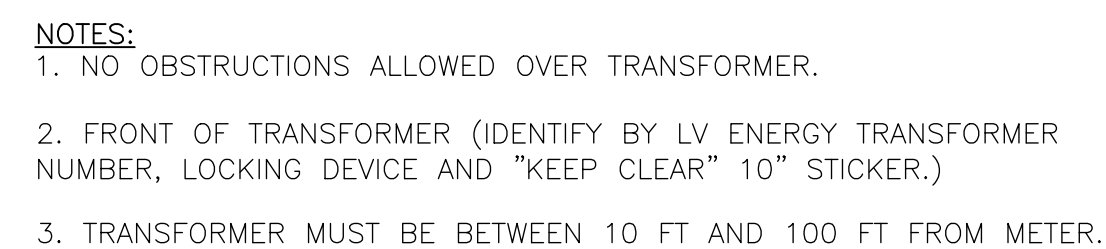


Diagram illustrating the required clearances for electric enclosures and gas meters:

- 6'-0" MIN. AREA IS "CLEAR ZONE"**: Indicated by a large rectangular area on the left side of the diagram.
- NO OPENINGS IN BUILDING 3'-0" MIN. EITHER SIDE OF CENTERLINE TO THE TOP OF THE FIRST FLOOR**: Indicated by a vertical line on the left side of the diagram.
- CLEAR ZONE**: Indicated by a horizontal line above the electric enclosure.
- 3'-0" MIN.**: Indicated by a vertical line between the electric enclosure and the building structure.
- 3'-0" MIN.**: Indicated by a vertical line between the electric enclosure and the building structure.
- 3'-0" MIN.**: Indicated by a vertical line between the electric enclosure and the building structure.
- 3'-0" MIN.**: Indicated by a vertical line between the electric enclosure and the building structure.
- 5' TO 6' MAX.**: Indicated by a vertical line between the electric enclosure and the building structure.
- ELECTRIC ENCLOSURE OR METERING EQUIPMENT**: Indicated by a rectangular box on the right side of the diagram.
- DRYER VENT**: Indicated by a vertical line pointing to the vent pipe.
- GAS METER**: Indicated by a vertical line pointing to the gas meter.
- 1'-0" MIN**: Indicated by a vertical line between the gas meter and the building structure.

3'-0" MINIMUM CLEARANCE REQUIRED BETWEEN ELECTRIC METER AND GAS METER AND BETWEEN ANY OPENING AND GAS METER.

WOOD OR STEEL POST

30"

2'4"

SYNTHETIC FILTER FABRIC SECURELY FASTENED TO THE POSTS WITH WIRE OR STAPLE.

APPROXIMATELY 6 INCHES OF FILTER FABRIC MATERIAL MUST EXTEND INTO A TRENCH, TURNED UNDER, AND BE ANCHORED WITH COMPACTED BACKFILL MATERIAL.

RUNOFF

APPROXIMATE 3"x6" TRENCH

BATTEN

POST

WRAP END OF FABRIC AROUND BATTEN, STAPLE TO BATTEN ON ALL 4 SIDES. PULL TIGHT AND TIE BATTEN TO POST.

STAKING DETAIL

WOOD OR STEEL POST

16"

3" MIN.

WIRE TIE OR HOG RING

9 GAUGE WIRE (MIN.)

SYNTHETIC FILTER FABRIC

3" MIN.

STAPLE OR WIRE TIE

9 GAUGE WIRE (MIN.)

GUY WIRE

3" MIN.

27" MIN.

24" MIN.

BACKFILL TRENCH

4' SPACING MAX.

NOTE:
TIE WIRES TO LAP FOR LONG FENCES AND TO BE GUYED TO GROUND WITH 24"x2"x2" HARDWOOD STAKE OR TO POST BOTTOM EVERY 4 SPANS.

Diagram illustrating the cross-section of a trench installation for a water or sewer pipe, showing various layers and components:

- FINISHED GRADE**: The top surface of the trench.
- 3'-0"**: Dimension indicating the width of the trench.
- 12"**: Dimension indicating the depth of the trench.
- ELECTRIC WARNING TAPE**: Located near the top of the trench.
- COMPACTED BACKFILL**: The material filling the trench.
- GAS WARNING TAPE**: Located near the bottom of the trench.
- LOCATOR WIRE**: A wire used for locating the pipe.
- PE GAS PIPE**: A pipe used for gas.
- COMMUNICATION**: A pipe used for communication.
- POWER CABLE IN CONDUIT**: A cable used for power.
- 4" SHADING**: A layer of shading material.
- 4" BEDDING**: A layer of bedding material.
- 60" MIN.**: Minimum dimension for the bedding layer.
- IF DEPTH IS GREATER THAN 8'**: Condition for the bedding layer.
- 3" MIN. FOR SECONDARY POWER**: Minimum dimension for secondary power.
- 42" MIN. FOR PRIMARY POWER**: Minimum dimension for primary power.
- WATER OR SEWER PIPE**: The main pipe being installed.

NOTES:

1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
2. CONSUMER INSTALLED CONDUIT MUST BE INSPECTED BY LOWER VALLEY ENERGY PERSONNEL PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
3. ALL TRENCHES ARE TO BE INSPECTED BY LOWER VALLEY ENERGY PERSONNEL PRIOR TO BACKFILLING.
4. 18" SEPARATION MUST BE OBTAINED BETWEEN PE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
5. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAN RECOMMENDED).
6. IF POSSIBLE GAS AND POWER SHOULD OCCUPY OPPOSITE SIDES OF THE TRENCH WITH TELEPHONE AND CABLE, ETC. IN THE CENTER.

[illegible]

NOTES:

1. WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR GAS PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
2. CONSUMER INSTALLED CONDUIT MUST BE INSPECTED BY LV ENERGY PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
3. ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
4. BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED).

NOTES:

- NOTES:**
1. BEDDING & SHADING MATERIAL SHALL BE SMOOTH, FREE OF ROCKS AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED)
2. GAS PIPE DIA. WILL VARY DEPENDING ON APPLICATION

Diagram illustrating the cross-section of a manhole structure, showing the transition from a GRADED AREA to a PAVED AREA.

The structure consists of a 4" SCHEDULE 40 STEEL PIPE FILLED WITH CONCRETE (PRIME & PAINT 2 COATS YELLOW, TYP).

The structure is surrounded by CONCRETE $F'_c = 2500$ psi.

The structure is shown with a 3'-0" height and a 6" base thickness.

The structure is shown with a 9" (TYP.) thickness.

The structure is shown with a 1/2" SLOPE.

The structure is shown with a PAVEMENT and BASE COURSE.

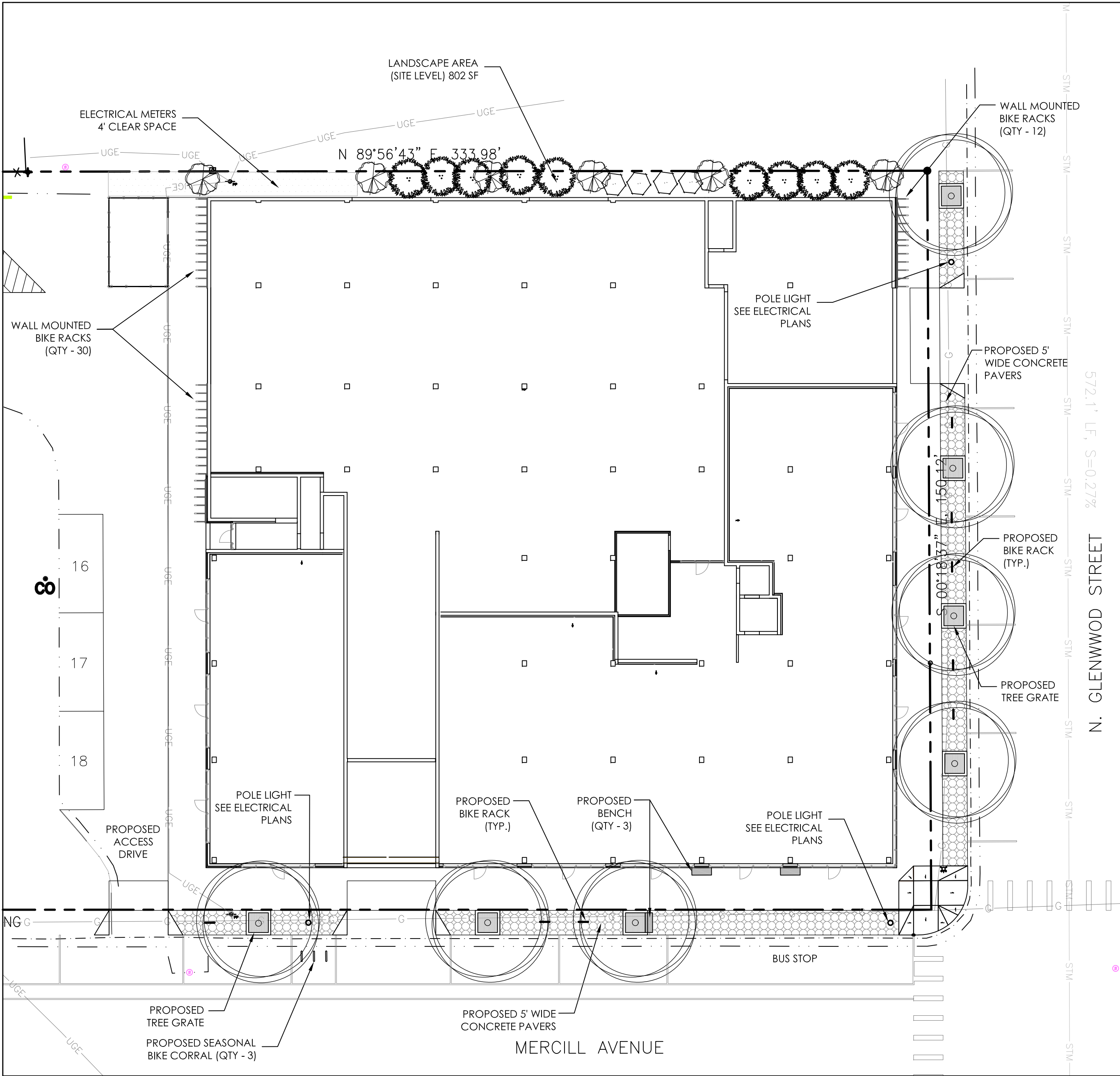
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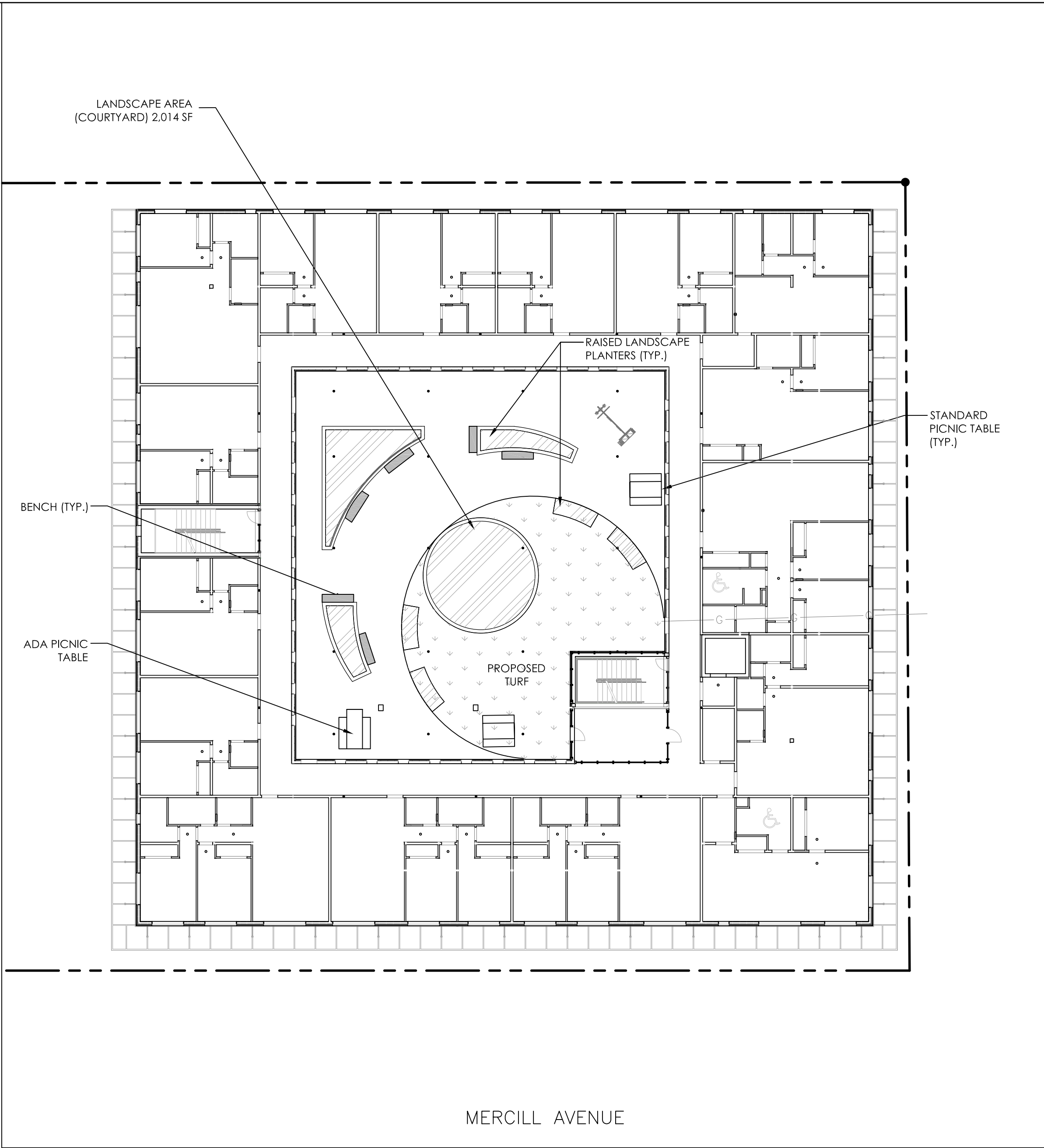
**MERCILL PARTNERS, LLC
MIXED-USE PROJECT
105 MERCILL AVENUE
JACKSON, WY**

7-14-20

C14



SITE PLAN



SECOND FLOOR PLAN

LEGEND

- PROPERTY LINE
- FLOWLINE
- EDGE OF PAVEMENT
- EXISTING BIKE LANE
- PROPOSED CONCRETE PAVERS
- PROPOSED BENCH
- PROPOSED BIKE RACK
- PROPOSED TREE GRATE
- PROPOSED PICNIC TABLE

GENERAL NOTES

- Zoning: CR-2
Base Site Area: 0.574 AC (25,005 SF)
LSR Required 0.10: 2,501 SF
LSR Proposed: 2,816 SF
1. Existing trees on site to be removed for development.

PLANT UNIT CALCULATION

Summary of plant unit (PU) requirements:	
1 PU per 12 parking spaces:	N/A
1 PU per 1000 SF of required LSR:	2,501/1,000 = 2.5 PU
Total required plant units:	3 PLANT UNITS
Average value of one (1) plant unit:	\$2,400 x 3 = \$7,200
Average cost to irrigate one (1) plant unit:	\$2,100 x 3 = \$6,350
Total cost of three (3) plant unit w irrigation:	\$13,550
Total cost x 125% Bond:	\$16,875

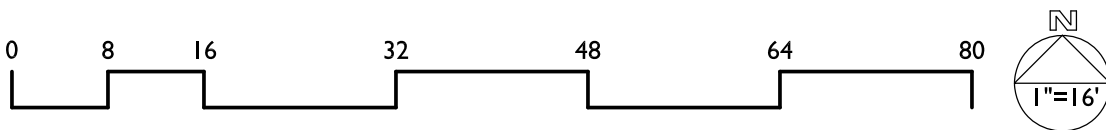
1. The objective of the proposed landscape plan is to soften the architectural elevations from the surrounding neighborhood where possible. Proposed plantings along the north property line are located to screen and soften the elevation.
2. The proposed plant material on site with the addition street trees, benches, and bike racks in the ROW will exceed the monetary equivalent of the three (3) plant unit requirement for the site. Wall mounted bike racks on the street level, as well as courtyard planters on the second level are additional plant unit substitutions for the site.
3. All landscaping will comply with Division 5.5 of Teton County LDR's.

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	NOTES
DECIDUOUS TREES					
	Fraxinus pennsylvanica 'Patmore'	Patmore Ash	3" CAL	7	B&B
	Populus tremula 'Erecta'	Columnar Aspen	3" CAL	6	B&B
SHRUBS					
	Amelanchier alnifolia	Serviceberry	6' H	9	
	Symphoricarpos albus	Common snowberry	#5	4	
GROUNDCOVERS / GRASSES / PERENNIALS					
	TBD - 712 SF (UPPER LEVEL)				
	SYNTHETIC TURF TBD - 1,355 SF				
	FESCUE SOD - 250 SF				

PLANTING NOTES

1. All landscaping shall be in place prior to occupancy or within one year of occupancy.
2. Confirm all plant counts and square footages: quantities shown are provided as owner information only. If quantities indicated in the plant list differ from symbols shown on the plans, then the plans shall govern the plant count.
3. The landscape architect shall review all plant materials at the source or nursery - or by photographs - prior to digging trees or shipping plant materials. The landscape architect reserves the right to reject any unacceptable plant material either at the source or when delivered to the project site.
4. Carefully align and space plant materials as indicated in these notes, drawings and details.
5. All plants shall be planted at the same level with relation to finish grade as they were grown in the field or nursery.
6. Obtain approval of finish grading from landscape architect prior to installing any plant material. The finish grades of planting areas and lawns shall be 1 1/2 inches below adjacent edging or paving.
7. The final location of plant materials is to be approved by the landscape architect on site prior to installation. The contractor is responsible for staking or marking the location of all plant materials on site for review by the landscape architect. The landscape architect reserves the right to adjust the exact locations of plants on site.
8. Refer to civil engineer's utility and grading plans. If site conditions vary from what is shown, contact the landscape architect and civil engineer for direction before proceeding.
9. Verify locations and timing of site improvements installed under other sections. If any part of the work cannot be completed due to site conditions, contact the landscape architect.
10. Excavation near underground utilities shall be done carefully and, if necessary, by hand. The contractor is fully responsible for this work and any disruption to utilities or damage to the site and/or improvements shall be repaired immediately at no expense to the owner.
11. Do not perform any pruning of existing or newly planted trees or shrubs without the direction and approval of the landscape architect.
12. For ball & burlap trees, remove burlap from top 1/3 of rootball once trees are fully planted, unless directed otherwise by nursery.
13. The landscape architect shall review and reserves the right to reject the method and/or installation of tree staking and guying systems prior to acceptance.
14. Seed shall be sown in the fall after October 15 or in the spring before May 15th. Uniformly distribute seed at the rate indicated. Thoroughly rake seed to incorporate seed into topsoil. All seed shall be certified and comply with the Wyoming Seed Law. See revegetation specification.
15. The irrigation system shall be operational prior to plant installation, or temporary irrigation measures shall be provided in the interim. The method of temporary irrigation shall be approved by the landscape architect prior to installing any plant material.
17. All trees and shrubs shall be drip irrigated. All disturbed areas shall be spray irrigated including lawn, native grass areas, and perennial beds.
18. All plant material shall be irrigated for a minimum of 2 years until establishment.
19. All landscaping shall be regularly maintained by the landowner including the control of noxious weeds.



po box 3637
jackson wy 83001
307.203.5520
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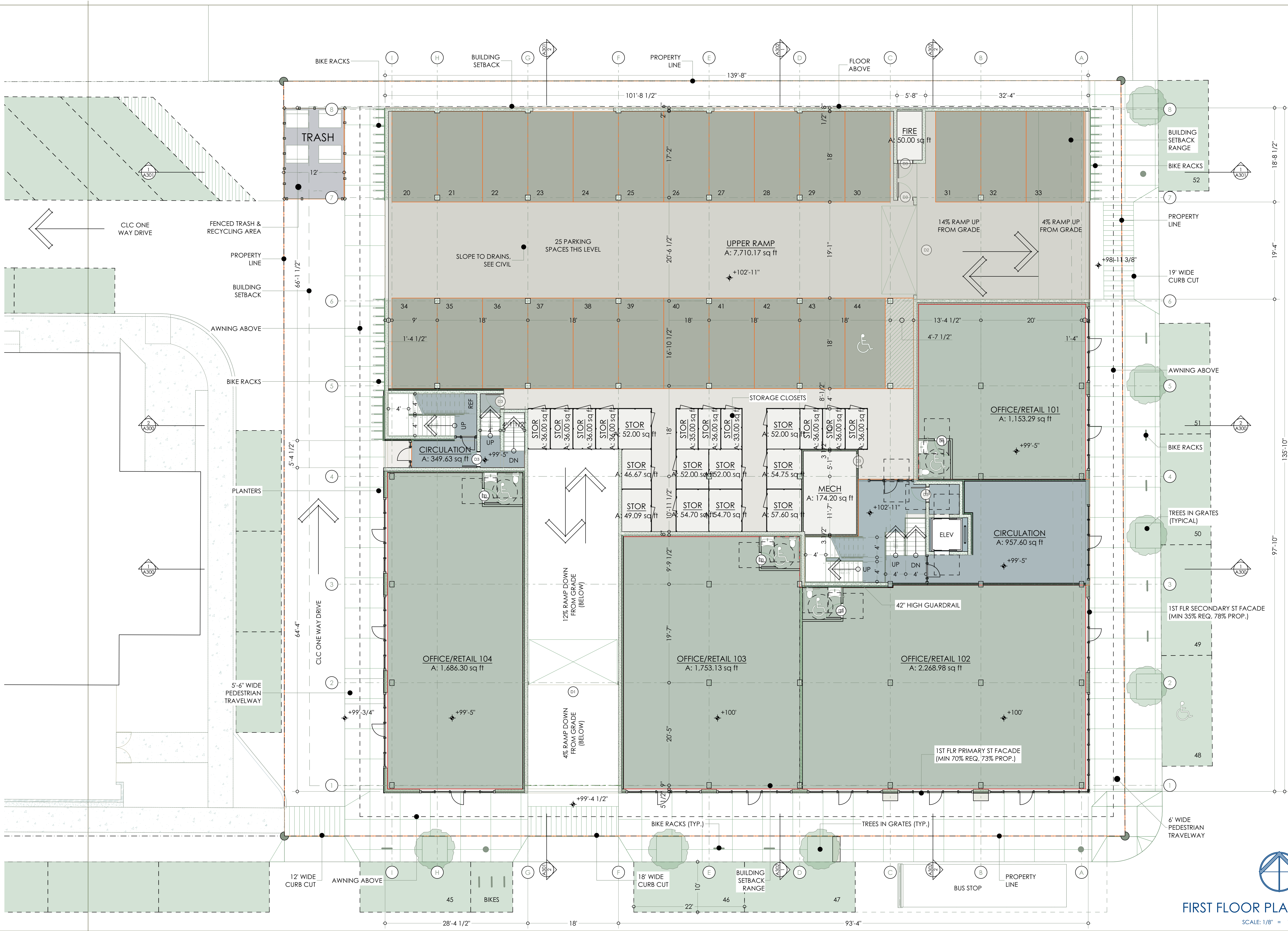
MERCILL PARTNERS LLC
MIXED USE PROJECT
105 MERCILL AVE
JACKSON, WY 83001

ISSUE
PERMIT

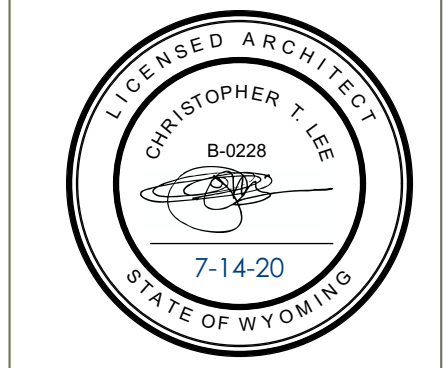
DATE
7/14/2020

LANDSCAPE PLAN

L1.0



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MERCILL PARTNERS LLC
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105 MERCILL AVE JACKSON, WY

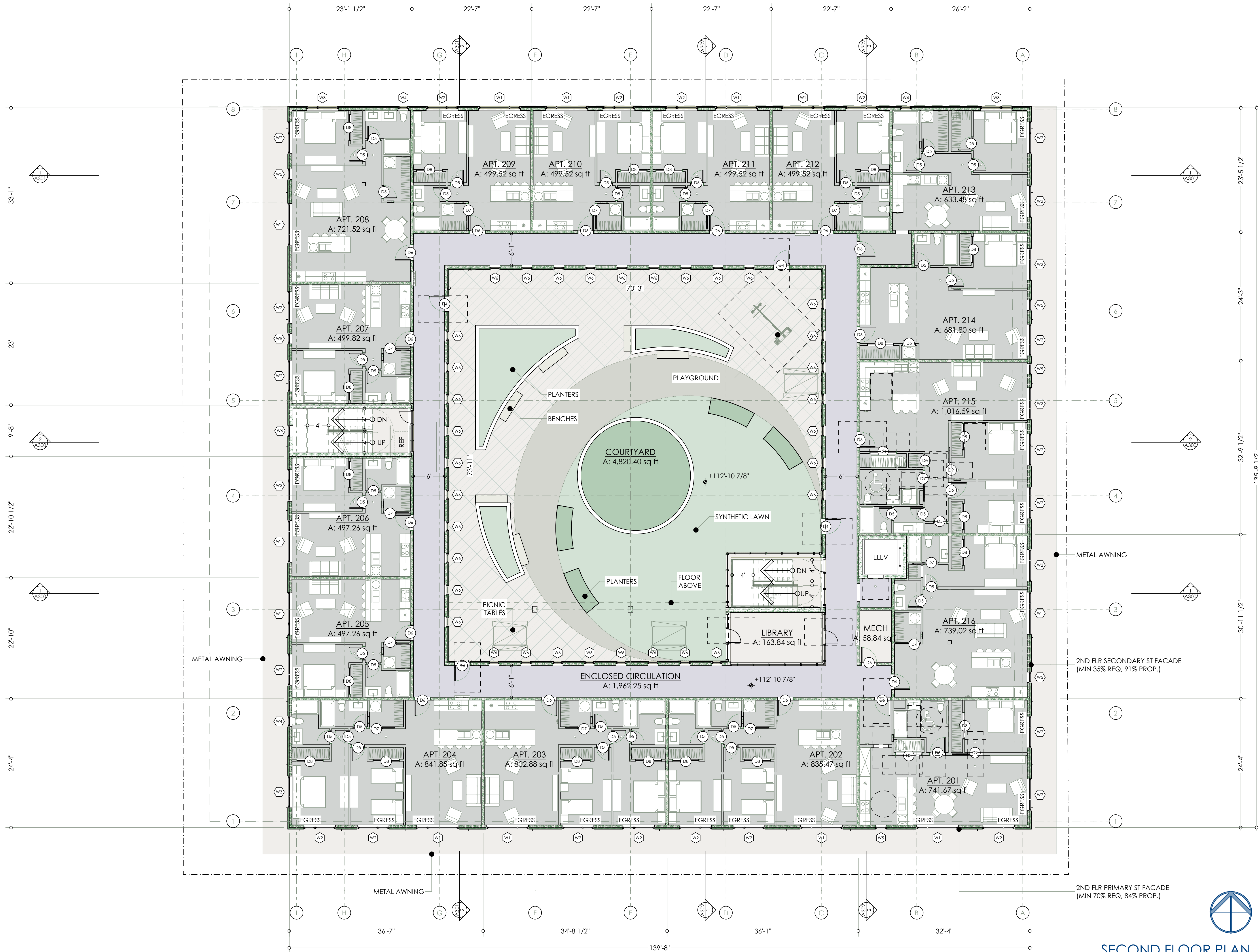
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A201

FIRST FLOOR PLAN

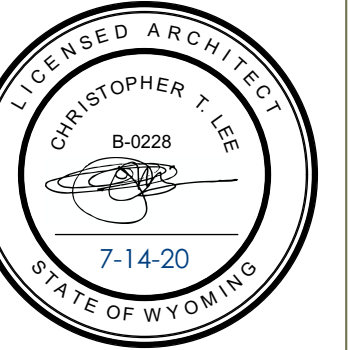
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



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MERCILL PARTNERS LLC
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105 MERCILL AVE JACKSON, WY

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7-14-20

A202

SECOND FLOOR PLAN

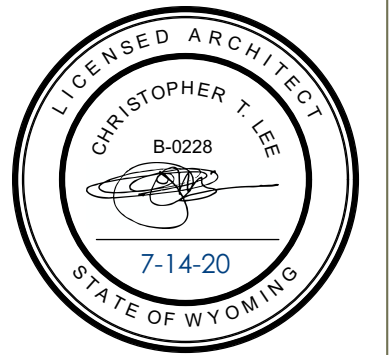
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



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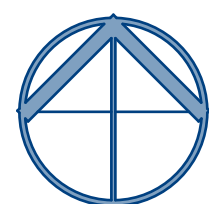
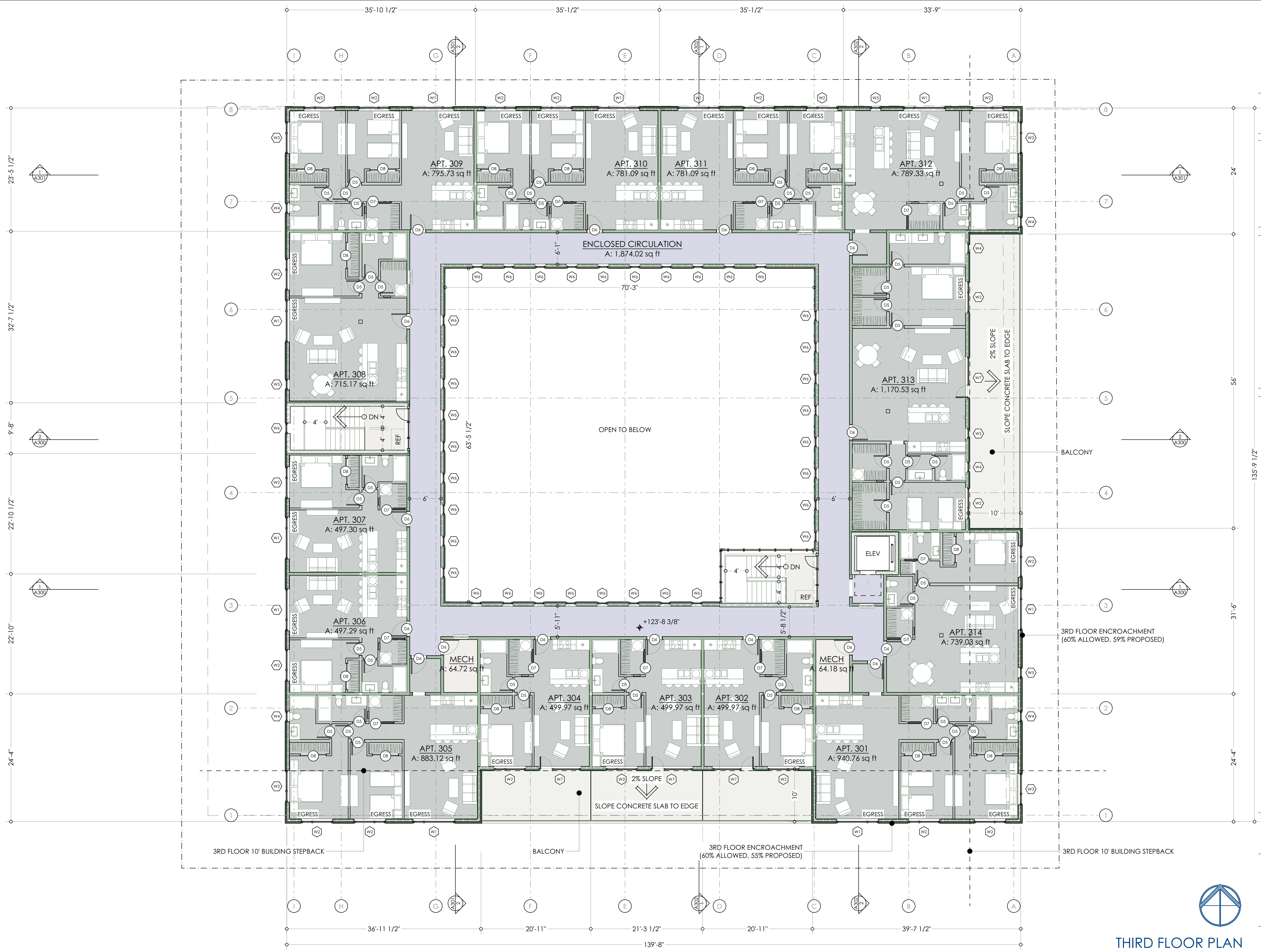
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12	DRC RESUBMITTAL	6-3-20

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7-14-20

A203

THIRD FLOOR PLAN



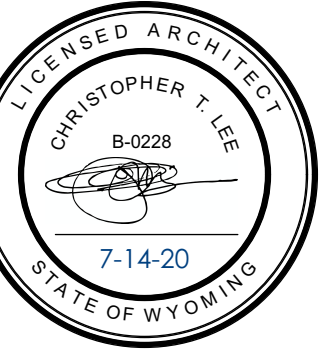
THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

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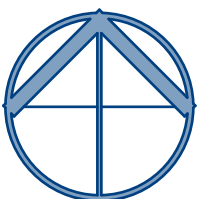
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MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

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7-14-20

A250A

LOWER PARKING FRAMING PLAN



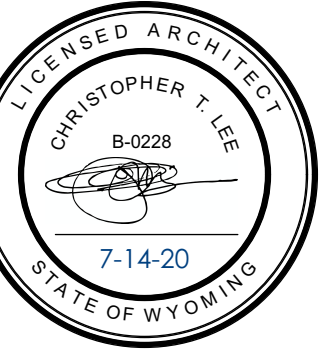
LOWER PARKING FRAMING PLAN

SCALE: 1/4" = 1'-0"

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REVISION HISTORY

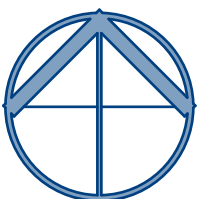
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MERCILL PARTNERS LLC
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105 MERCILL AVE JACKSON, WY

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7-14-20

A250B

LOWER PARKING FRAMING PLAN



LOWER PARKING FRAMING PLAN

SCALE: 1/4" = 1'-0"

REVISION HISTORY

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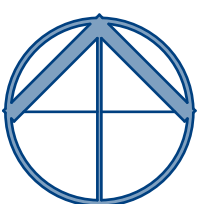
MERCILL PARTNERS LLC
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7-14-20

A250C

LOWER PARKING FRAMING PLAN

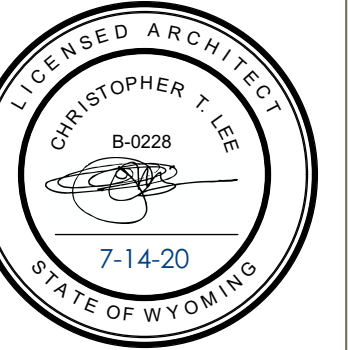


LOWER PARKING FRAMING PLAN

SCALE: 1/4" = 1'-0"



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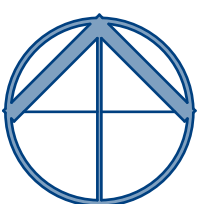
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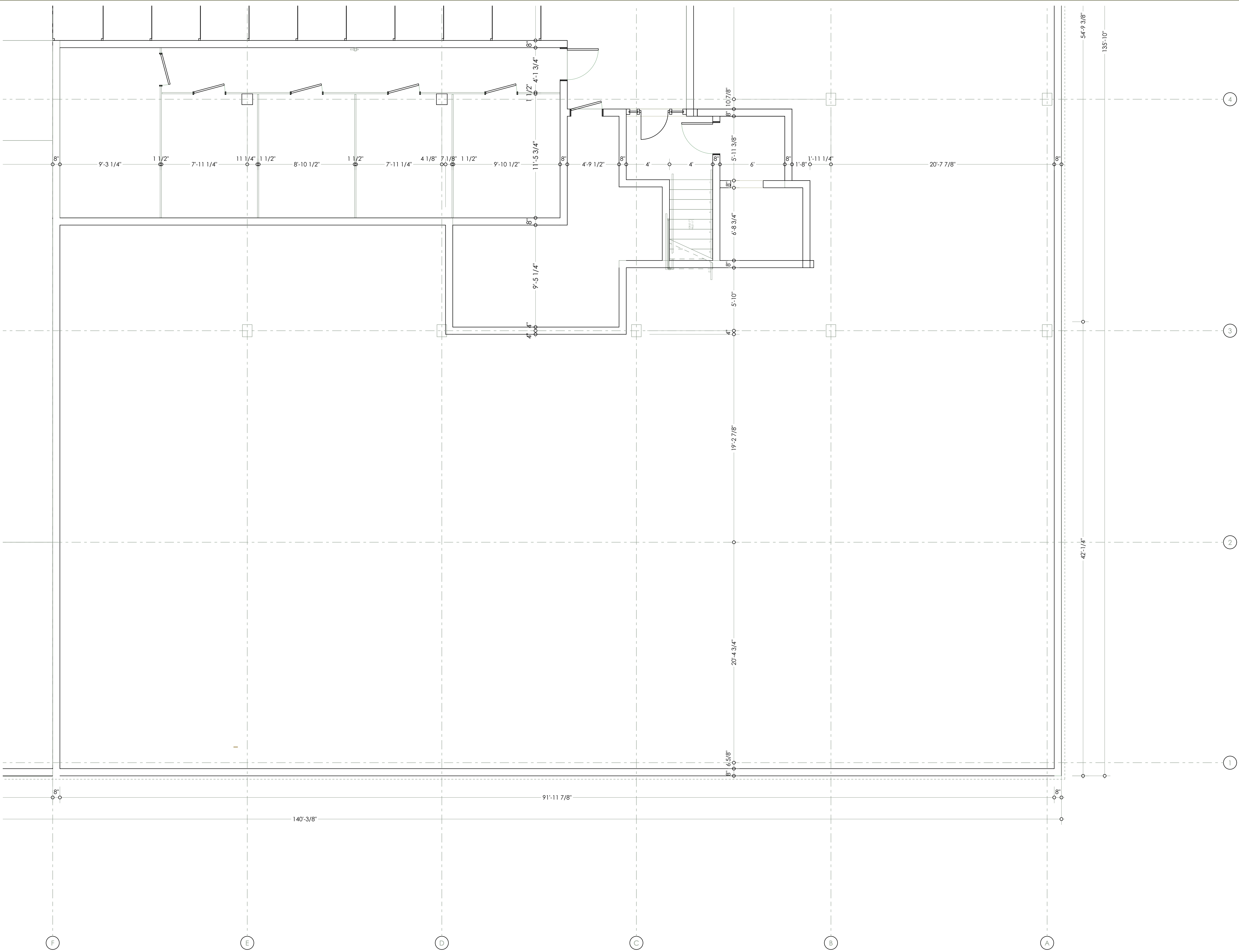
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LOWER PARKING FRAMING PLAN



LOWER PARKING FRAMING PLAN

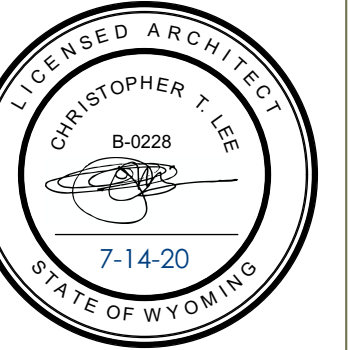
SCALE: 1/4" = 1'-0"



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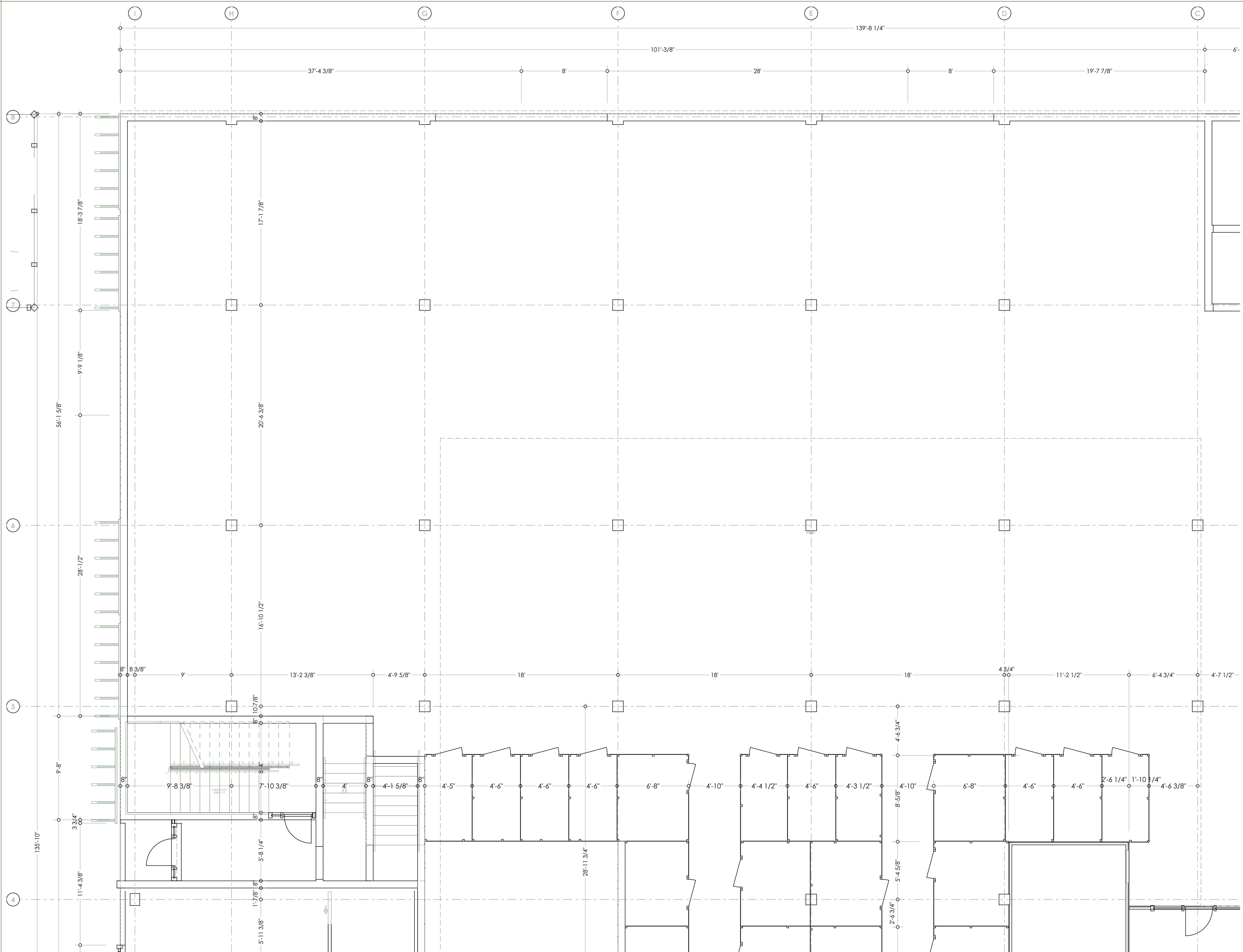
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MERCILL PARTNERS LLC
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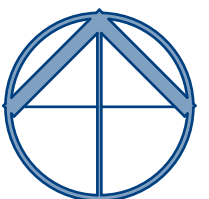
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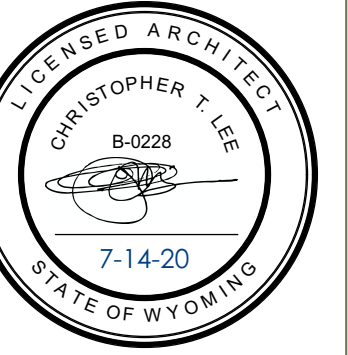
FIRST FLOOR FRAMING PLAN



FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"





REVISION HISTORY

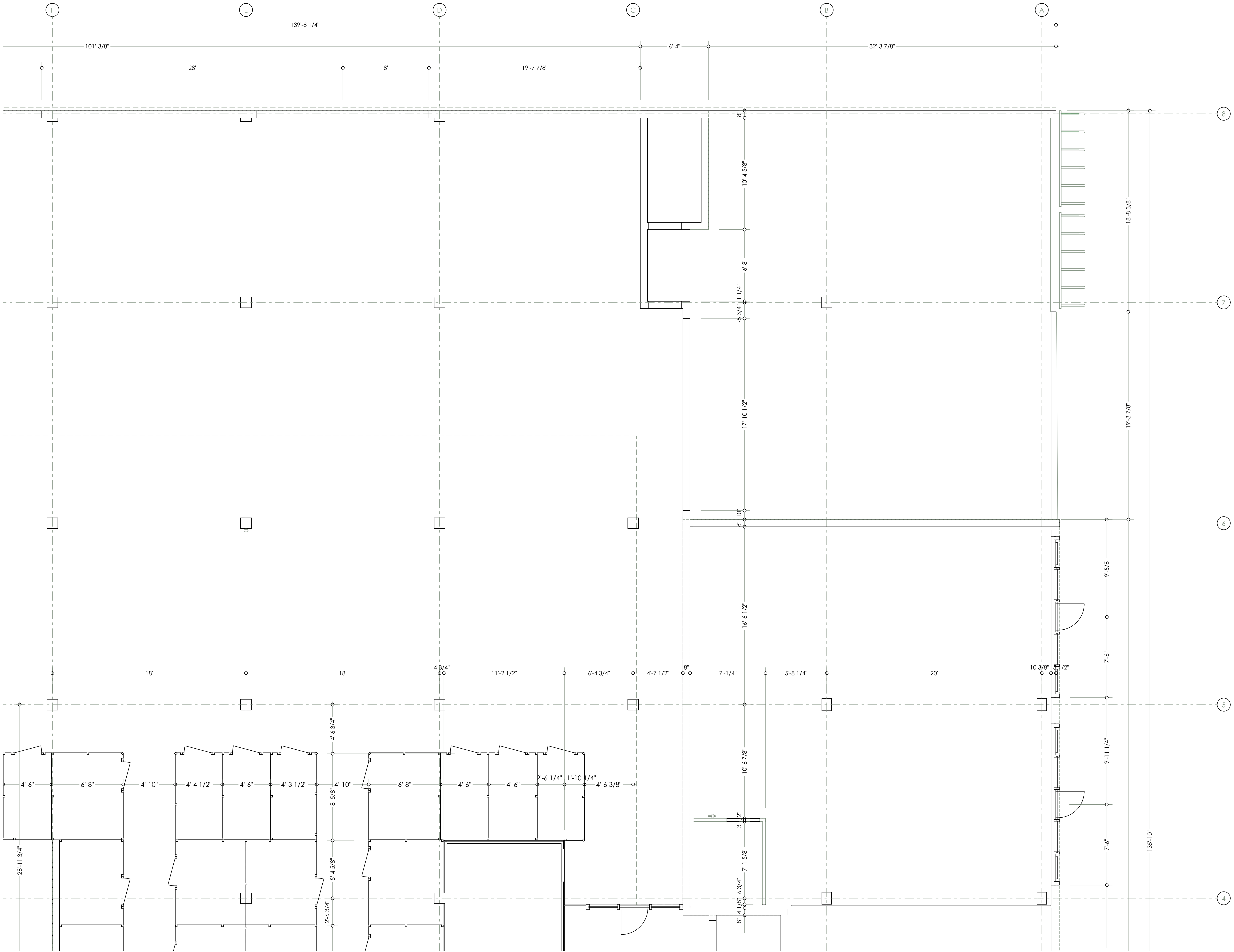
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MERCILL PARTNERS LLC
MIXED-USE PROJECT
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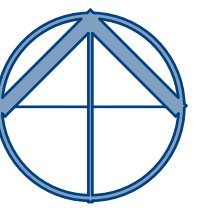
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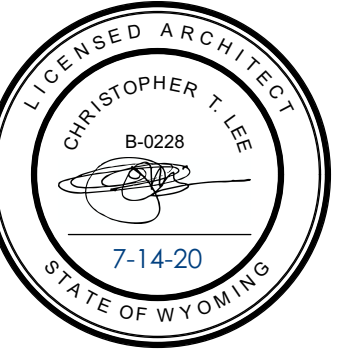
1ST FLOOR FRAMING PLAN



FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"





REVISION HISTORY

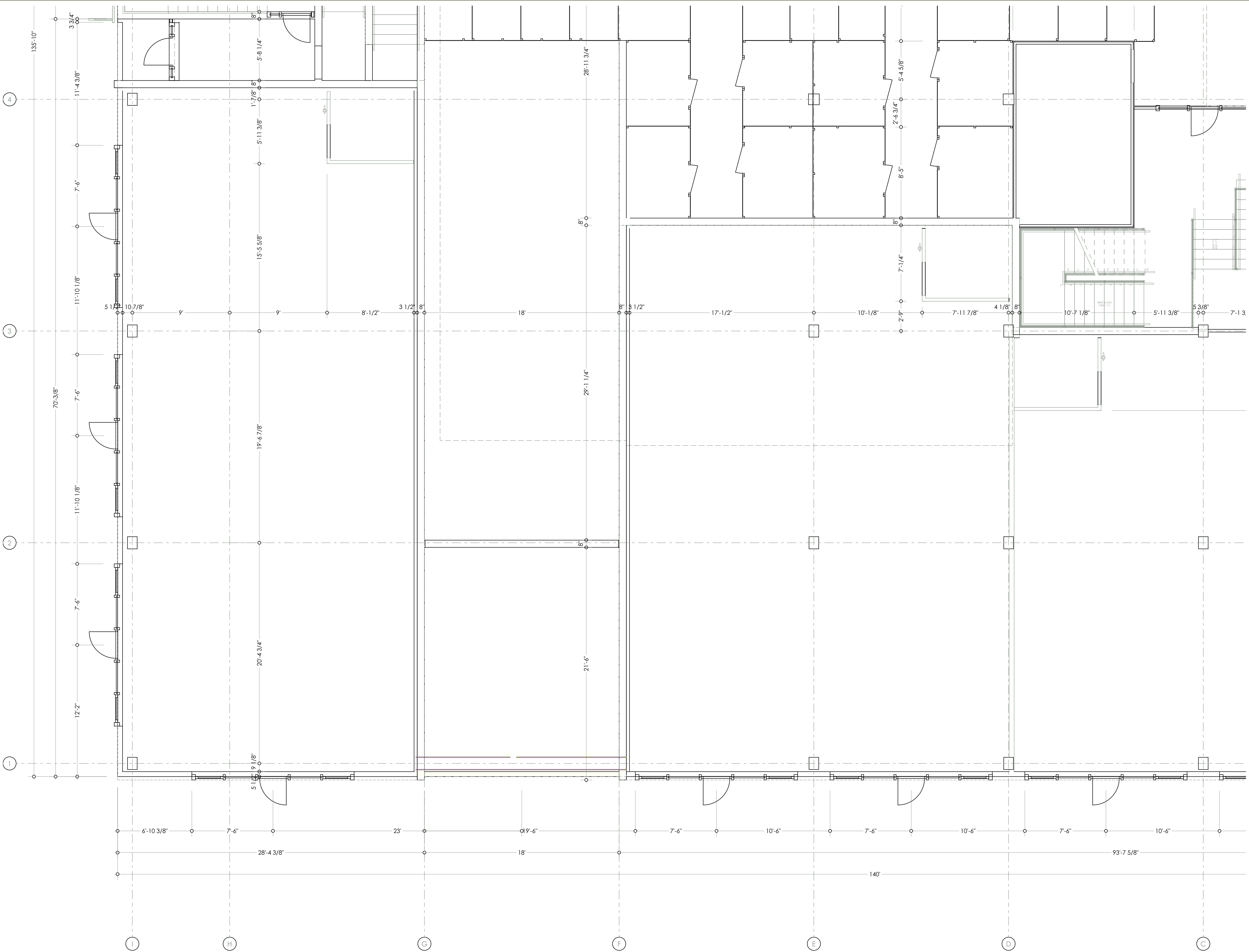
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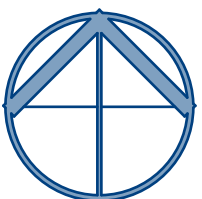
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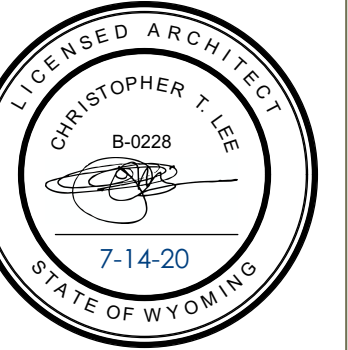
FIRST FLOOR FRAMING PLAN



FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"





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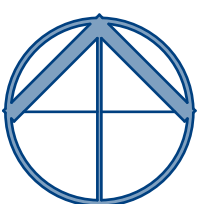
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MERCILL PARTNERS LLC
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A251D

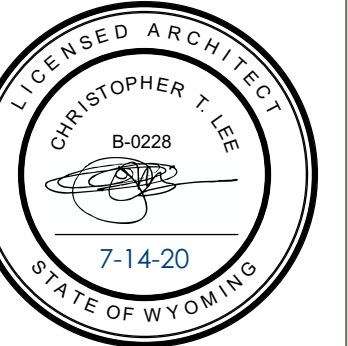
FIRST FLOOR FRAMING PLAN



FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"





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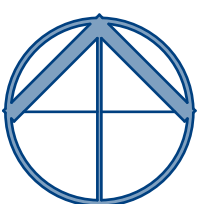
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MERCILL PARTNERS LLC
MIXED-USE PROJECT
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7-14-20

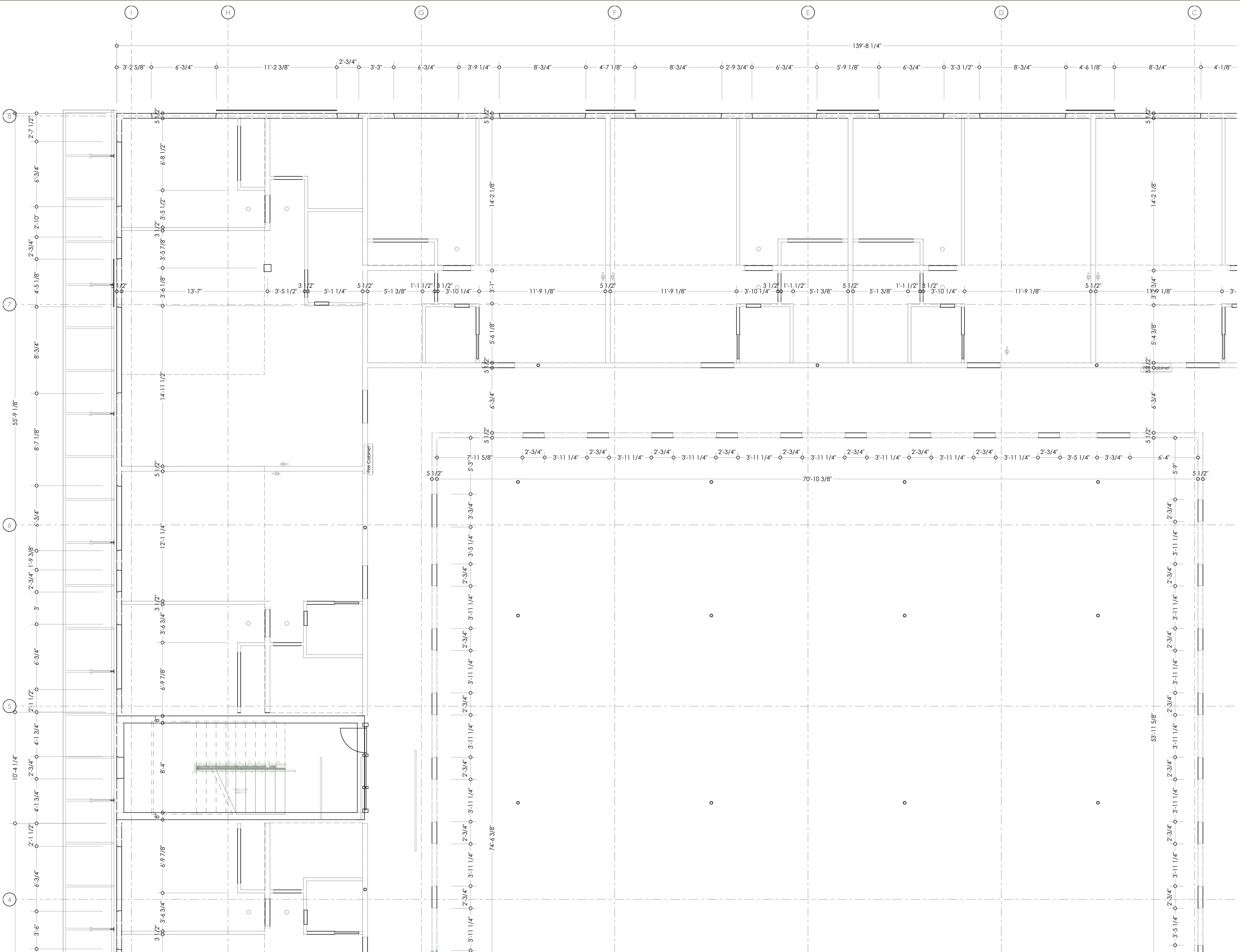
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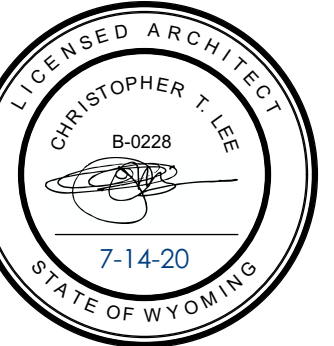
SECOND FLOOR FRAMING PLAN



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"





REVISION HISTORY

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MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

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A252B

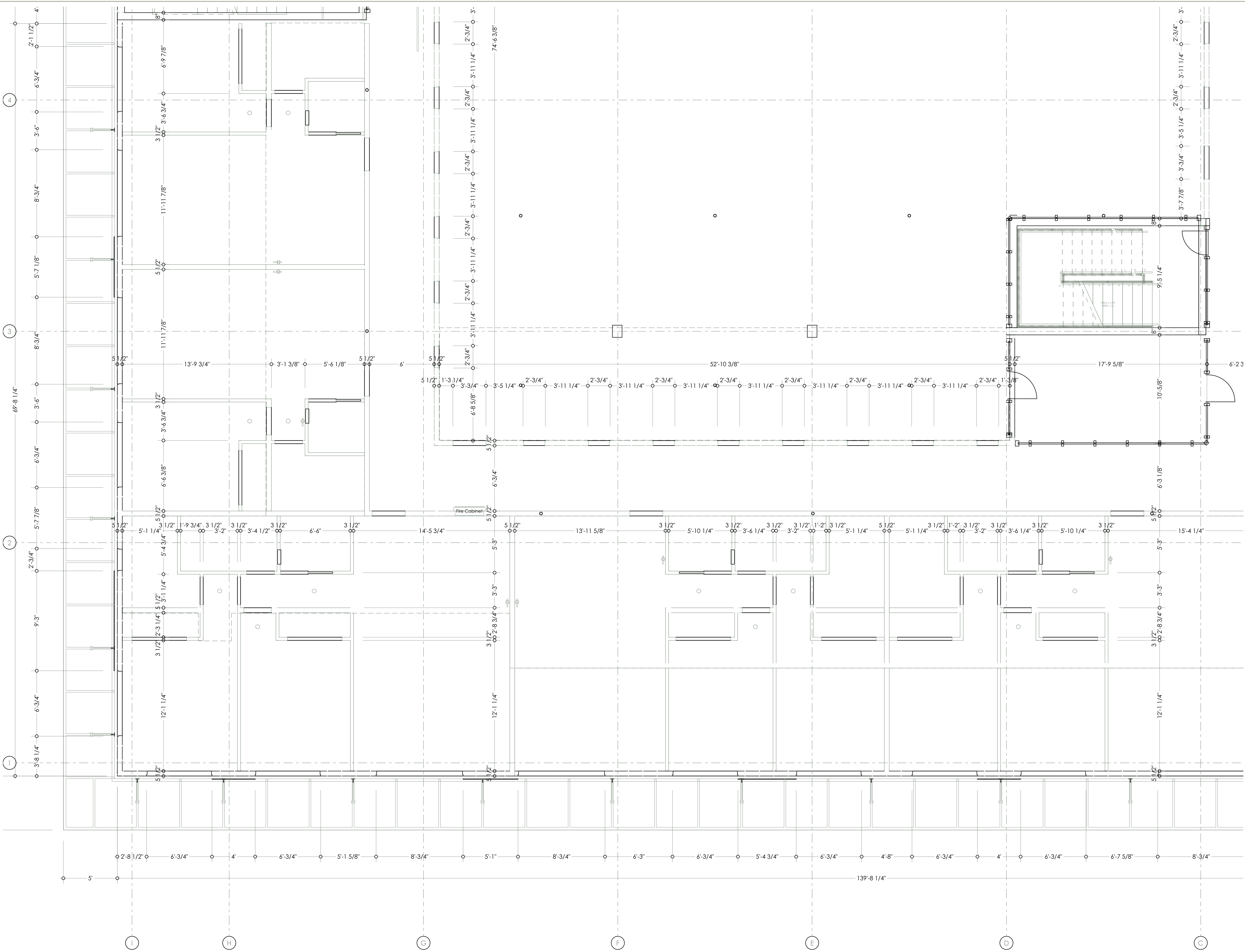
SECOND FLOOR FRAMING PLAN



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"





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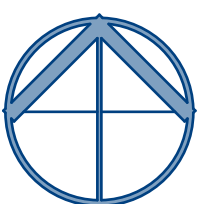
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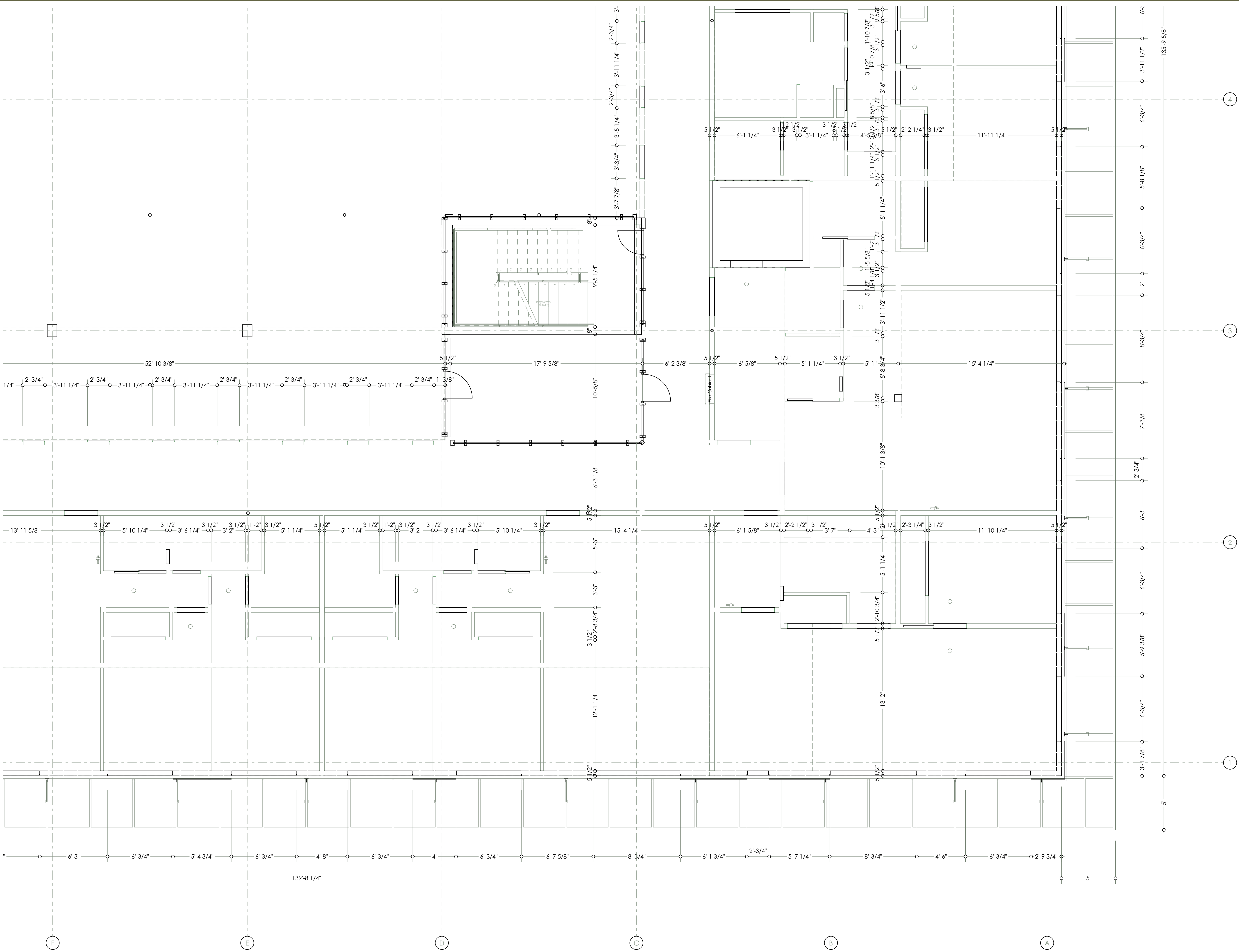
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SECOND FLOOR FRAMING PLAN



SECOND FLOOR FRAMING PLAN

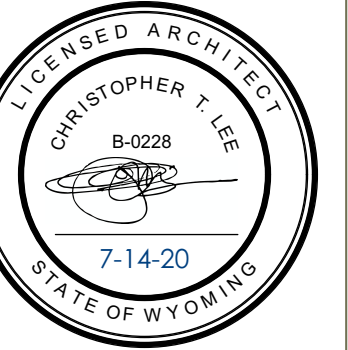
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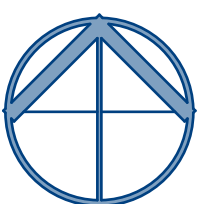
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MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

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7-14-20

A253A

THIRD FLOOR FRAMING PLAN

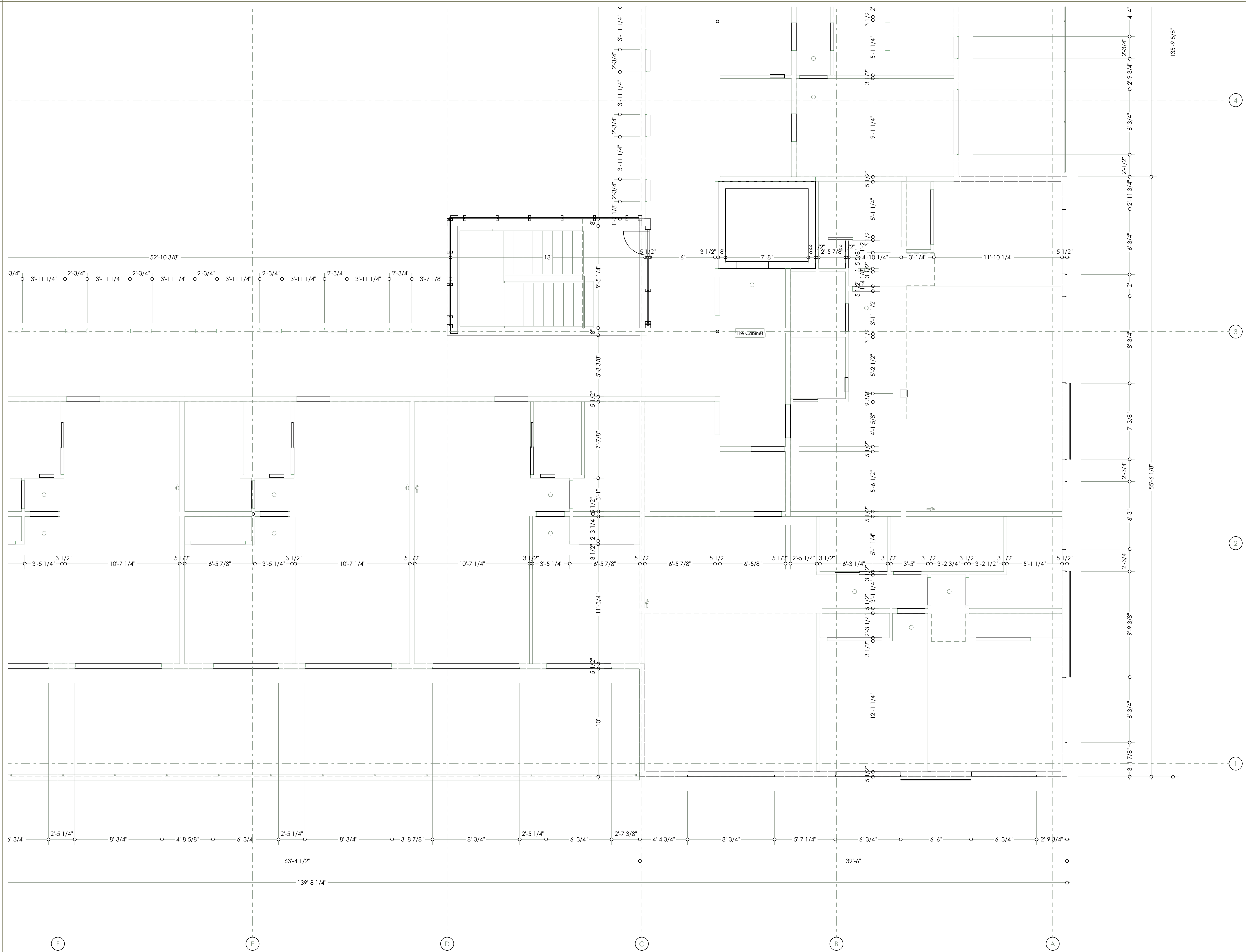


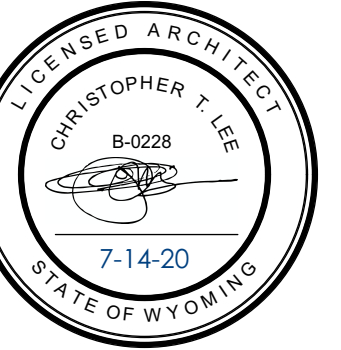
THIRD FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



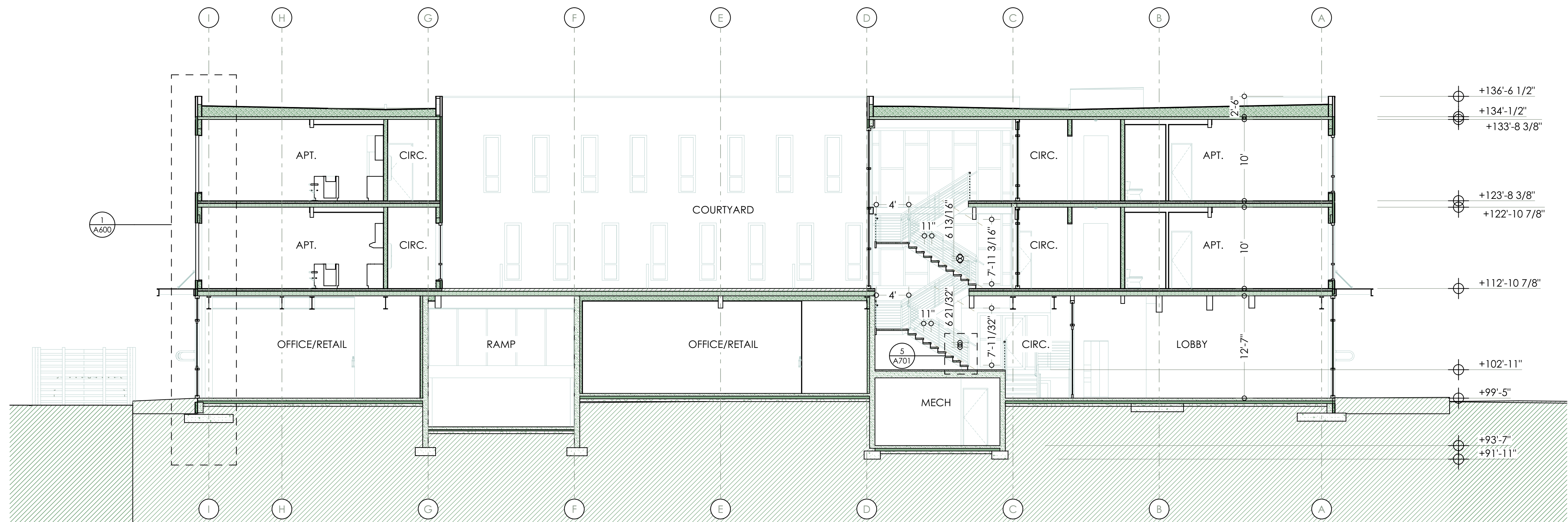
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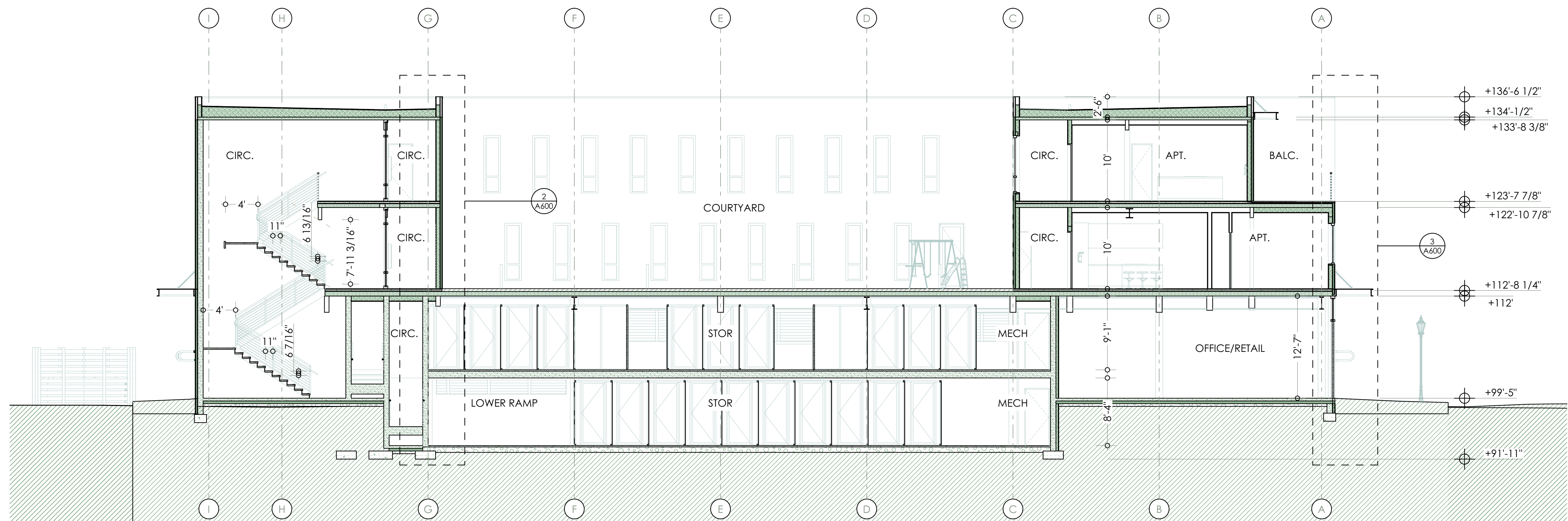


REVISION HISTORY

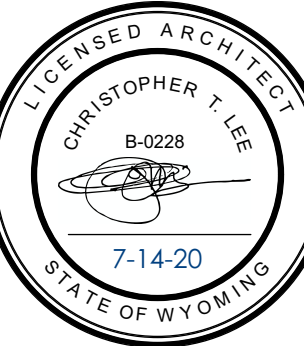
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2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
4	CONCEPTUAL UPDATE	7-8-19
5	CONCEPTUAL UPDATE	7-11-19
6	CONCEPTUAL UPDATE	7-22-19
7	CONCEPTUAL UPDATE	7-24-19
8	CONCEPTUAL UPDATE	9-25-19
9	DRC SUBMITTAL	11-6-19
10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20



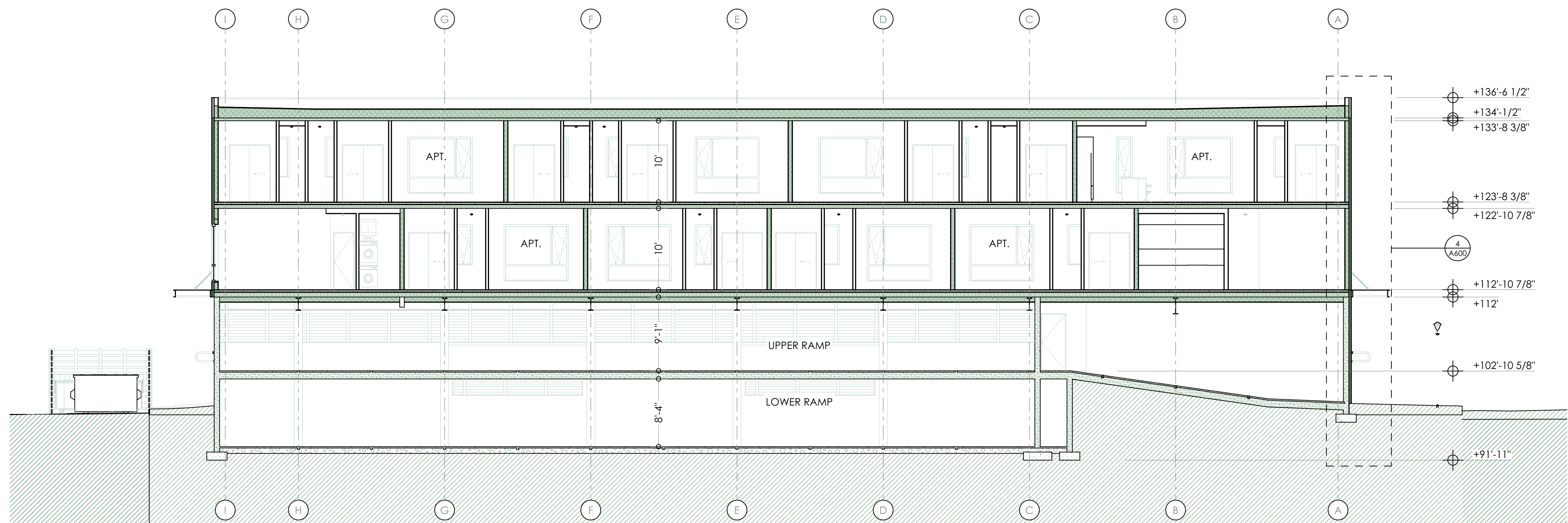
1 SECTION
A300 SCALE: 1/8" = 1'-0"



2 SECTION
A300 SCALE: 1/8" = 1'-0"



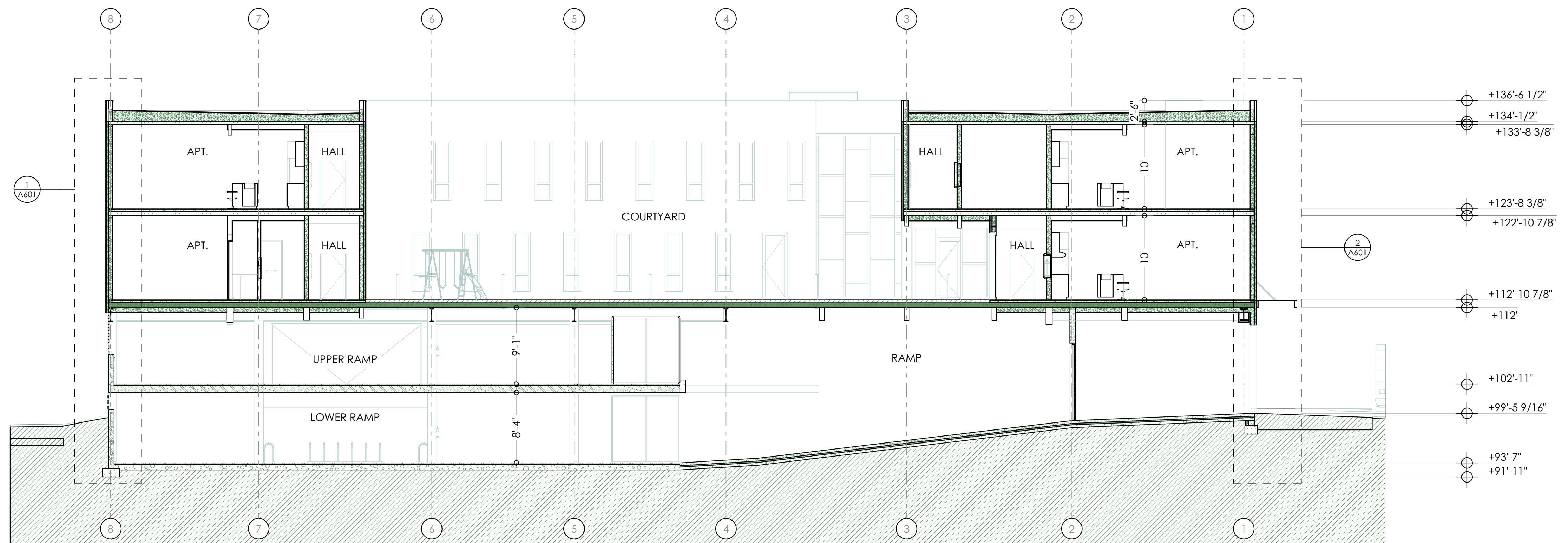
REVISION HISTORY

[illegible]

1
A301

SECTION

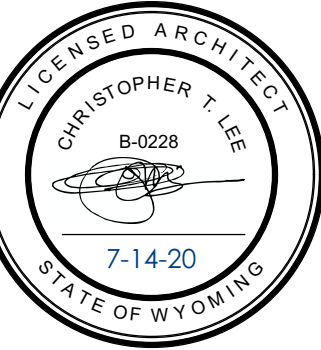
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2
A301

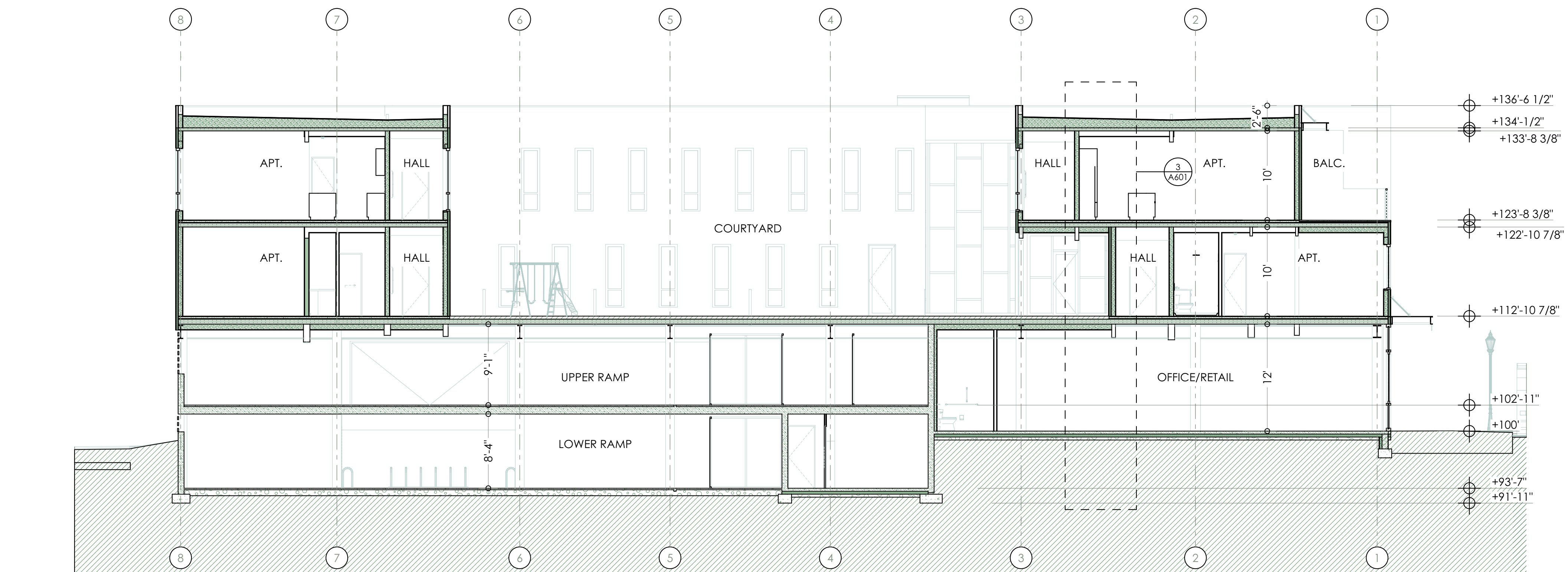
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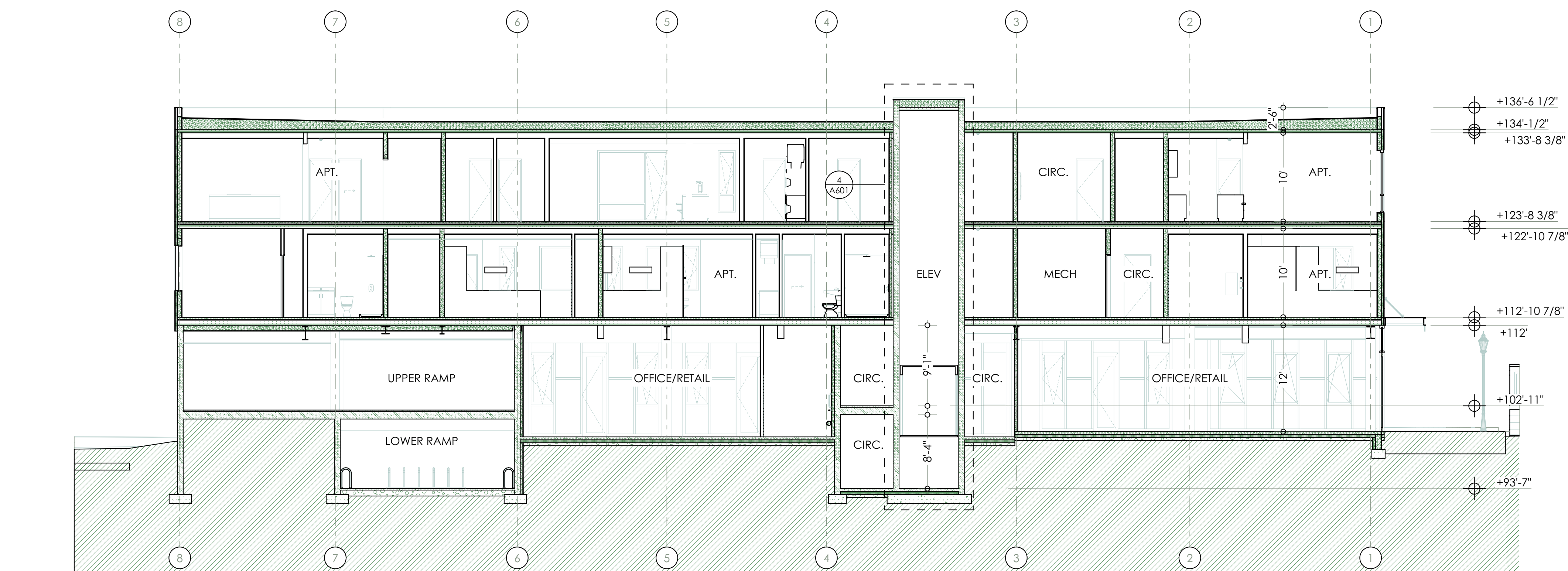


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2	CONCEPTUAL UPDATE	6-21-19
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8	CONCEPTUAL UPDATE	9-25-19
9	DRC SUBMITTAL	11-6-19
10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20



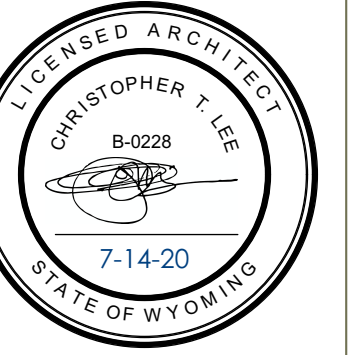
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SCALE: 1/8" = 1'-0"



2
A302

SECTION

SCALE: 1/8" = 1'-0"



REVISION HISTORY

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6-21-19	CONCEPTUAL UPDATE
6-26-19	CONCEPTUAL UPDATE
7-8-19	CONCEPTUAL UPDATE
7-11-19	CONCEPTUAL UPDATE
7-22-19	CONCEPTUAL UPDATE
7-24-19	CONCEPTUAL UPDATE
9-25-19	CONCEPTUAL UPDATE
11-6-19	DRC SUBMITTAL
11-15-19	PRE-APP SUBMITTAL
4-1-20	DRC SUBMITTAL
6-3-20	DRC RESUBMITTAL

MERCILL PARTNERS LLC
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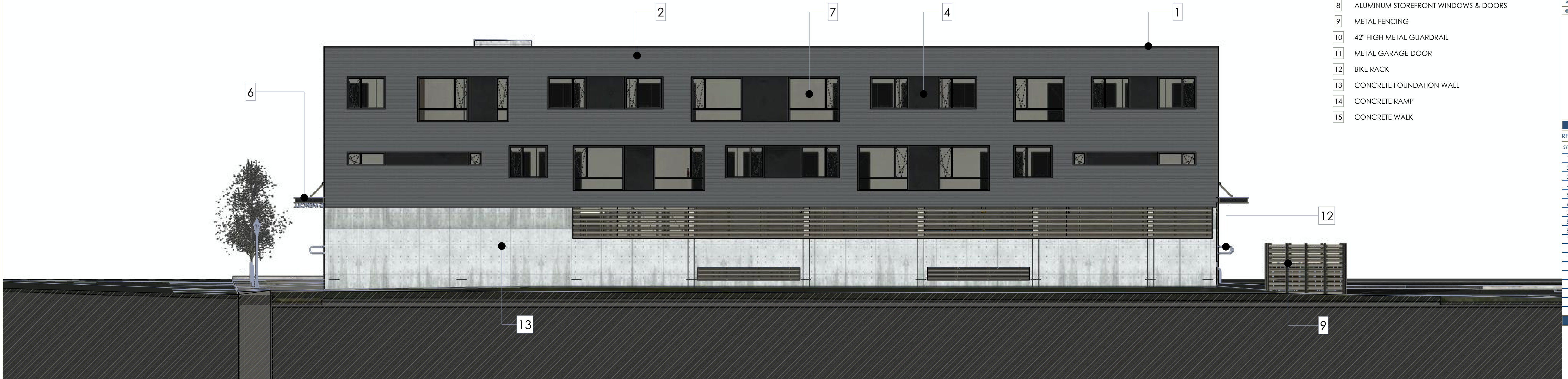
ERMIT SET
7-14-20

A400

EVOLUTIONS

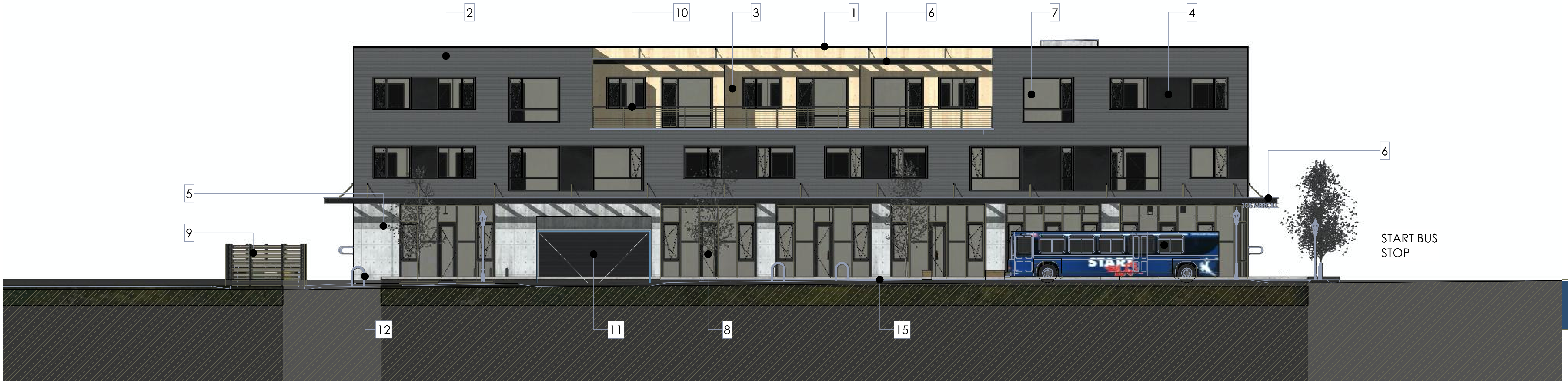
ELEVATION NOTES

- 1 METAL FLASHING
- 2 METAL SIDING
- 3 FIBER CEMENT SIDING
- 4 SHEET METAL SIDING
- 5 CONCRETE SIDING
- 6 METAL AWNING
- 7 ALUMINUM CLAD WOOD WINDOWS & DOORS
- 8 ALUMINUM STOREFRONT WINDOWS & DOORS
- 9 METAL FENCING
- 10 42" HIGH METAL GUARDRAIL
- 11 METAL GARAGE DOOR
- 12 BIKE RACK
- 13 CONCRETE FOUNDATION WALL
- 14 CONCRETE RAMP
- 15 CONCRETE WALK



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

REVISION HISTORY

MSB	CHANGE	DATE
1	CONCEPTUAL	5-23-19
2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
4	CONCEPTUAL UPDATE	7-8-19
5	CONCEPTUAL UPDATE	7-11-19
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10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

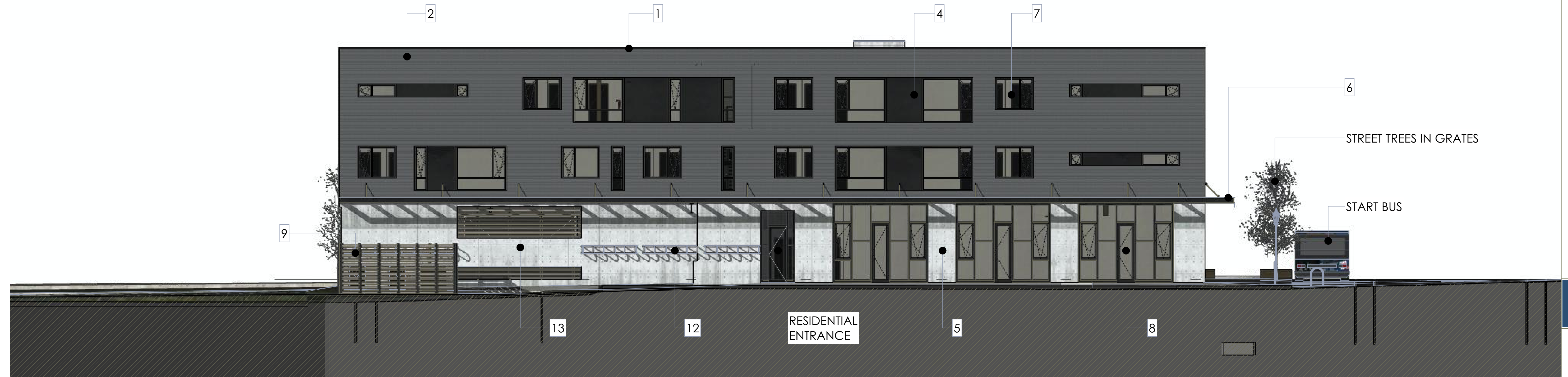
ELEVATION NOTES

- 1 METAL FLASHING
- 2 METAL SIDING
- 3 FIBER CEMENT SIDING
- 4 SHEET METAL SIDING
- 5 CONCRETE SIDING
- 6 METAL AWNING
- 7 ALUMINUM CLAD WOOD WINDOWS & DOORS
- 8 ALUMINUM STOREFRONT WINDOWS & DOORS
- 9 METAL FENCING
- 10 42" HIGH METAL GUARDRAIL
- 11 METAL GARAGE DOOR
- 12 BIKE RACK
- 13 CONCRETE FOUNDATION WALL
- 14 CONCRETE RAMP
- 15 CONCRETE WALK



EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

ELEVATION NOTES

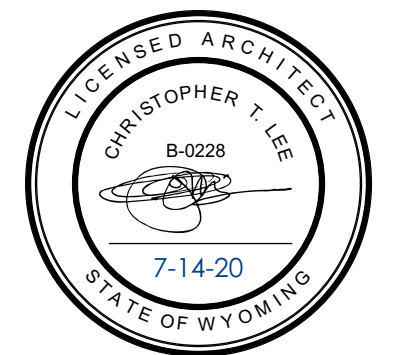
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- 2 METAL SIDING
- 3 FIBER CEMENT SIDING
- 4 SHEET METAL SIDING
- 5 CONCRETE SIDING
- 6 METAL AWNING
- 7 ALUMINUM CLAD WOOD WINDOWS & DOORS
- 8 ALUMINUM STOREFRONT WINDOWS & DOORS
- 9 METAL FENCING
- 10 42" HIGH METAL GUARDRAIL
- 11 METAL GARAGE DOOR
- 12 BIKE RACK
- 13 CONCRETE FOUNDATION WALL
- 14 CONCRETE RAMP
- 15 CONCRETE WALK



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REVISION HISTORY

STMB	CHANGE	DATE
1	CONCEPTUAL	5-23-19
2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
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10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
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PERMIT SET
7-14-20

A402

ELEVATIONS

WINDOW SCHEDULE

UNIT	QTY	TYPE	UNIT SIZE	R.O. (W x H)	PLAN	ELEVATION	NOTES	SURFACE AREA
W1	22	TILT TURN	$\frac{7'-9}{1/4" \times 6'-11"}$	8'-3/4" x 7'-3/4"			TEMPERED	56.94
W2	46	TILT TURN	$\frac{5'-9}{1/4" \times 4'-11"}$	6'-3/4" x 5'-3/4"			EGRESS	30.69
W3	7	TILT TURN	$\frac{5'-9}{1/4" \times 1'-11"}$	6'-3/4" x 2'-3/4"				12.50
W4	9	TILT TURN	$\frac{1'-9}{1/4" \times 1'-11"}$	2'-3/4" x 2'-3/4"				4.25
W5	10	TILT TURN	$\frac{1'-9}{1/4" \times 6'-11"}$	2'-3/4" x 7'-3/4"			TEMPERED	14.57
W6	71	FIXED	$\frac{1'-9}{1/4" \times 6'-11"}$	2'-3/4" x 7'-3/4"			TEMPERED	14.57
W7	4	TILT TURN	$\frac{7'-9}{1/4" \times 7'-11"}$	8'-3/4" x 8'-3/4"			TEMPERED	65.00

169

4,230.34 sq

DOOR SCHEDULE

UNIT	QTY	DOOR TYPE	UNIT SIZE	R.O. (W x H)	PLAN VIEW	ELEVATION	FIRE RATING	NOTES	SURFACE AREA
D1	1	INSWING	17'-10"×9'-2"	17'-6"×9'			N/A		157.50
D2	1	INSWING	17'-10"×7'-2"	17'-6"×7'			N/A		122.50
D3	2	OUTSWING	3'×7'	3'-3/4"×7'-3/4"			45 MIN		21.63
D3	5	OUTSWING	3'×7'	3'-3/4"×7'-3/4"			90 MIN		21.63
D3	5	OUTSWING	3'×7'	3'-3/4"×7'-3/4"			N/A		21.63
D3	8	INSWING	3'×7'	3'-3/4"×7'-3/4"			N/A		21.63
D4	4	OUTSWING	3'×8'	3'-3/4"×8'-3/4"			45 MIN	TEMPERED	24.69
D5	89	INSWING	2'-6"×7'	2'-6 3/4"×7'-3/4"			N/A		18.10
D6	5	INSWING	3'×7'	3'-3/4"×7'-3/4"			N/A		21.63
D6	30	INSWING	3'×7'	3'-3/4"×7'-3/4"			45 MIN		21.63
D7	25	SLIDING	2'-6"×7'	2'-6 3/4"×7'-3/4"			N/A		18.10
D8	40	SLIDING	5'×7'	5'-3/4"×7'-3/4"			N/A		35.75
D9	3	SLIDING	3'×7'	3'-3/4"×7'-3/4"			N/A		21.63

CURTAIN WALL SCHEDULE

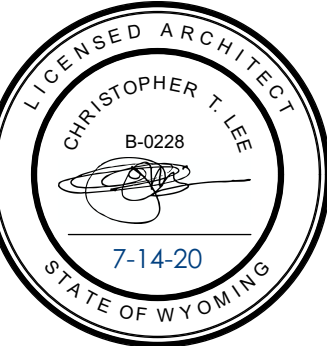
UNIT	TYPE	LENGTH	# PANELS	FIRE RATING	NOTES	SURFACE AREA
CW-00	INSWING; FIXED	6'	5	90 MIN	TEMPERED	44.50
CW-01	OUTSWING; TILT TURN	15'	12	N/A	TEMPERED	188.75
CW-02	OUTSWING; TILT TURN	15'	12	N/A	TEMPERED	188.75
CW-03	OUTSWING; FIXED	15'	12	N/A	TEMPERED	188.75
CW-04	OUTSWING; TILT TURN	15'	12	N/A	TEMPERED	180.00
CW-05	OUTSWING; TILT TURN	40'	37	N/A	TEMPERED	475.24
CW-06	OUTSWING; TILT TURN	15'	12	N/A	TEMPERED	180.00
CW-07	OUTSWING; TILT TURN	15'	12	N/A	TEMPERED	180.00
CW-08	OUTSWING; TILT TURN	15'	12	N/A	TEMPERED	180.00
CW-09	OUTSWING; TILT TURN	15'	12	N/A	TEMPERED	180.00
CW-10	OUTSWING; TILT TURN	15'	12	N/A	TEMPERED	188.75
CW-11	OUTSWING; TILT TURN	15'	12	N/A	TEMPERED	188.75
CW-12	OUTSWING; TILT TURN	15'	12	N/A	TEMPERED	188.75
CW-13	OUTSWING; TILT TURN	15'	12	N/A	TEMPERED	188.75
CW-14	OUTSWING; FIXED	5'	6	N/A	TEMPERED	64.13
CW-15	OUTSWING; FIXED	4'	4	90 MIN	TEMPERED	52.87
CW-16	INSWING; FIXED	9'	5	90 MIN	TEMPERED	63.00
CW-17	OUTSWING; FIXED	6'	6	90 MIN	TEMPERED	67.38
CW-18	INSWING; FIXED	9'	9	45 MIN	TEMPERED	85.26
CW-19	FIXED	28'	52	N/A	TEMPERED	558.81
CW-20	INSWING; FIXED	9'	10	90 MIN	TEMPERED	94.38
CW-21	OUTSWING; FIXED	27'	27	45 MIN	TEMPERED	278.74
CW-22	INSWING; FIXED	8'	7	90 MIN	TEMPERED	83.33
CW-23	INSWING; FIXED	9'	10	90 MIN	TEMPERED	94.38
CW-24	INSWING; FIXED	8'	7	90 MIN	TEMPERED	83.33
						4,266.60 sq



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REVISION HISTORY

DATE	CHANGE	DATE
5-23-19	CONCEPTUAL	
6-21-19	CONCEPTUAL UPDATE	
6-26-19	CONCEPTUAL UPDATE	
7-8-19	CONCEPTUAL UPDATE	
7-11-19	CONCEPTUAL UPDATE	
7-22-19	CONCEPTUAL UPDATE	
7-24-19	CONCEPTUAL UPDATE	
9-25-19	CONCEPTUAL UPDATE	
11-6-19	DRC SUBMITTAL	
11-15-19	PRE-APP SUBMITTAL	
4-1-20	DRC SUBMITTAL	
6-3-20	DRC RESUBMITTAL	

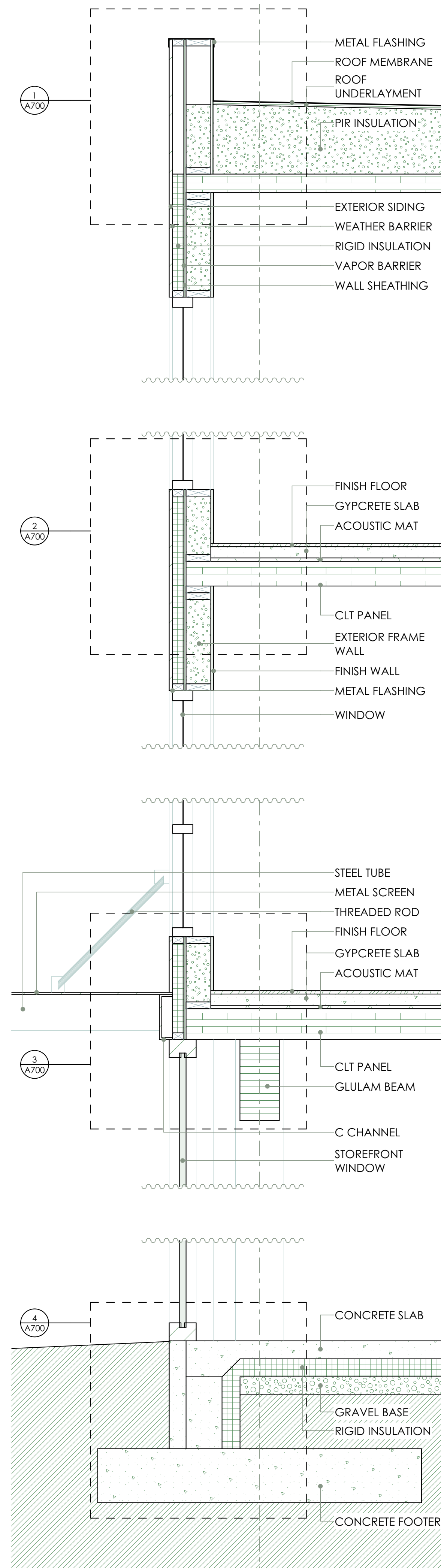
MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON WY

PERMIT SET

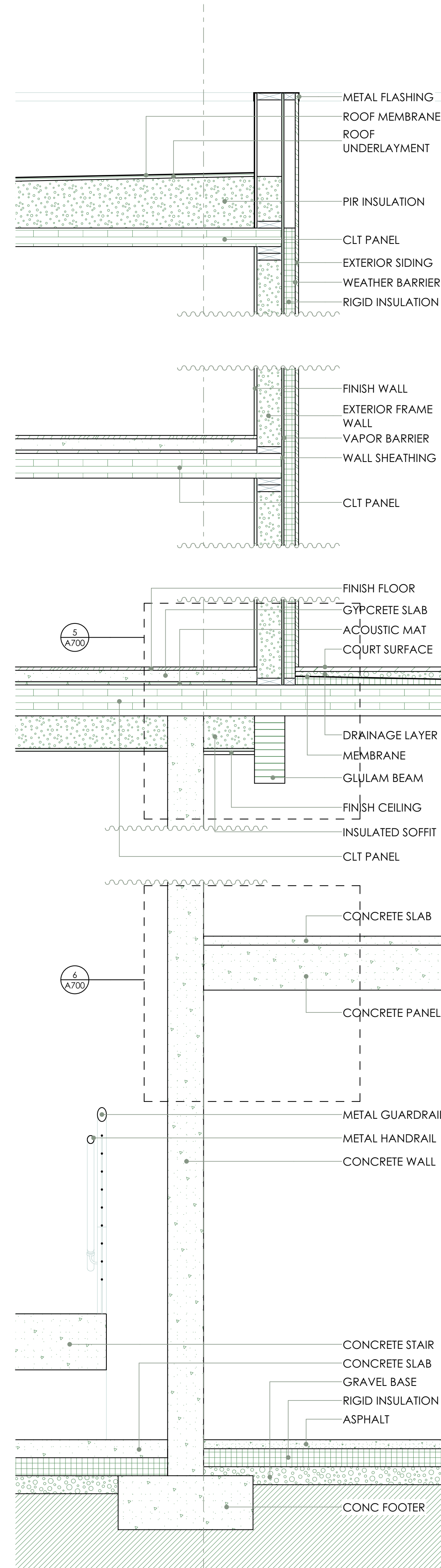
7-14-20

A500

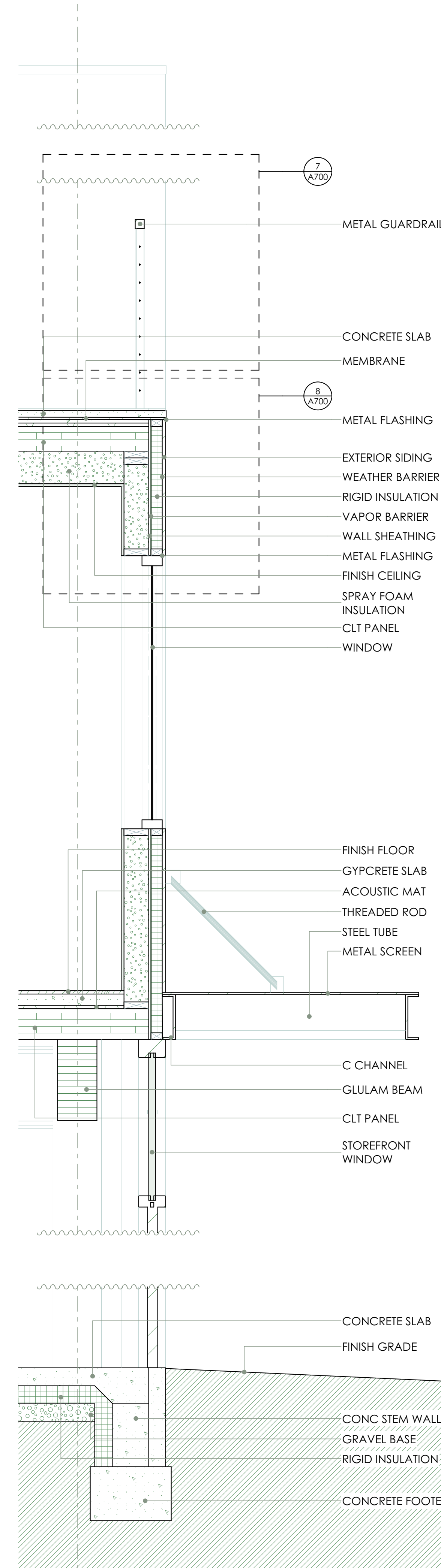
SCHEDULES



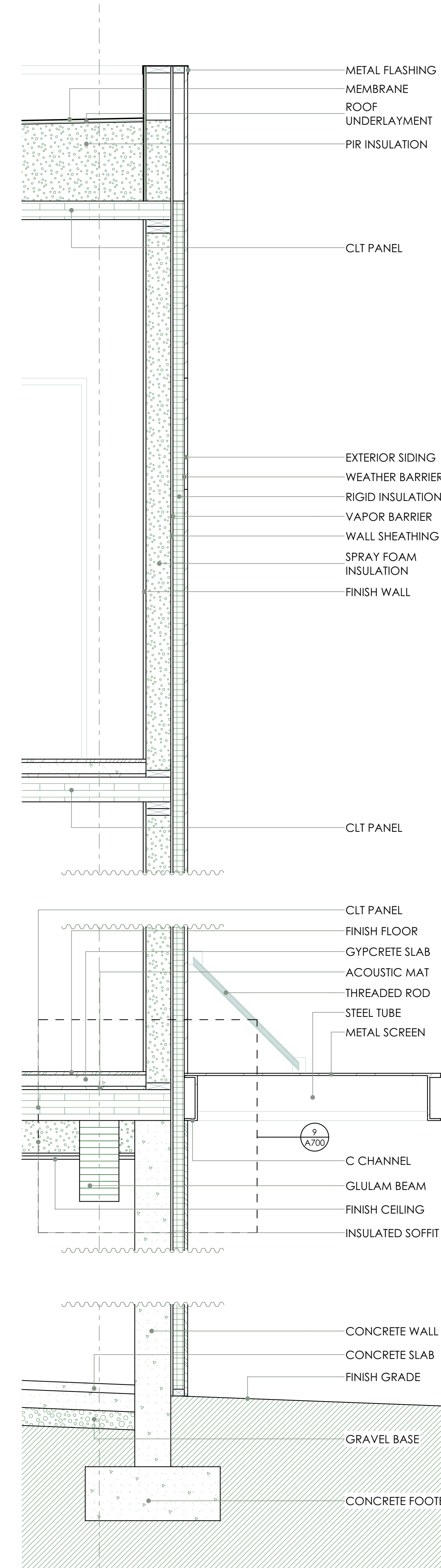
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A600
WALL SECTION
SCALE: 3/4" = 1'-0"



2
A700
WALL SECTION
SCALE: 3/4" = 1'-0"



3
A700
WALL SECTION
SCALE: 3/4" = 1'-0"

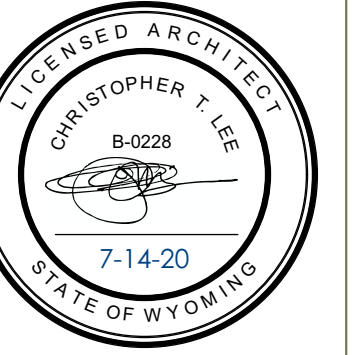


4
A700
WALL SECTION
SCALE: 3/4" = 1'-0"



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PROJECT NO.: 19-08
ARCHITECT: CTL
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REVISION HISTORY

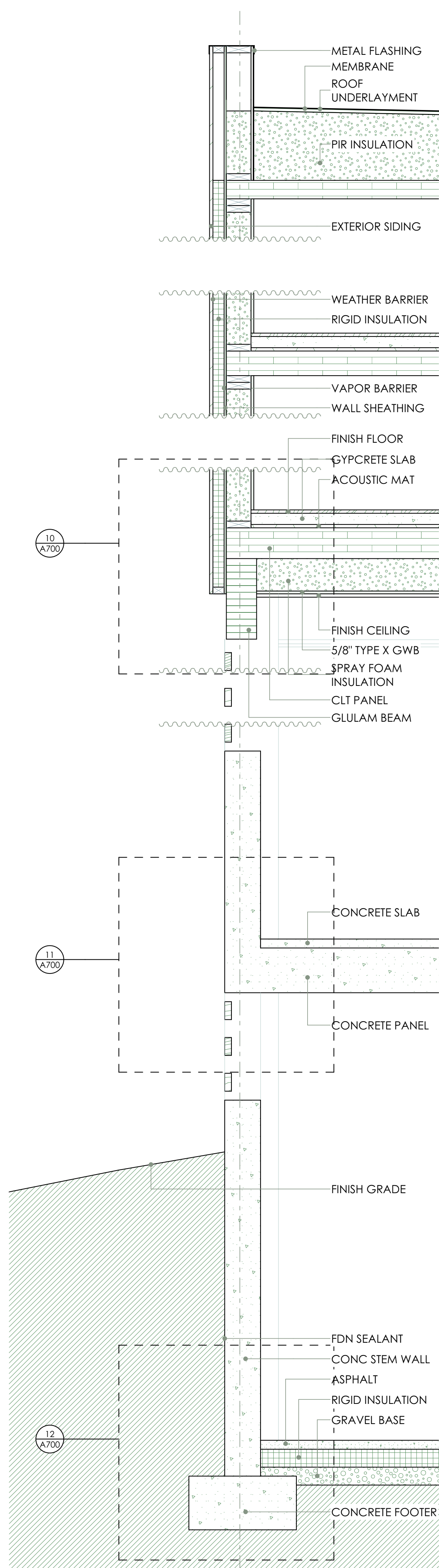
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MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON, WY

PERMIT SET
7-14-20

A600

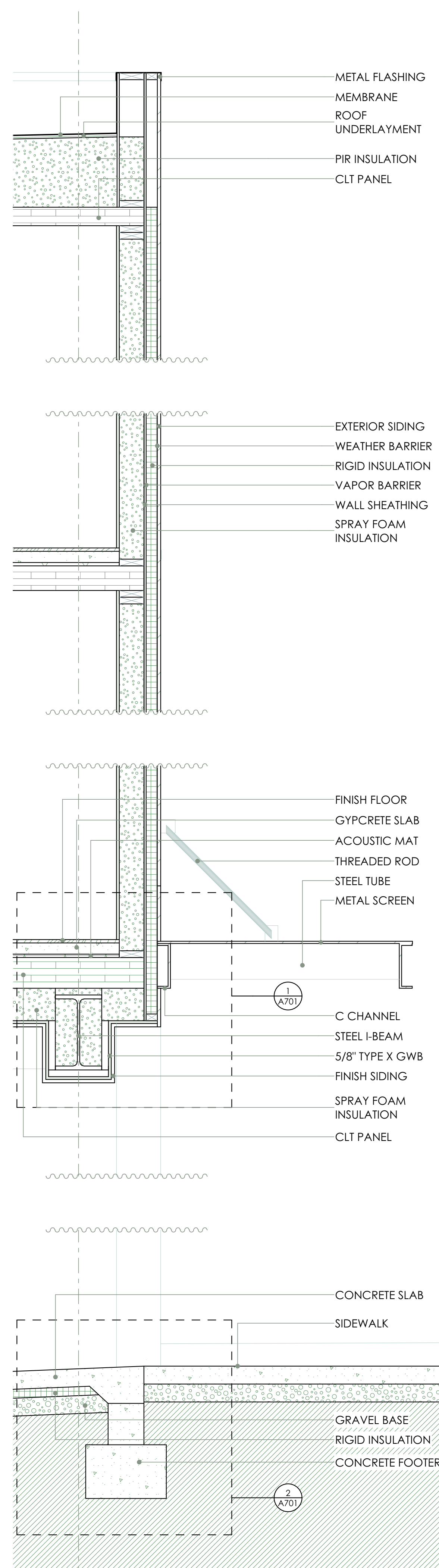
WALL SECTIONS



1
A601

WALL SECTION

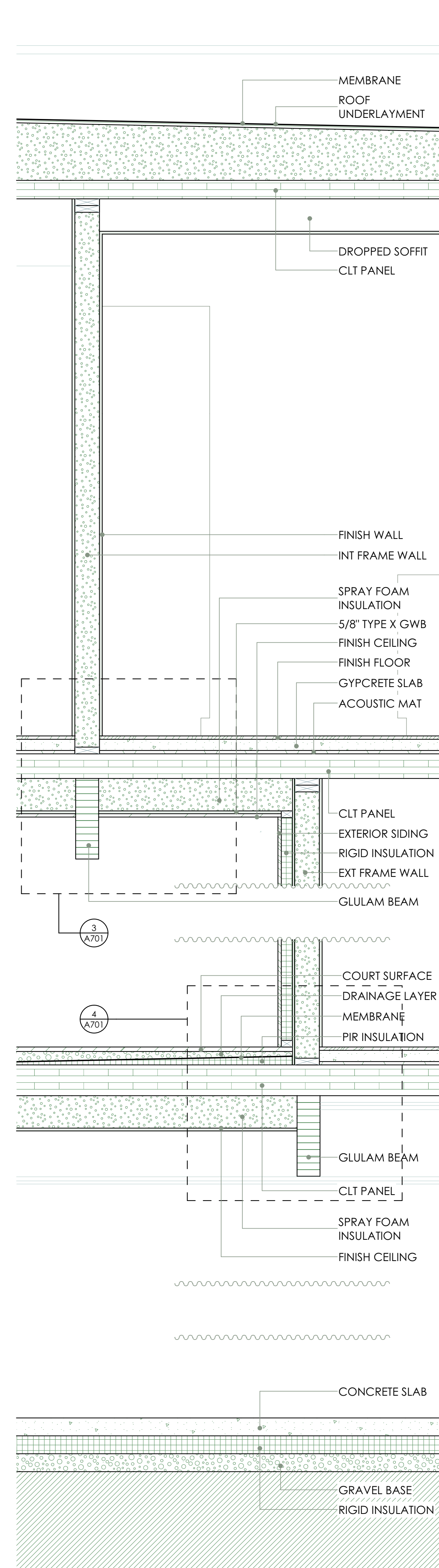
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2
A601

WALL SECTION

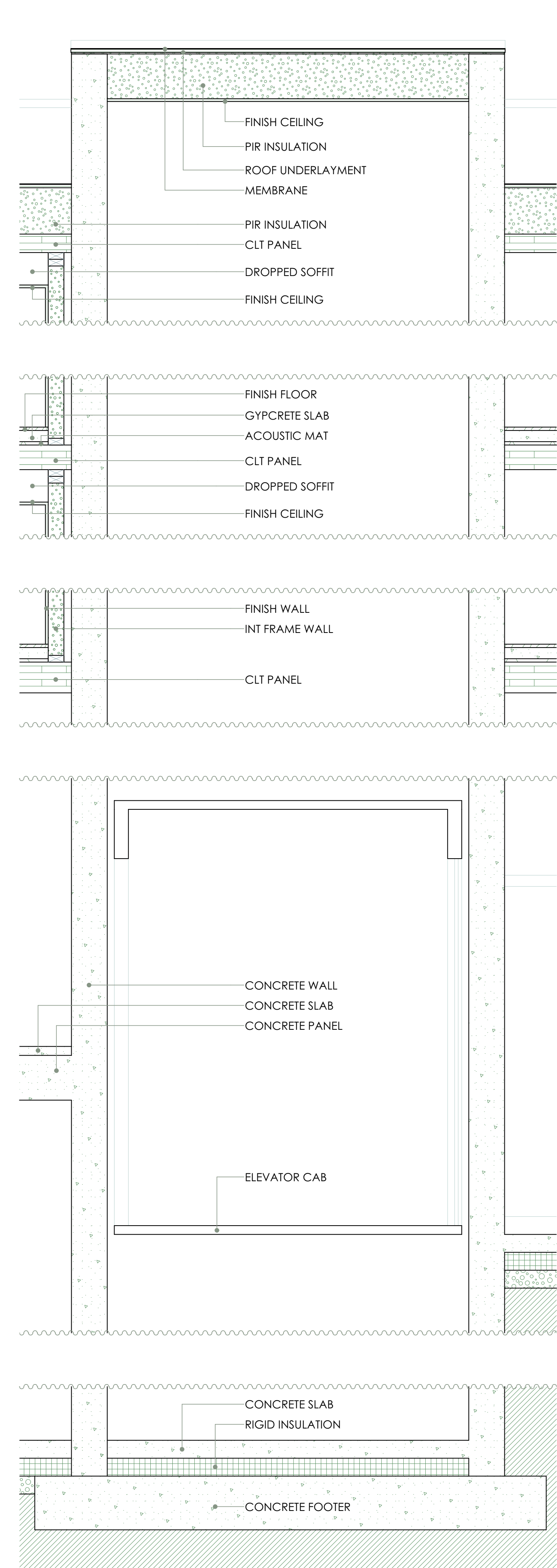
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3
A601

WALL SECTION

SCALE: 3/4" = 1'-0"



4
A601

WALL SECTION

SCALE: 3/4" = 1'-0"

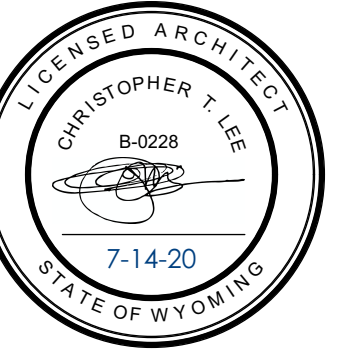


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PROJECT NO.: 19-08 ARCHITECT: CLT

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REVISION HISTORY

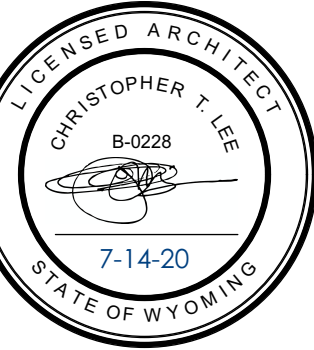
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10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
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7-14-20

A601

WALL SECTIONS



REVISION HISTORY

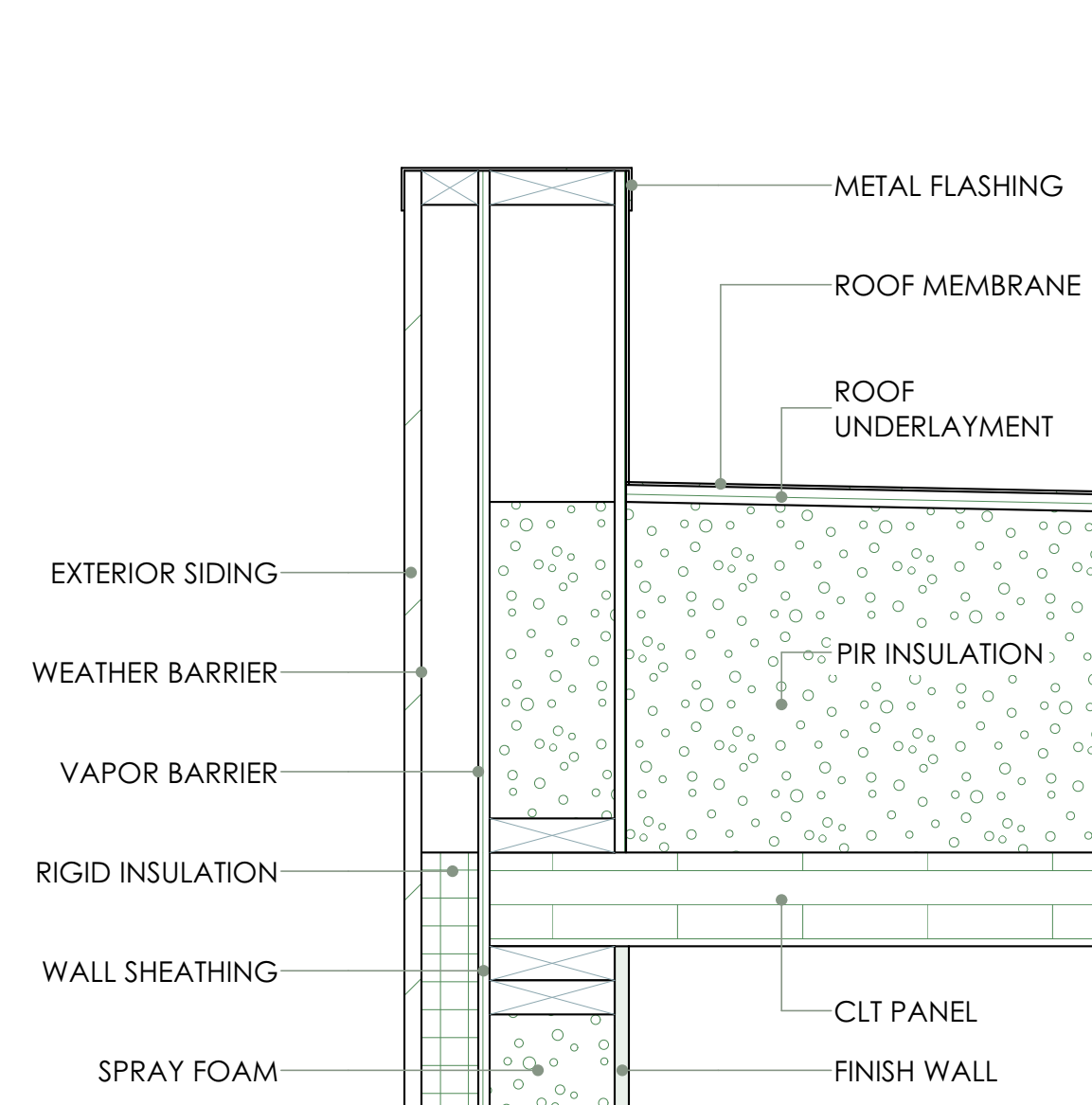
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7	CONCEPTUAL UPDATE	7-24-
8	CONCEPTUAL UPDATE	9-25-
9	DRC SUBMITTAL	11-6-
10	PRE-APP SUBMITTAL	11-15-
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

PERMIT SET

-14-20

A700

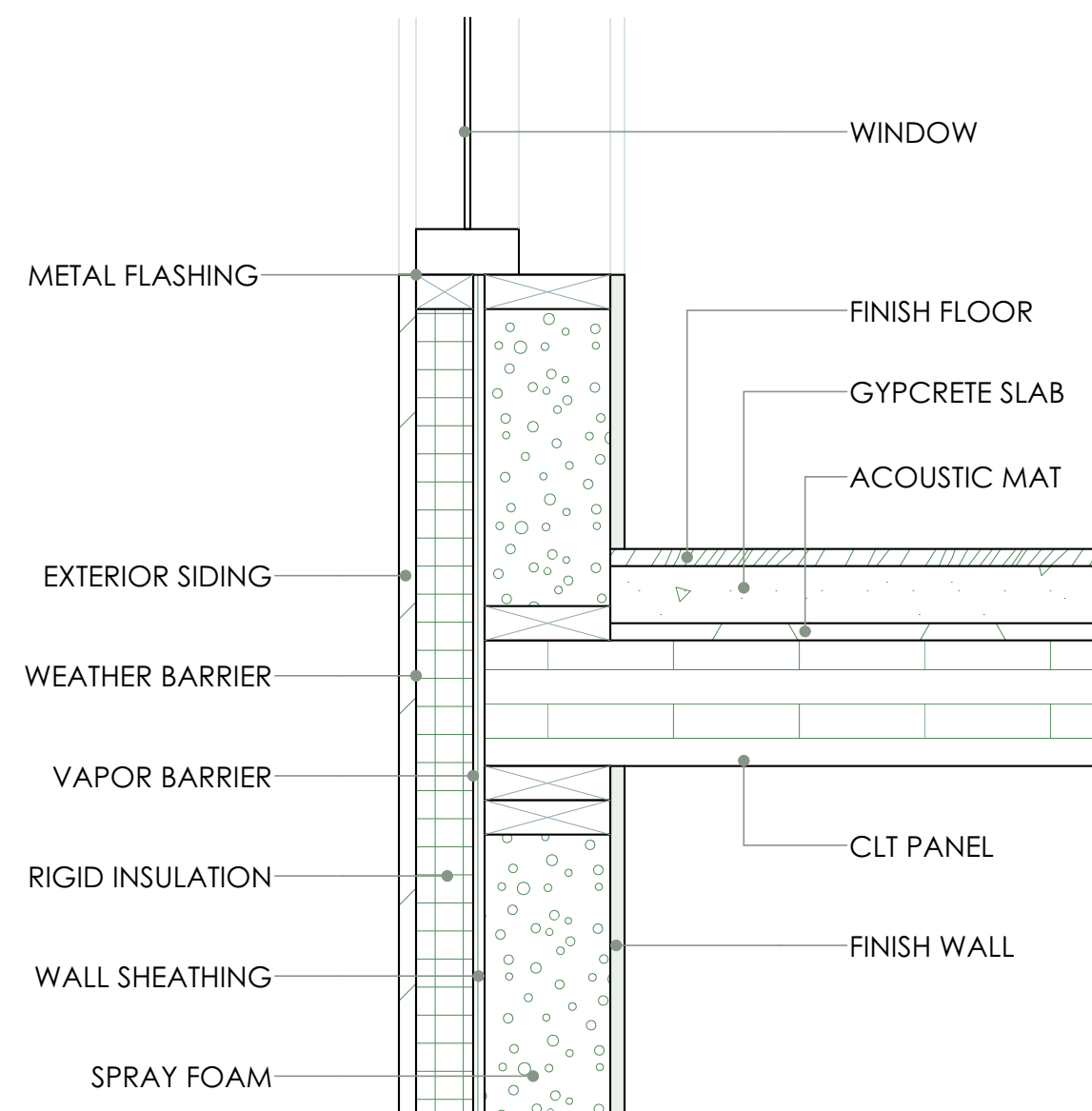
DETAILS



1
A700

DETAIL

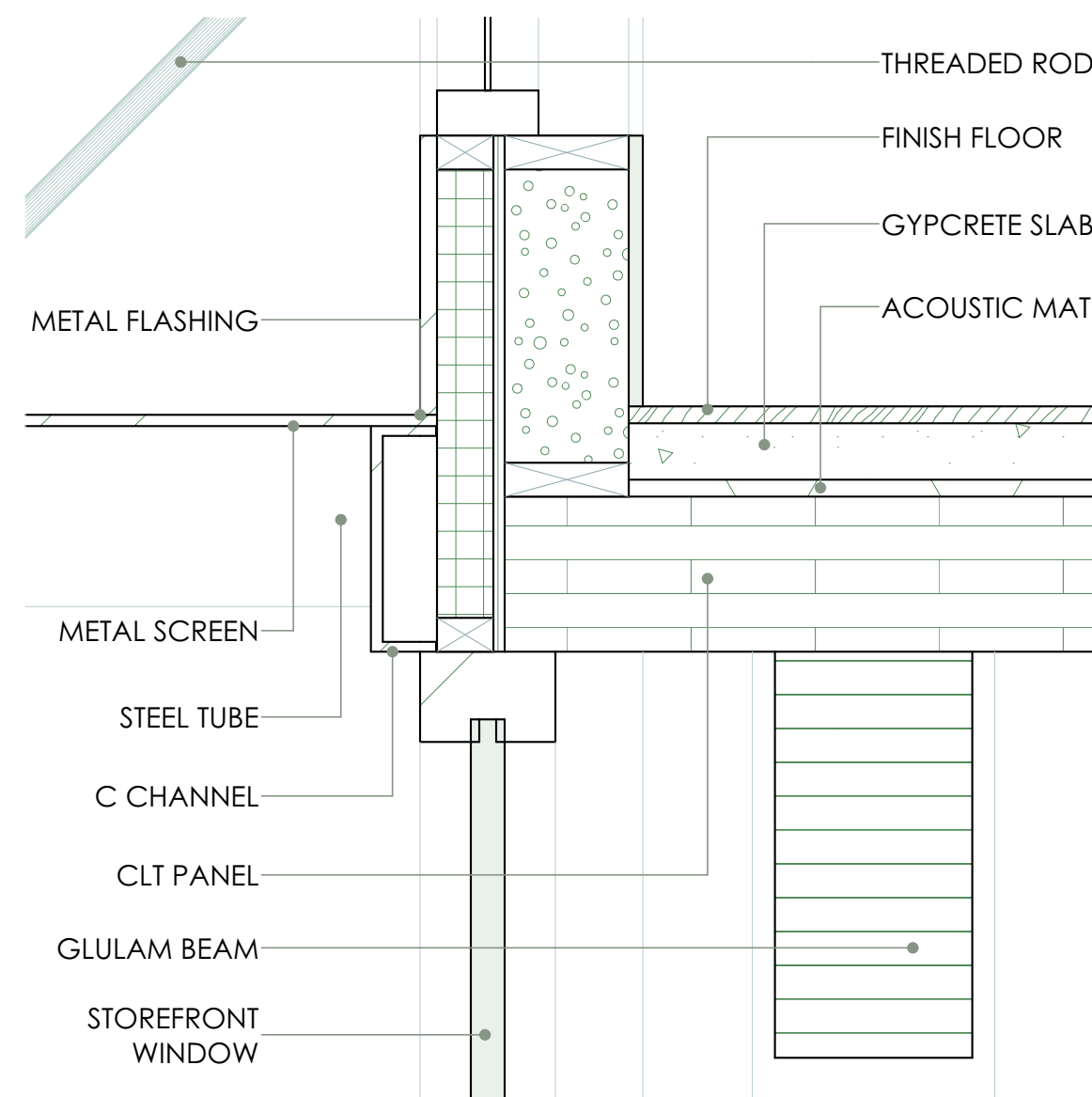
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2
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DETAIL

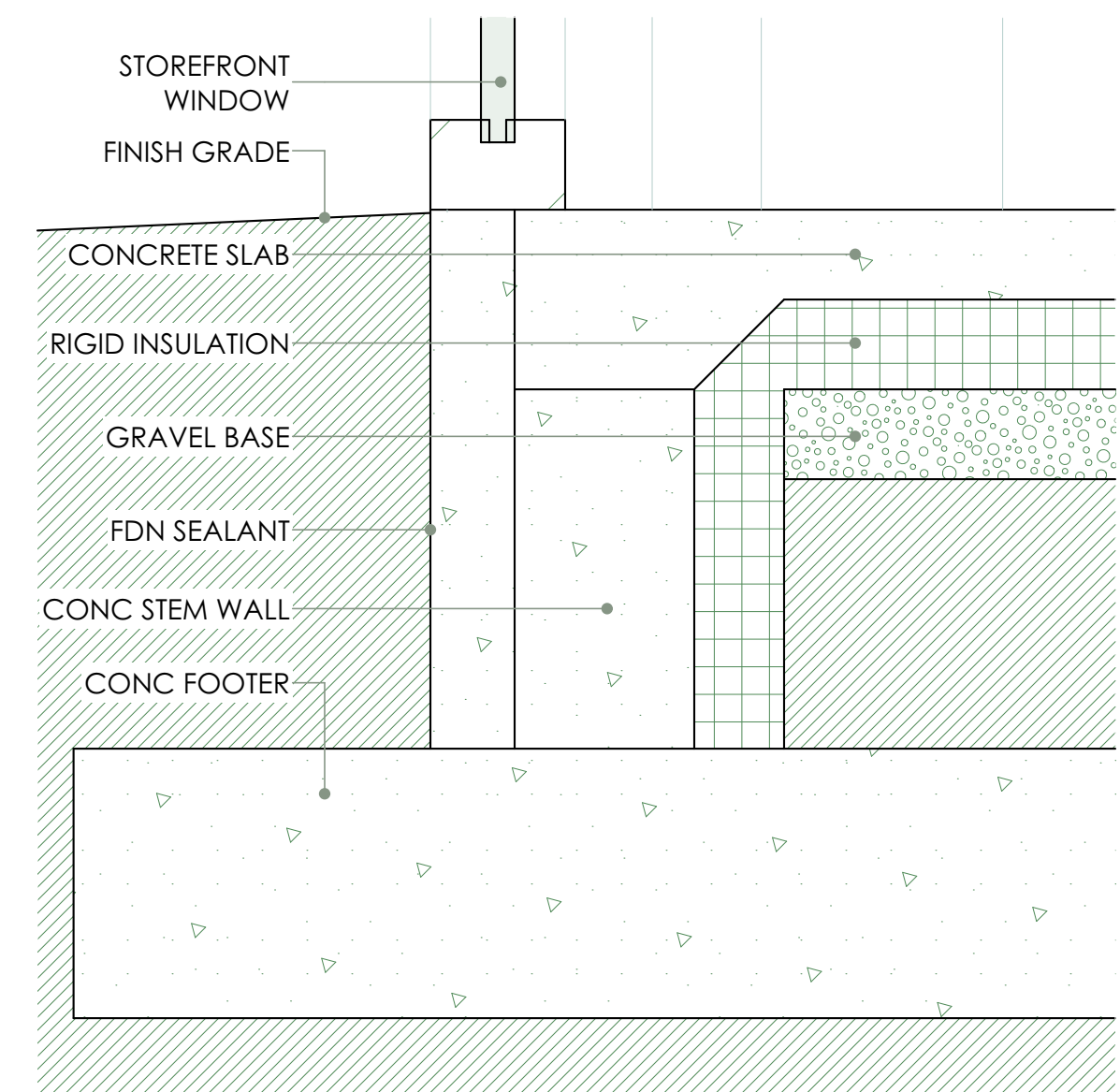
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3
A700

DETAIL

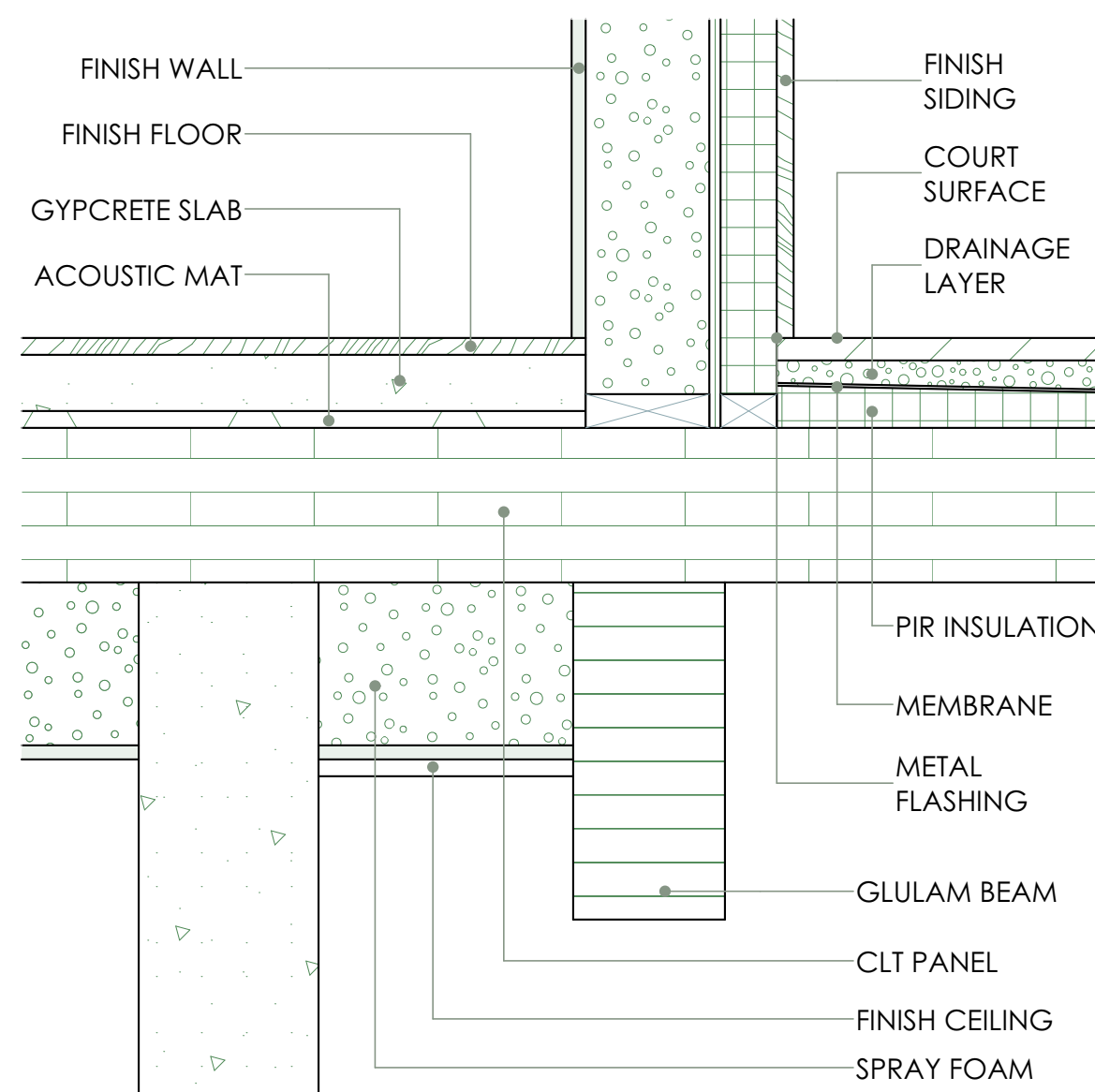
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4
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DETAIL

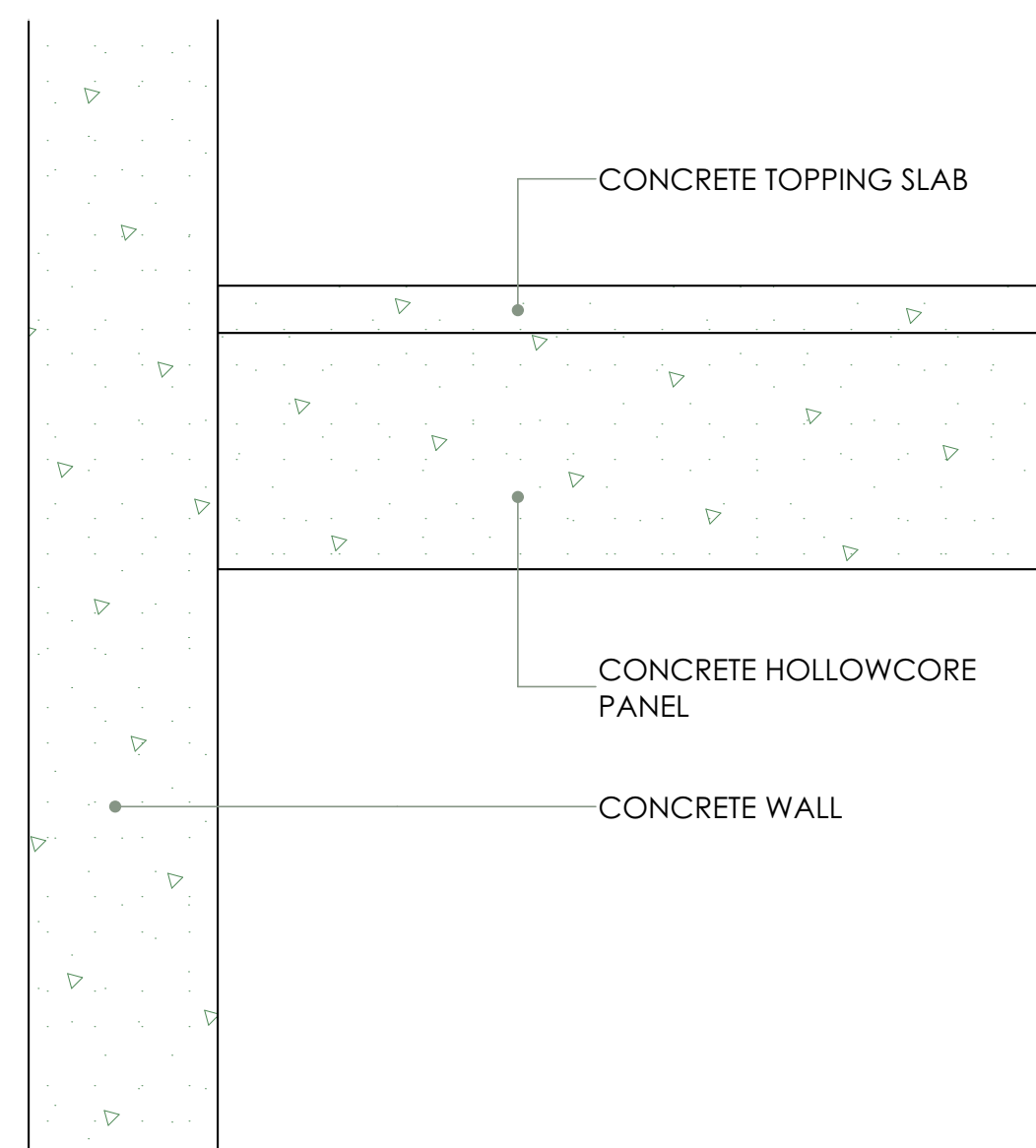
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5
A700

DETAIL

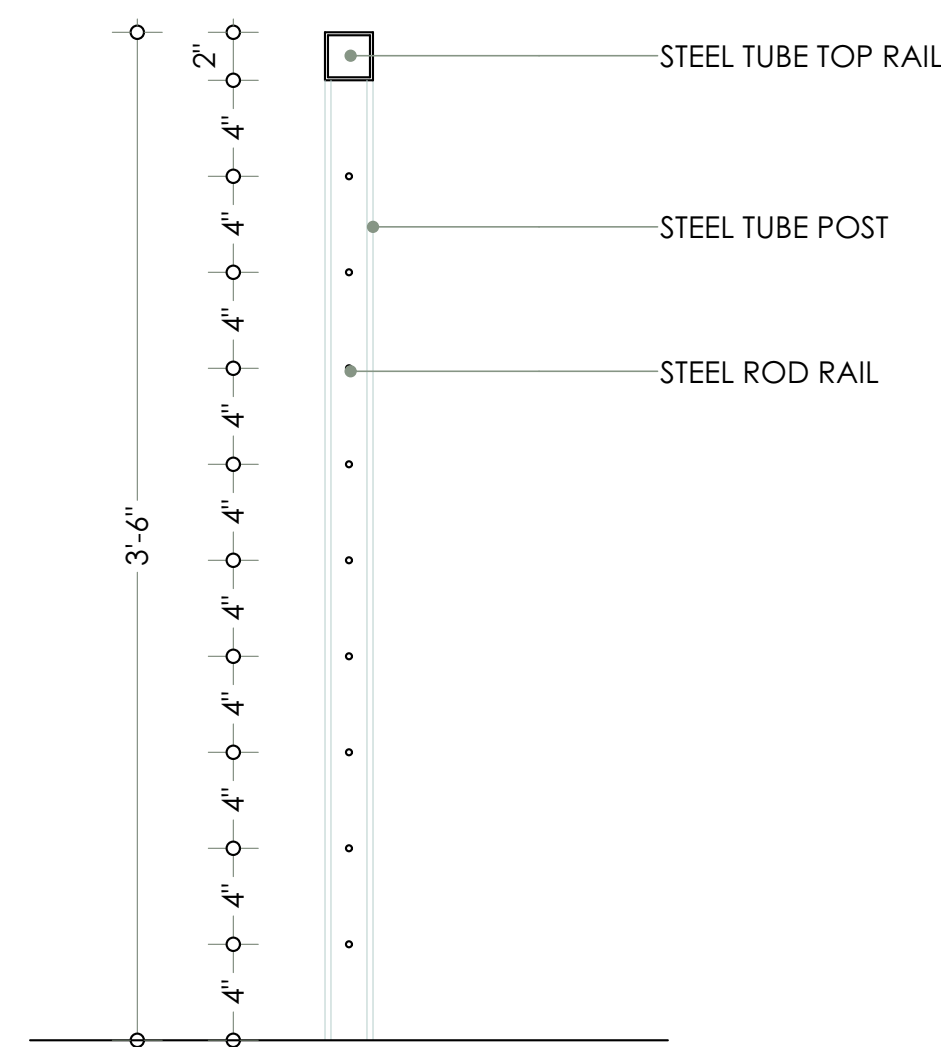
SCALE: 1 1/2" = 1'-0"



6
A700

DETAIL

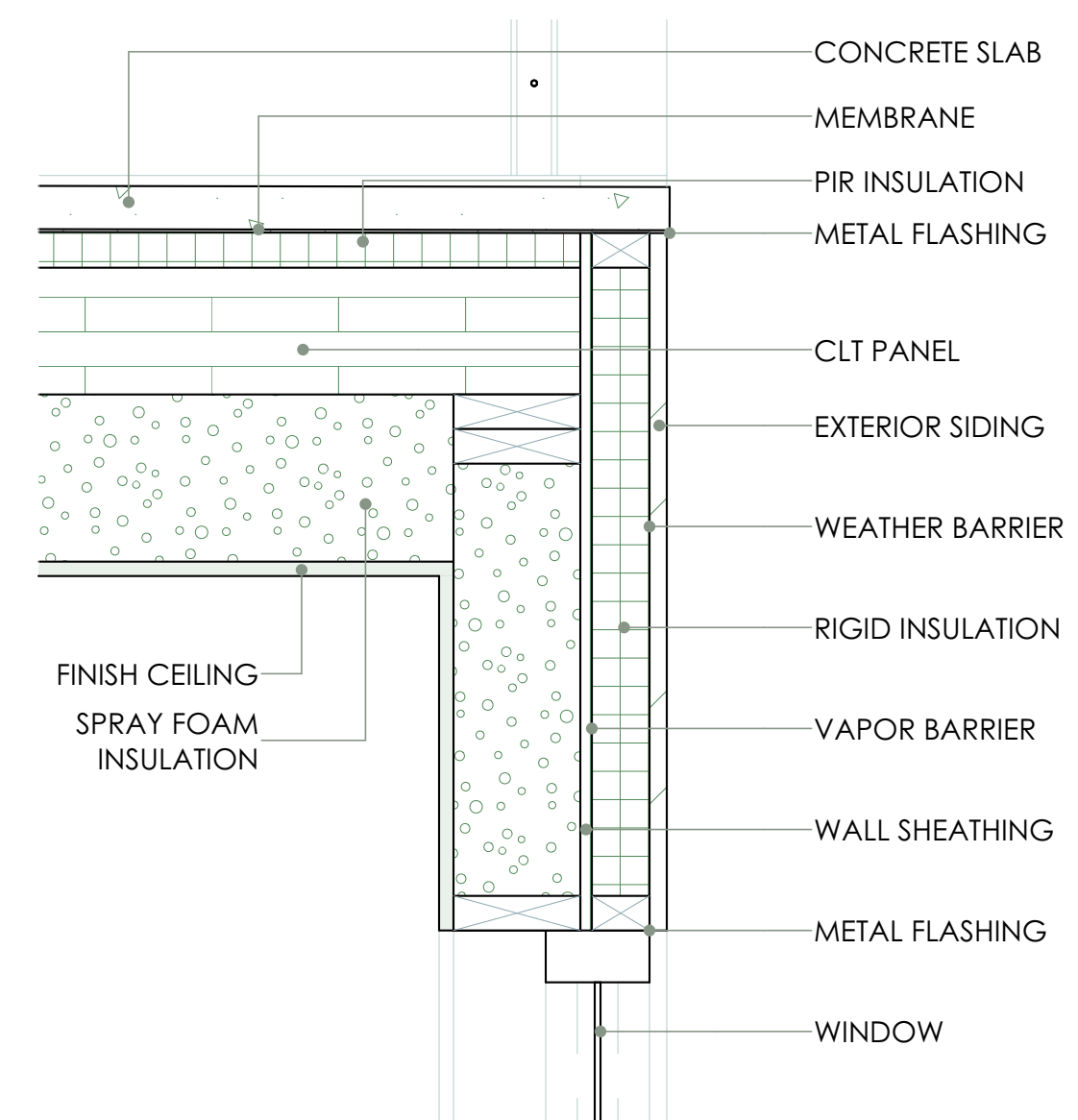
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7
A700

DETAIL

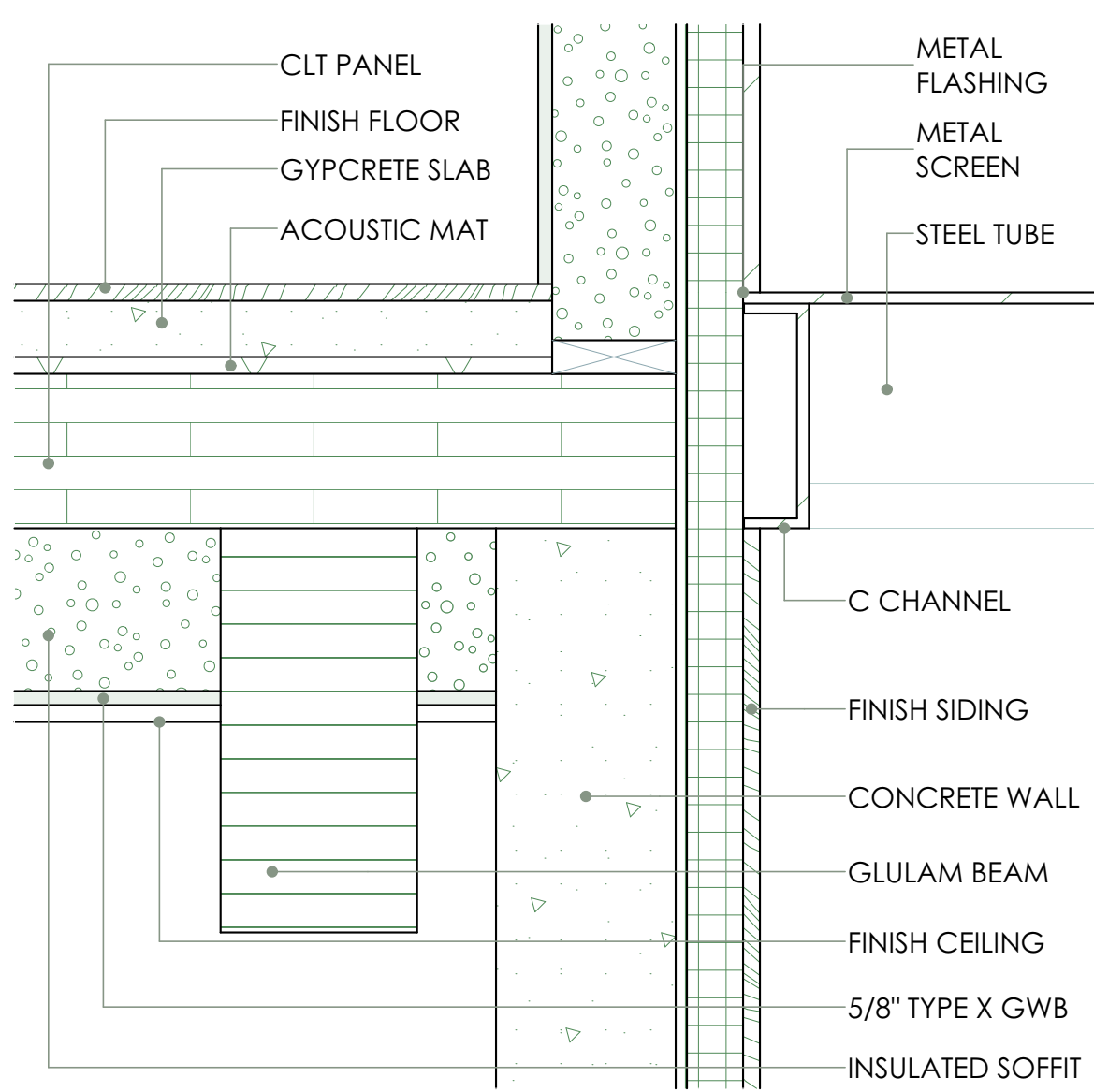
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8
A700

DETAIL

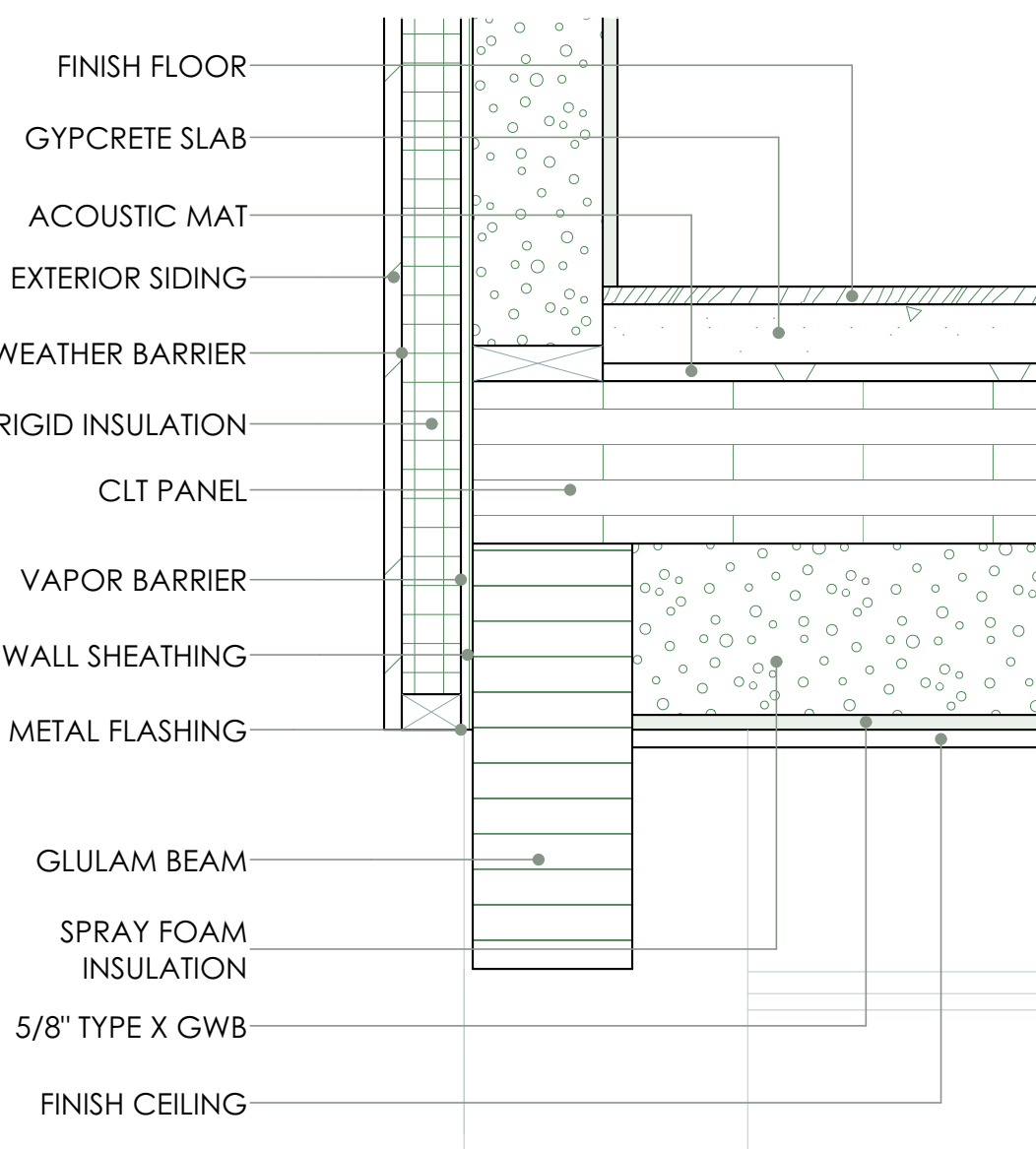
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9
A700

DETAIL

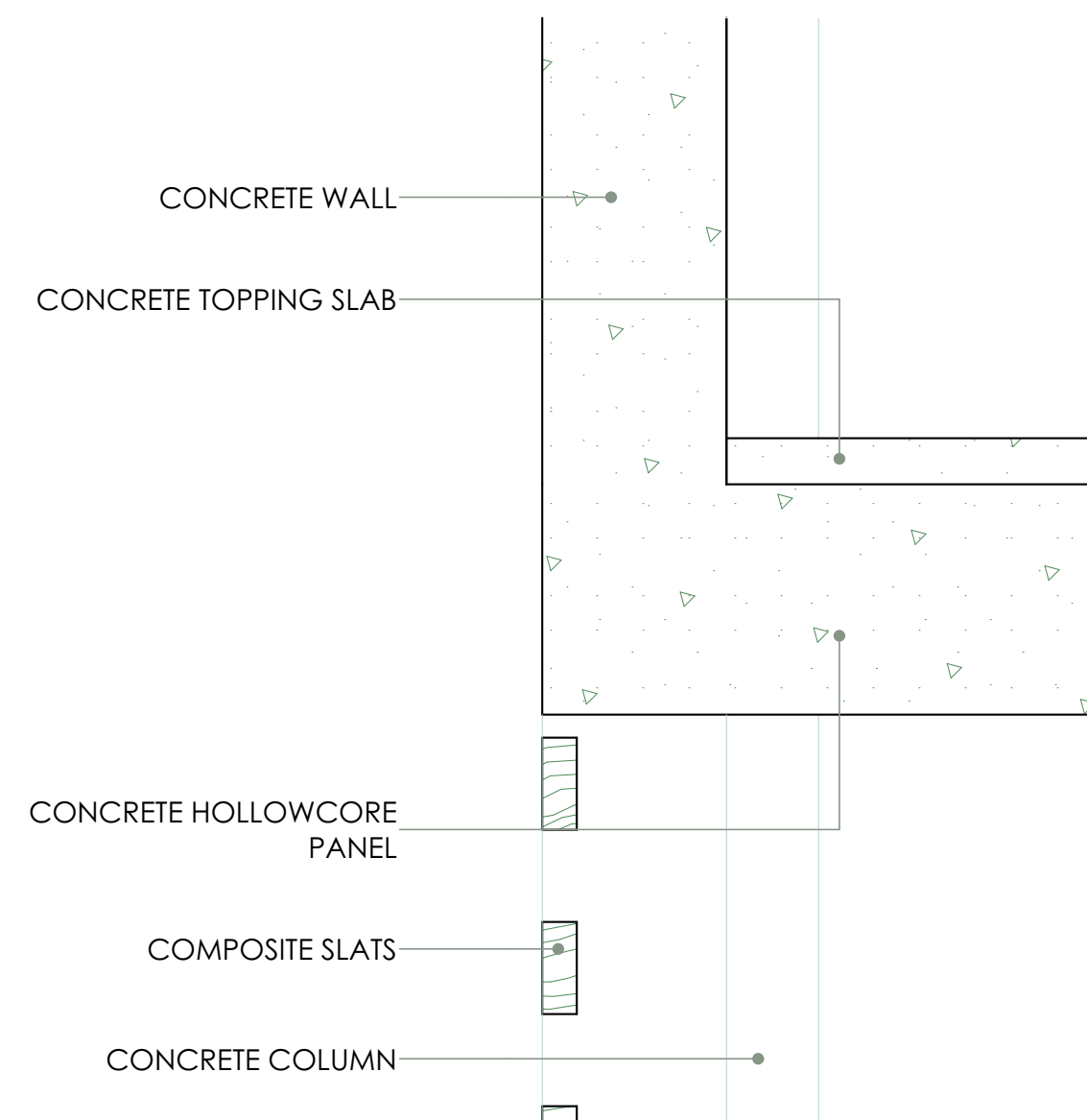
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10
A700

DETAIL

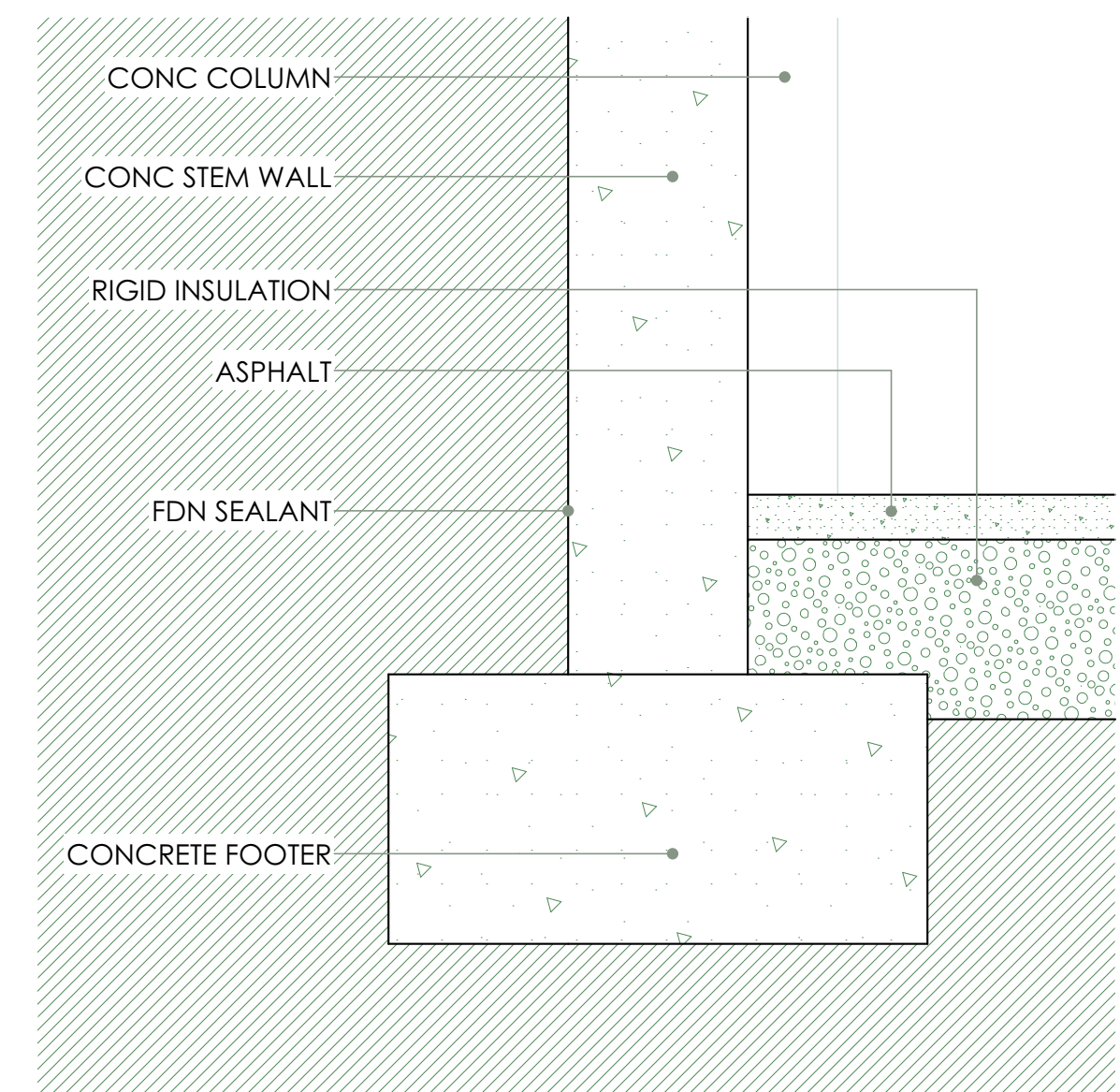
SCALE: 1 1/2" = 1'-0"



11
A700

DETAIL

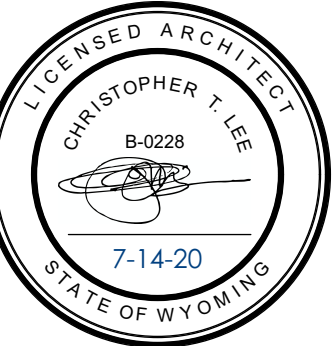
SCALE: 1 1/2" = 1'-0"



12
A700

DETAIL

SCALE: 1 1/2" = 1'-0"



X#	CHANGE	DATE
0	CONCEPTUAL	5-23-19
2	CONCEPTUAL UPDATE	6-21-19
3	CONCEPTUAL UPDATE	6-26-19
4	CONCEPTUAL UPDATE	7-8-19
5	CONCEPTUAL UPDATE	7-11-19
6	CONCEPTUAL UPDATE	7-22-19
7	CONCEPTUAL UPDATE	7-24-19
8	CONCEPTUAL UPDATE	9-25-19
9	DRC SUBMITTAL	11-6-19
10	PRE-APP SUBMITTAL	11-15-19
11	DRC SUBMITTAL	4-1-20
12	DRC RESUBMITTAL	6-3-20

MERCILL PARTNERS LLC
MIXED-USE PROJECT
105 MERCILL AVE JACKSON WY

A701

DETAILS

Flex Series

Flex Series is a concealed fastener metal wall collection which offers design flexibility. Ideal for vertical and horizontal wall, fascia, and equipment screen applications.

Flex Series panels are available with a high performance clip, offering unlimited thermal movement while reducing chances of oil canning.

Product Specification Guide

12	FX	20	12	C	22	24
12	Flex Series	20	12	Clip Attached	22	Refer to AEP Span Color Chart
FX	Model	12	Gauge	SP	Color	

standard features

- Available in two panel attachment configurations - a directly attached fastener flange or clip interlocking form.
- Two clip options enable panels to be installed flush to substrate or with a 1/2" standoff.
- Panel can be used in a rainscreen system.
- Available in 24ga and 22ga in standard finishes and 20ga in ZINCALUME® Plus. Refer to AEP Span Color Chart for full range of color options, prints, textures, finishes and paint systems.
- Custom colors, thick film primer and/or clear coat paint finishes available. Subject to 3,000 square foot minimum order.
- Custom manufactured sheet lengths from 5'-0" to 20'-0" maximum.
- Wall application meets 2012 IRC requirements in accordance with Chapter 14.
- ASTM E1592 (wind uplift), ASTM E2883 (air infiltration), ASTM E331 (water infiltration) tested.

Not Coating - All flat metal surfaces are factory pre-painted with a durable, weather-resistant finish. "Oil canning" is an inherent characteristic of metal products, not a defect, and therefore is not a cause for panel rejection.

Customer Service Center
Tacoma, WA Phone: 800-733-4955 Fax: 253-272-0791 www.aepspan.com

Architectural Metal Roofing and Siding COLOR CHART

STANDARD COLORS
DURA TECH™ 5000 - Premium 10% Fluoropolymer (PVDF) Coating

ZINCALUME® Plus SRI: 58 - LRV: 67 - GA: 24 & 22	REGAL WHITE SRI: 58 - LRV: 75 - GA: 24 & 22	PARCHMENT SRI: 58 - LRV: 61 - GA: 24 & 22	VINTAGE SRI: 52 - LRV: 50 - GA: 24
SIERRA TAN SRI: 58 - LRV: 50 - GA: 24 & 22	PEBBLE SRI: 41 - LRV: 37 - GA: 24 & 22	WALNUT SRI: 38 - LRV: 15 - GA: 24 & 22	METALLIC COLORS* DURA TECH™ Plus - Premium Fluoropolymer (PVDF) Fluoropolymer Coating (Subject to upcharge)
WEATHERED COPPER SRI: 38 - LRV: 11 - GA: 24 & 22	DARK BRONZE SRI: 35 - LRV: 9 - GA: 24 & 22	TERRA-COTTA SRI: 31 - LRV: 10 - GA: 24 & 22	METALLIC SILVER SRI: 58 - LRV: 54 - GA: 24 & 22
COLUMBIAN RED SRI: 38 - LRV: 1 - GA: 24 & 22	OLD TOWN GRAY SRI: 43 - LRV: 27 - GA: 24 & 22	ZINC GRAY SRI: 39 - LRV: 33 - GA: 24 & 22	SILVERSMITH SRI: 38 - LRV: 34 - GA: 24 & 22
SLATE GRAY SRI: 33 - LRV: 12 - GA: 24 & 22	MIDNIGHT BRONZE SRI: 27 - LRV: 1 - GA: 24 & 22	MATTE BLACK SRI: 18 - LRV: 1 - GA: 24 & 22	ZACQUÉ® IF SRI: 38 - LRV: 32 - GA: 24 & 22
TANQUE BLUE SRI: 33 - LRV: 14 - GA: 24 & 22	REGAL BLUE SRI: 41 - LRV: 1 - GA: 24 & 22	SAGE GREEN SRI: 41 - LRV: 1 - GA: 24 & 22	METALLIC CHAMPAGNE SRI: 38 - LRV: 34 - GA: 24 & 22
LEAF GREEN SRI: 33 - LRV: 1 - GA: 24 & 22	FOREST GREEN SRI: 23 - LRV: 1 - GA: 24 & 22		METALLIC COPPER SRI: 33 - LRV: 20 - GA: 24 & 22

REPRESENTATION OF COLORS MAY VARY DUE TO PRINTING LIMITATIONS.
Colors shown are for reference only. Colors may vary due to printing limitations.

800-733-4955 Custom colors available by request www.aepspan.com

Flat Sheet

SAVING YOU TIME IS OUR TOP PRIORITY.
AEP Span offers a flat sheet service which comes in a wide range of colors and paint systems, as well as ZINCALUME® Plus (50% Al-Zn). Painted flat sheets available in...

- Dura Tech™ 5000, Dura Tech™ Plus PVDF colors, ZINCALUME® Plus available in 24ga, 48" x 10', and 24ga, 48' x 10' sheets.
- Dura Tech™ 5000 GMP colors available in 24ga, 48' x 10' sheets.
- ZINCALUME® Plus available in 20ga, 48' x 10' sheets.
- Vintage™ available in 24ga, 48" x 10' sheets.
- .040 thick, 3000 series aluminum.

As your single source vendor, we are committed to offering you quality products and outstanding service to help you meet your project needs.

DURA TECH™ 5000 COLORS ARE STOCKED IN 24 & 22 GAUGE

ZINCALUME® Plus	REGAL WHITE	PARCHMENT	SIERRA TAN	PEBBLE
WALNUT	WEATHERED COPPER	DARK BRONZE	TERRA-COTTA	COLUMBIAN RED
OLD TOWN GRAY	SLATE GRAY	MIDNIGHT BRONZE	MATTE BLACK	
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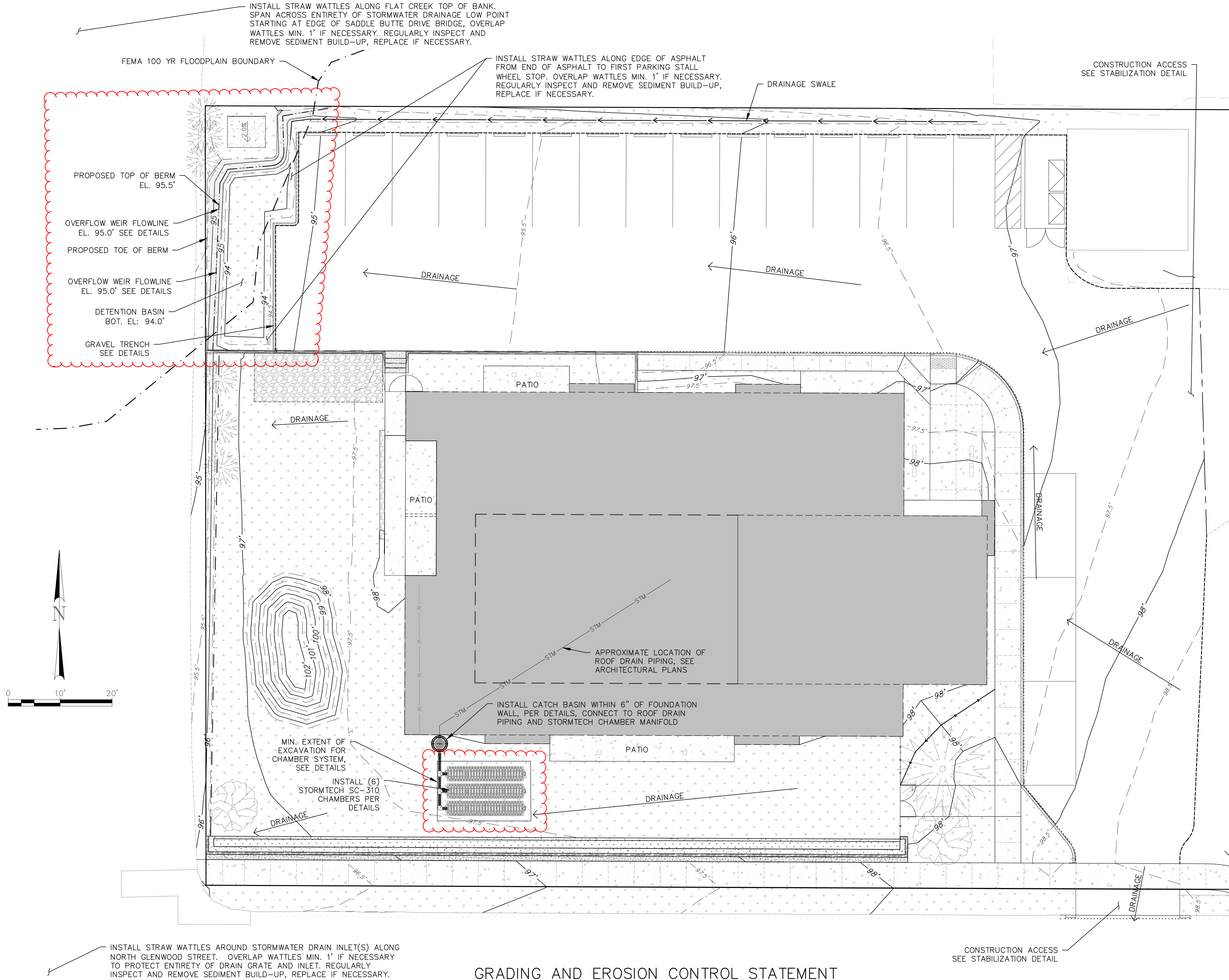
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OLD TOWN GRAY				



STORMWATER CALCULATIONS

POST-DEVELOPMENT
HARDSCAPE AREA: 0.383 ACRES C=0.9
LANDSCAPE AREA: 0.192 ACRES C=0.3
COMPOSITE C: 0.70
LOT SIZE: 0.58 ACRES
LENGTH OF TRAVEL: 181 LF
SLOPE: 18.8%
C: 0.70

USING FAA EQUATION: $\frac{1.8 \cdot (1.1 - C) \cdot \sqrt{S} \cdot L}{S^{0.5}}$

Tc=3.65 MINS. - USE 5.

PER TOJ LDRs (1/1/15) SECTION 5.7.4.B.2.a., 100 YEAR STORM INTENSITY FOR 5 MINUTE DURATION = 3.00 INCH/HOUR

Q=CIA = 1.21 CFS

REQUIRED STORAGE VOLUME:

$$V = (Q - Q_r) \cdot ((DURATION - T_c) + \frac{(Q - Q_r) \cdot T_c}{Q}) \cdot 60$$

DURATION MINUTES	INTENSITY IN/HOUR	Q CFS	VOLUME CF
5	3.00	1.21	14
10	2.33	0.94	-46
15	1.90	0.76	-181

REQUIRED STORAGE: 14 CF

FLAT ROOF STORMWATER CALCS:
MAX VOL. OF STORMWATER PER SECTION 5.7.4.B.2.a 100 YEAR STORM INTENSITY:

DURATION MINUTES	INTENSITY IN/HOUR	DEPTH OF WATER IN
5	3.00	0.25
10	2.33	0.39
...
100	0.56	0.93
110	0.52	0.95
120	0.48	0.96

USE 1 INCH

ROOF AREA: 7464 SF
STORMWATER VOLUME: 7464SF x 1IN = 622 CF

STORAGE FOR 120 MIN. STORM AT 0.48IN/HR = 622 CF
MIN FLOW RATE = 622 CF / 120 MIN = 0.09 CFS

MIN STORAGE FOR 5 MIN. STORM AT 3.00IN/HR = 155.5 CF
MAX FLOW RATE = 155.5 CF / 5 MIN = 0.52 CFS

STORMTECH CHAMBER STORAGE:

6 CHAMBERS AT 14.7CF PER CHAMBER = 88.2 CF

GRAVEL FILL STORAGE:
WIDTH = 3x2.83' + 6"x2 + 12"x2 = 11.5'
LENGTH = 2x7.25' + 6"x2 + 12" + 18" = 18.0'
AREA = 207SF
GRAVEL POROSITY = 40%
GRAVEL DEPTH = 6" BELOW, 6" ABOVE
HEIGHT OF CHAMBERS = 16"
VOL OF GRAVEL = ((207SF x 28") - 88.2CF)x40% = 246 CF

ASPHALT STORMWATER CALCS:
AREA: 0.275 ACRES
LENGTH OF TRAVEL: 2421 LF
SLOPE: 1.94%
C: 0.85

USING FAA EQUATION: $\frac{1.8 \cdot (1.1 - C) \cdot \sqrt{S} \cdot L}{S^{0.5}}$

Tc=5.69 MINS. - USE 10.

PER TOJ LDRs (1/1/15) SECTION 5.7.4.B.2.a., 100 YEAR STORM INTENSITY FOR 5 MINUTE DURATION = 2.33 INCH/HOUR

Q=CIA = 0.546 CFS

10 MIN X 0.546 CFS = 327 CF OF STORAGE REQUIRED

AVAILABLE STORAGE

DETENTION BASIN STORAGE VOLUME:
 $VOL = (DEPTH/3) \cdot (AREA1 + AREA2 + \sqrt{AREA1 \cdot AREA2})$

CONTOUR FT	AREA SQFT	DEPTH FT	VOL CF
95	656	0.5	246
94.5	343	0.5	148
94	250		

SUBTOTAL 393

AVAILABLE STORAGE: 393CF > REQUIRED STORAGE: 327 CF

TOTAL SITE STORAGE VOL = 246+393 = 639 CF

AVAILABLE STORAGE: 639CF > REQUIRED STORAGE: 14 CF

GRADING AND EROSION CONTROL STATEMENT

1. PROJECT START DATE: FEB 2016
2. PROJECT COMPLETION DATE: JULY 2017
3. REVEGETATION PER LANDSCAPE ARCHITECT PLANS
4. EXCAVATED MATERIAL WILL BE STOCK PILED OFFSITE.
5. ON-SITE CONSTRUCTION PARKING WILL BE LIMITED. CONTRACTOR TO DETERMINE AND INFORM INVOLVED PARTIES OF APPROPRIATE OFF-SITE CONSTRUCTION PARKING AT LATER DATE.
6. STRAW WATTLES WILL BE INSTALLED AT STREET STORMWATER DRAINAGE INLETS, ALONG FLAT CREEK TOP OF BANK AT THE STORMWATER DRAINAGE LOW POINT, AND AT WEST EDGE OF ASPHALT AS INDICATED ON PLANS.
7. PREDOMINANT SOIL TYPE PER NRCS WEB SOIL SURVEY: GREYBACK GRAVELLY LOAM, 0 TO 3 % SLOPES

DRAWING SET TITLE	DATE
FDP	7-20-2015
FDP REV/2	10-27-2015
BLDG PERMIT SUBMITTAL	3-1-2016
BLDG PERMIT SUBMITTAL	4-26-2016

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CHILDREN'S LEARNING CENTER

105 MERCILL AVENUE
JACKSON, WY

SHEET:

C1.5
STORMWATER &
EROSION CONTROL
DRAWN BY:VR
CHECKED BY:BN